

PROJECT APPLICATION 730 & 760 DIANA AVENUE MORGAN HILL, CA

CITY OF MORGAN HILL
PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 3/7/2025

SR2024-0004

FILE NUMBER

Roshni Saxena
Assistant Planner

PLANNING OFFICIAL



COVER SHEET

730 & 760 DIANA AVE - MORGAN HILL, CA
DIVIDEND HOMES

DAHLIN GROUP ARCHITECTURE | PLANNING | INTERIORS

WWW.DAHLINGROUP.COM



**MILLER STARR
REGALIA**


Michael Arnone + Associates
LANDSCAPE ARCHITECTURE



JOB NO. 297-091
DATE 03/04/2025

PROJECT APPLICATION
730 & 760 DIANA AVENUE
MORGAN HILL, CA

SHEET INDEX:

A.1	TITLE SHEET & PROJECT DESCRIPTION
A.2	VICINITY MAP
A.3	SITE CONTEXT PHOTOS
A.4	SITE CONTEXT PHOTOS CONTINUED
A.5	STREETSCAPE PLAN
A.6	PLAN 1A - TRADITIONAL FLOOR PLANS
A.7	PLAN 1A - TRADITIONAL - FAR + ROOF PLANS
A.8	PLAN 1B - SPANISH - FLOOR PLANS
A.9	PLAN 1B - SPANISH - FAR + ROOF PLANS
A.10	PLAN 1A - TRADITIONAL - ELEVATIONS
A.11	PLAN 1B - SPANISH - ELEVATIONS
A.12	PLAN 1A - TRADITIONAL - SECTIONS
A.13	PLAN 1B - SPANISH - SECTIONS
A.14	PLAN 2A - TRADITIONAL - FLOOR PLANS
A.15	PLAN 2A - TRADITIONAL - FAR + ROOF PLANS
A.16	PLAN 2B - SPANISH - FLOOR PLANS
A.17	PLAN 2B - SPANISH - FAR + FLOOR PLANS
A.18	PLAN 2A - TRADITIONAL - ELEVATIONS
A.19	PLAN 2B - SPANISH - ELEVATIONS
A.20	PLAN 2A - TRADITIONAL - SECTIONS
A.21	PLAN 2B - SPANISH - SECTIONS
A.22	PLAN 1 COLOR AND MATERIAL BOARD
A.23	PLAN 2 COLOR AND MATERIAL BOARD
A.24	SITE PERSPECTIVES
A.25	SITE PERSPECTIVES
A.26	AERIAL VIEW
A.27	AERIAL VIEW
C0.0	EXISTING CONDITIONS
C1.0	VESTING TENTATIVE MAP
C3.0	SITE DEVELOPMENT PLAN
C4.0	PRELIMINARY GRADING & DRAINAGE PLAN
C5.0	PRELIMINARY UTILITY PLAN
C6.0	PRELIMINARY STORMWATER CONTROL PLAN
C6.1	PRELIMINARY STORMWATER CONTROL DETAILS & NOTES
C6.2	PRELIMINARY STORMWATER CONTROL CALCULATIONS
CS	COVER SHEET
T-1.0	EXISTING TREES LOCATION MAP
T-1.1	EXISTING TREE INVENTORY
L-1.0	LANDSCAPE AMENITIES
L-2.0	PLANTING PLAN WEST
L-2.1	PLANTING PLAN SOUTH
L-2.2	PLANTING PLAN EAST
L-2.3	PLANTING DETAILS & NOTES
L-2.4	PLANT IMAGES
L-3.0	HYDROZONE MAP WATER USE CALCULATIONS
L-3.1	IRRIGATION PLAN WEST
L-3.2	IRRIGATION PLAN SOUTH
L-3.3	IRRIGATION PLAN EAST
L-3.4	IRRIGATION DETAILS
INT1	JOINT TRENCH INTENT TITLE SHEET
INT2	JOINT TRENCH INTENT TITLE SHEET
INT 3	JOINT TRENCH INTENT TITLE SHEET
INT 4	JOINT TRENCH INTENT TITLE SHEET
PrSL1	PRIVATE STREET LIGHTING TITLE SHEET
PrSL2	PRIVATE STREET LIGHTING SITE PLAN
PuSL1	PUBLIC STREET LIGHTING TITLE SHEET
PuSL2	PUBLIC STREET LIGHTING SITE PLAN
EXH	CITY BROADBAND FIBER EXHIBIT
PM-1	PHOTOMETRIC
PM-2	PHOTOMETRIC CONTINUED

PROJECT DATA:

APNs: 726-06-013 AND 726-06-015
SITE: +/- 3.05 AC
GENERAL PLAN: RESIDENTIAL DETACHED MEDIUM (UP TO 7 DU/AC)
ZONING: RESIDENTIAL DETACHED MEDIUM DENSITY (RDM 9,000 or RDM 7,000)

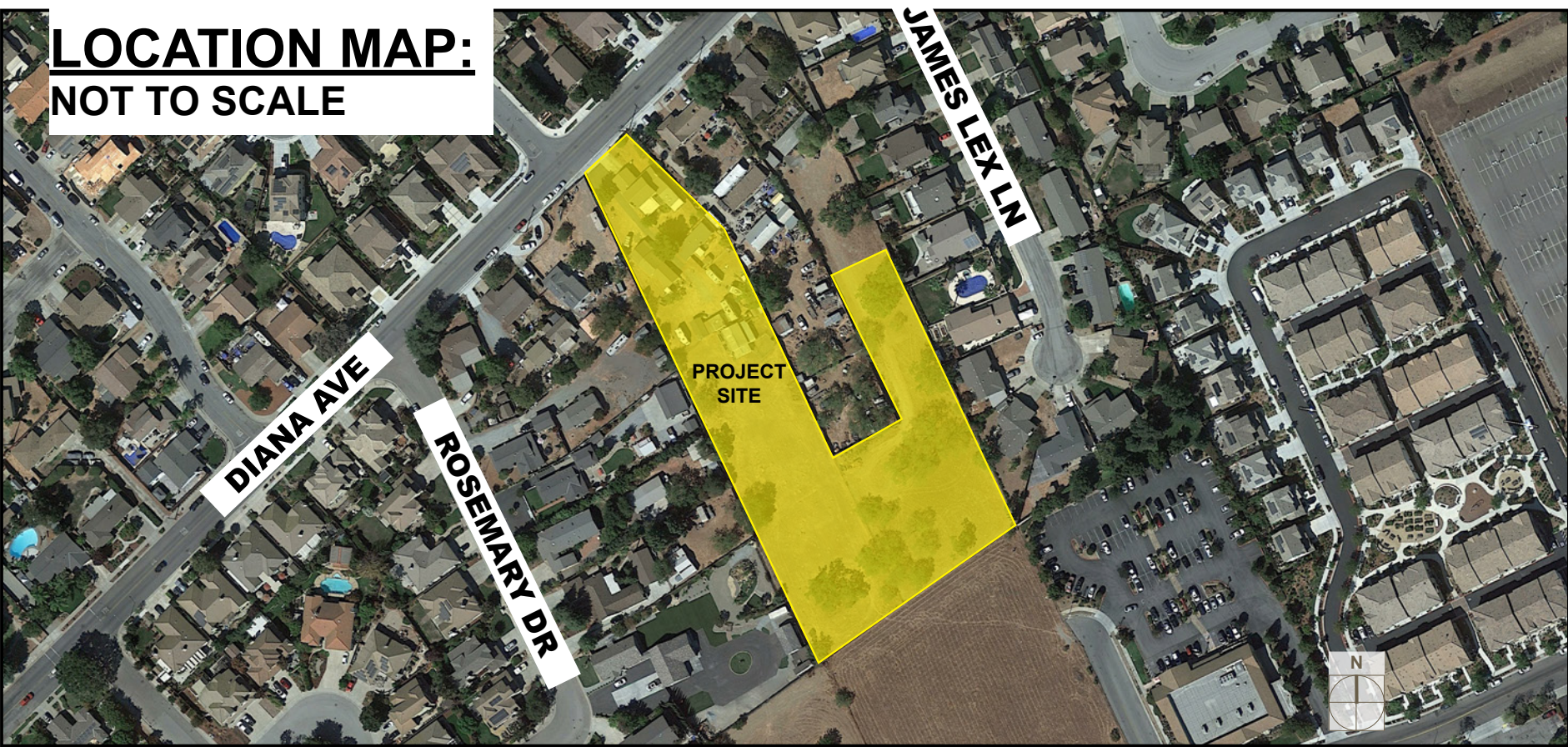
BASE DENSITY: 7 DU/ACRE MAX. (PER GENERAL PLAN)
BASE UNITS: 22 UNITS (3.05 X 7= 21.4 = 22 UNITS)

PROPOSED UNITS: 23 UNITS
PROPOSED DENSITY: 7.5 DU/ACRE (COMPLIANT WITH THE GENERAL PLAN DENSITY USING STATE DENSITY BONUS LAWS).

REQUIRED PARKING: 52 SPACES (@ 2.0 COVERED SPACES/UNIT + 1.0 GUEST SPACE/ 4 UNITS - City of Morgan Hill Single-Family Parking Requirement)

PROPOSED PARKING: 56 SPACES (@ 46 COVERED SPACES/UNIT + 10 ON-SITE OPEN SPACES. ADDITIONALLY, 20 OF THE HOMES ALSO HAVE 2 PARKING SPACES ON THE DRIVEWAY)

LOCATION MAP:
NOT TO SCALE



PROJECT TEAM INFO:

CLIENT:
DIVIDEND HOMES, INC.
385 Woodview Avenue,
Suite 100
Morgan Hill, CA 95037
Contact: Joshua Vrotsos
Jvrotsos@dividendhomes.com

ARCHITECT:
DAHLIN
5865 Owens Drive
Pleasanton, CA 94588
Tel: 925.251.7200
Contact : Ron Cariaga
Ronald.Cariaga@dahlingroup.com
Ritu Raj Sharma
Rsharma@dahlingroup.com

CIVIL:
BFK Engineers
1730 N. First St. Suite 600
San Jose, CA 95112
Tel: 408-467-9173
Contact: Phong Kiet, PE
pkiet@bkf.com

ATTORNEY:
MILLER STARR REGALIA
1331 North California Boulevard,
Suite 600, Walnut Creek, CA 94596
Tel: 925.935.9400
Contact: Bryan W. Wenter
bryan.wenter@msrlegal.com

Table 1: Residential Detached Medium Density (RDM)

Minimum Site Specifications	Requirement	Proposal	Waiver Required?
Min. Lot Area (single-family lot)	7,000 sf	+/- 2,948 sf (smallest)	Yes
Min. Lot Area (corner lot)	7,500 sf	+/- 3,838 sf (smallest)	Yes
Min. Lot Width (single-family lot)	60'	37' (smallest)	Yes
Min. Lot Width (corner lot)	40'	42' (smallest)	No
Min. Lot Depth	85'	73' (smallest)	Yes
Minimum Setbacks			
Front - 1st Story	20'	+/- 5.3' (lowest)	Yes
Front - Upper Stories	25'	+/- 5.3' (lowest)	Yes
Interior Side - 1st Story	5'	5'	No
Interior Side - Upper Stories	12.5'	5'	Yes
Street Side	15'	5' (lowest)	Yes
Rear - 1st Story	20'	7' (lowest)	Yes
Rear - Upper Stories	25'	7' (lowest)	Yes
Maximum Height			
Building Height	30'	29'8"	No
Density			
Max. Density	7 du/ac	7.5 du/ac	Yes
Other Zoning Requirements			
Max. Building Coverage	50%	55% (highest)	Yes
Min. Front Setback Variation	5'	5'	No
Min. Rear Setback Variation	5'	5'	No
Variation in standard lot widths	4'	8'	No
Garage placement variation	25% of homes	none	Yes
Parking (Single-Family)	46 (2 covered spaces/unit)	46 (2 covered spaces/unit)	No
Guest Parking (1:4 unit)	6 spaces	10 uncovered street spaces	No
Residential Development Standards			
Balconies	25% of homes	none	Yes
Private Open Space	375	complies	No
Common Open Space	3281.25	none	Yes
Continuous Sidewalks	Both sides of street frontage	One side of street frontage	Yes
Secondary Residential Street Section	56' Width	Half street standard section	Yes

Table 2: Density Bonus Calculation

Project Data	Notes	
Site acreage	3.05	
General Plan	Residential Detached Medium	upto 7 du/ac
Zoning	Residential Detached Medium Density	RDM 9,000 or RDM 7,000
Max. allowable density (du/ac)	7	Based on General Plan
Max. allowable units	21.35655471	22 SDBL allows rounding up of units
% of affordable units required (15 %)	3.3	3 units on site and 0.3 unit as in-lieu fee
Moderate Income units provided	3	3 units on site (3/22 = 13.6%)
Percentage of density bonus units	13.6%	14% SDBL Allows rounding up the %
Density bonus % allowed based on 14% moderate income units	9.00%	Based on SDBL
Number of Density Bonus units based on 9% density bonus	1.98	2 SDBL allows rounding up of units
Maximum units allowed		24 (base + density bonus units)
Maximum units provided		23

BUILDING DATA:

BUILDING TYPE: SINGLE FAMILY
OCCUPANCY GROUP: R-3
CONSTRUCTION TYPE: VB
SPRINKLER SYSTEM: NFPA13D

PROJECT DESCRIPTION:

The project site consists of 3.05 acres located at 730 and 760 Diana Ave. It is designated as Residential Detached Medium, (up to 7 du/ac) under the city's General Plan, with an allowed density of 7 units per acre, and zoned as Residential Detached Medium Density (RDM 9000 or RDM 7000) under the Morgan Hill Municipal Code.

Pursuant to the State's Density Bonus Law, the project is requesting certain incentives and concessions and waivers or reductions of development standards (listed in Table 1 and described more fully in the enclosed materials) for the proposed twenty-three single family homes, three of which (13.6%) will be designated as moderate income for-sale units (refer to Table 2 for density calculations). The applicant reserves the right to request additional incentives and concessions and waivers or reductions of development standards as the design evolves and based on feedback from the City.

The base density for the project site is 22 units per acre, and the project proposes 23 units per acre (inclusive of one density bonus unit). The project density is thus 7.5 units per acre. With the increased density allowed under the Density Bonus Law, along with the allowed incentives and concessions and waivers or reductions of development standards, the project is consistent with the City's applicable, objective land use regulations.

The project is designed to blend with the existing context in the area of the project site, utilizing the single loaded street and backyards to buffer the proposed homes from the existing neighbors. All homes are front loaded, with a private driveway serving a two-car garage. Each home has a private backyard, creating a buffer between adjacent lots. All the homes will be two stories with 3-4 bedrooms.

The project is a context-sensitive, infill housing solution on an under-utilized site, blending in character with the surrounding fabric, all while providing mixed-income single family homes to meet the needs of today's market.

TITLE SHEET

730 & 760 DIANA AVE - MORGAN HILL, CA
DIVIDEND HOMES

DAHLINE GROUP ARCHITECTURE | PLANNING | INTERIORS

CITY OF MORGAN HILL
PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 3/7/2025

SR2024-0004

FILE NUMBER

Roshni Saxena
Assistant Planner

PLANNING OFFICIAL

WWW.DAHLINGROUP.COM



MILLER STARR
REGALIA



JOB NO. 297-091
DATE 03/04/2025

A.1



**CITY OF MORGAN HILL
PLAN APPROVED**

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 3/7/2025

SR2024-0004

FILE NUMBER
Roshni Saxena
Assistant Planner *R. Saxena*

PLANNING OFFICIAL

*NO BUS STOPS LOCATED WITHIN 100' OF THE PROJECT SITE



**730 & 760 DIANA AVE - MORGAN HILL, CA
DIVIDEND HOMES**

DAHLIN GROUP ARCHITECTURE | PLANNING | INTERIORS

WWW.DAHLINGROUP.COM



**MILLER STARR
REGALIA**



JOB NO. 297-091
DATE 03/04/2025

A.2



1



4



7



2



5



8



3



6



9



CITY OF MORGAN HILL

PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 3/7/2025

SR2024-0004

FILE NUMBER

Roshni Saxena
Assistant Planner

PLANNING OFFICIAL

SITE CONTEXT PHOTOS

730 & 760 DIANA AVE - MORGAN HILL, CA

DIVIDEND HOMES

DAHLIN GROUP ARCHITECTURE | PLANNING | INTERIORS

WWW.DAHLINGROUP.COM



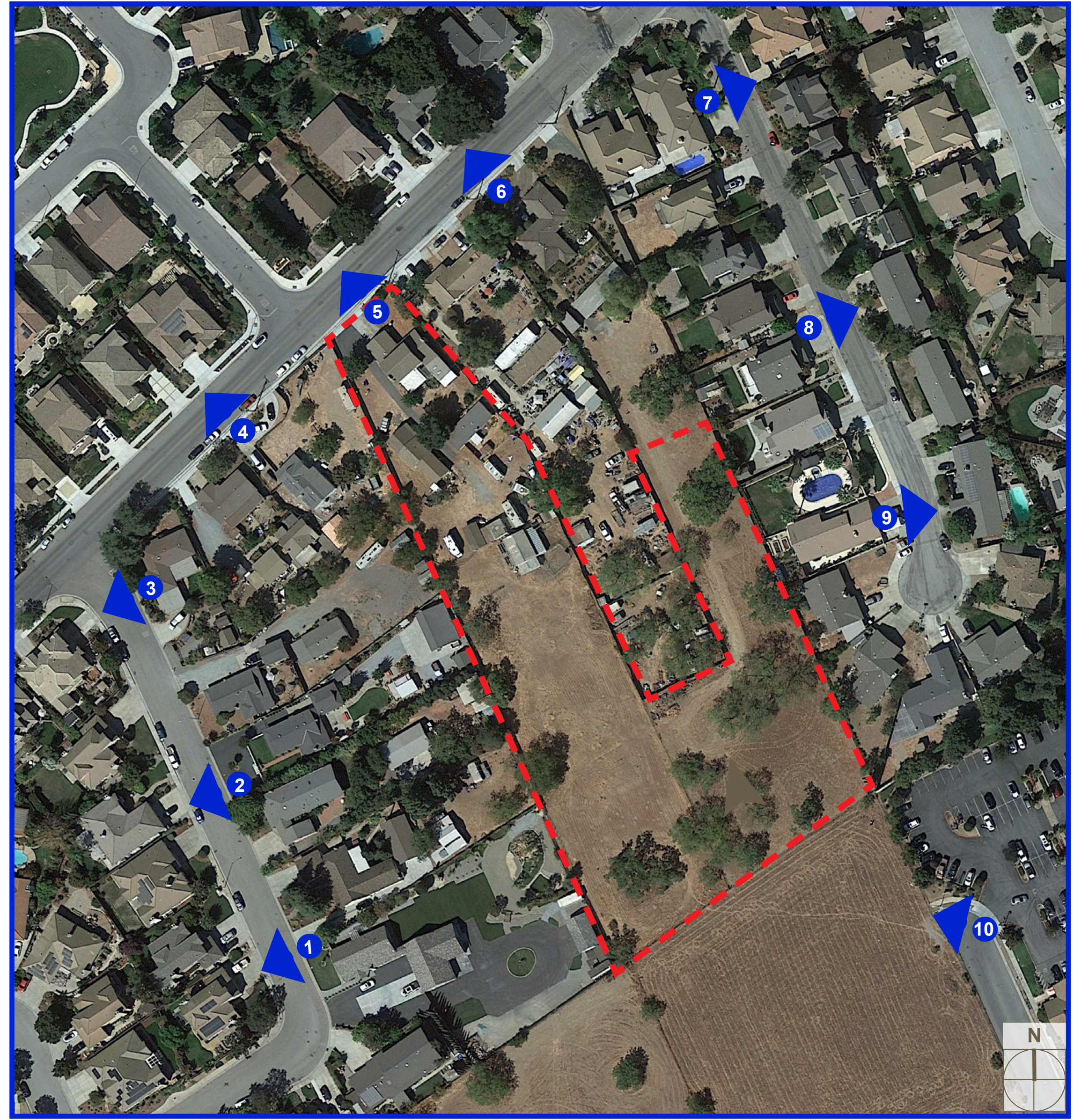
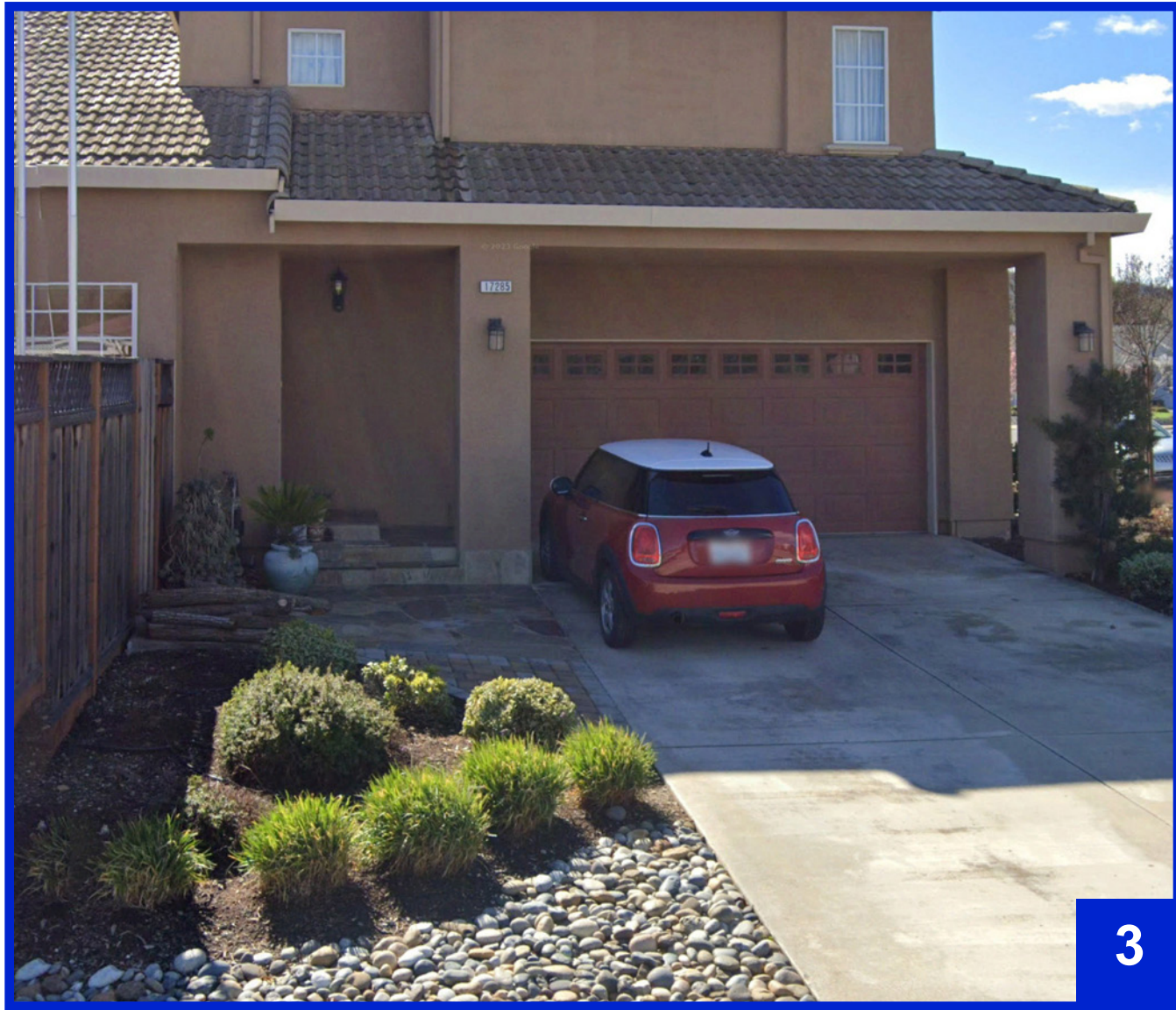
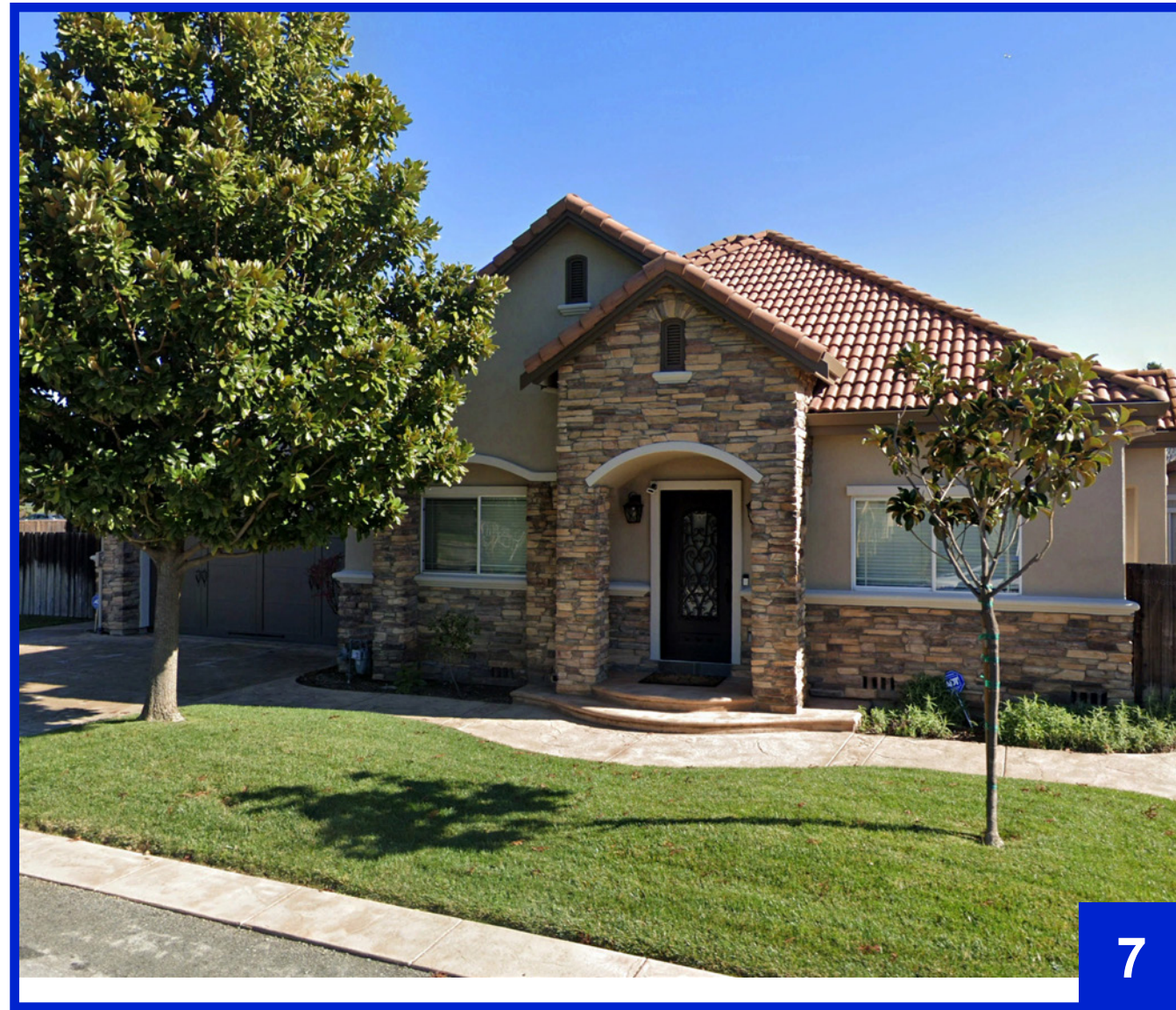
MILLER STARR
REGALIA



JOB NO. 297-091

DATE 03/04/2025

A.3



CITY OF MORGAN HILL
PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 3/7/2025

SR2024-0004

FILE NUMBER
Roshni Saxena
Assistant Planner

PLANNING OFFICIAL

SITE CONTEXT PHOTOS CONTINUED

730 & 760 DIANA AVE - MORGAN HILL, CA
DIVIDEND HOMES

DAHLIN GROUP ARCHITECTURE | PLANNING | INTERIORS

WWW.DAHLINGROUP.COM



MILLER STARR
REGALIA



JOB NO. 297-091
DATE 03/04/2025



CITY OF MORGAN HILL

PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 3/7/2025

SR2024-0004

FILE NUMBER

Roshni Saxena
Assistant Planner

PLANNING OFFICIAL

LEGEND

1 LOT NUMBER

PLAN TYPE 1 - 3,116 SF

PLAN TYPE 2 - 2,536 SF

A TRADITIONAL ELEVATION STYLE

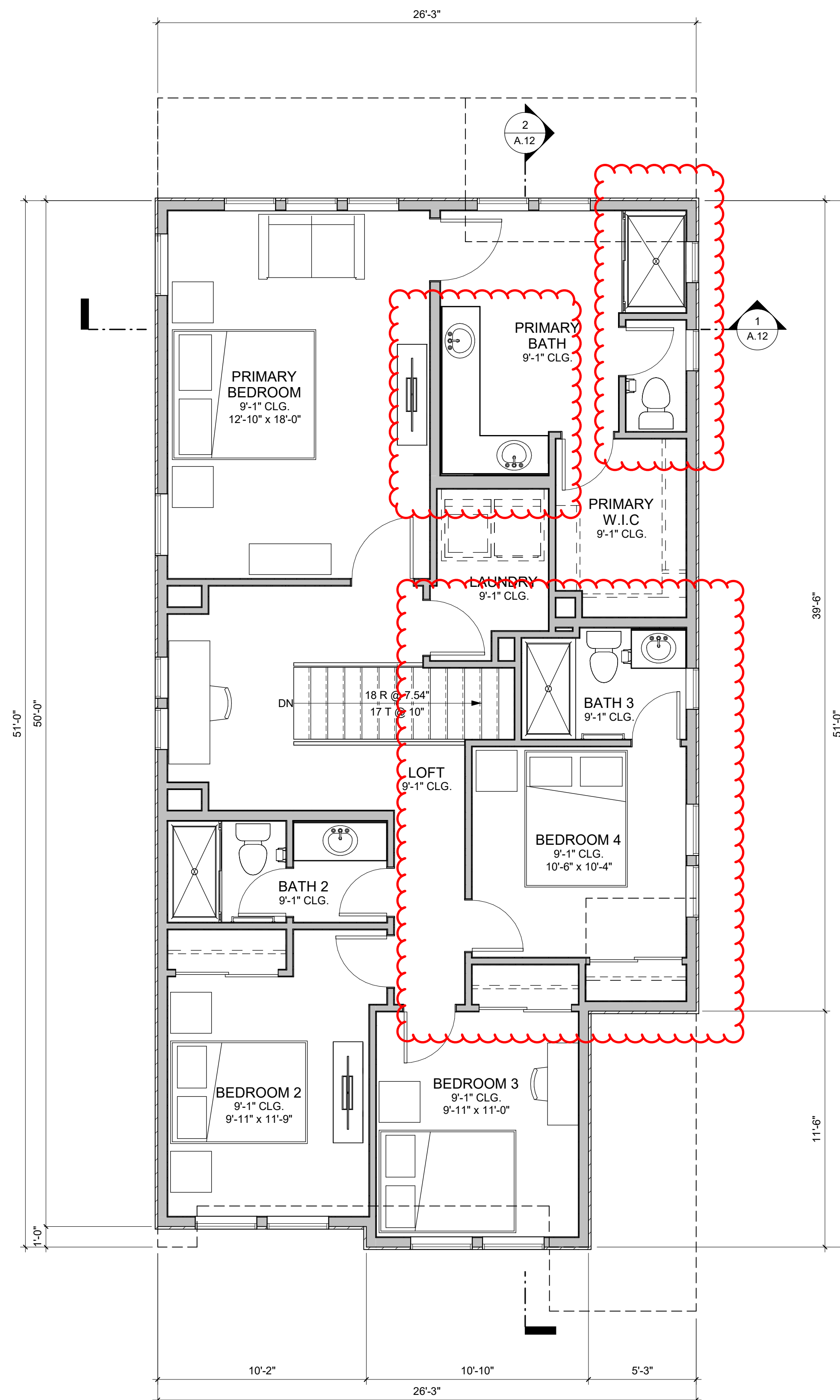
B SPANISH ELEVATION STYLE

* AFFORDABLE UNITS (3 UNITS TOTAL)

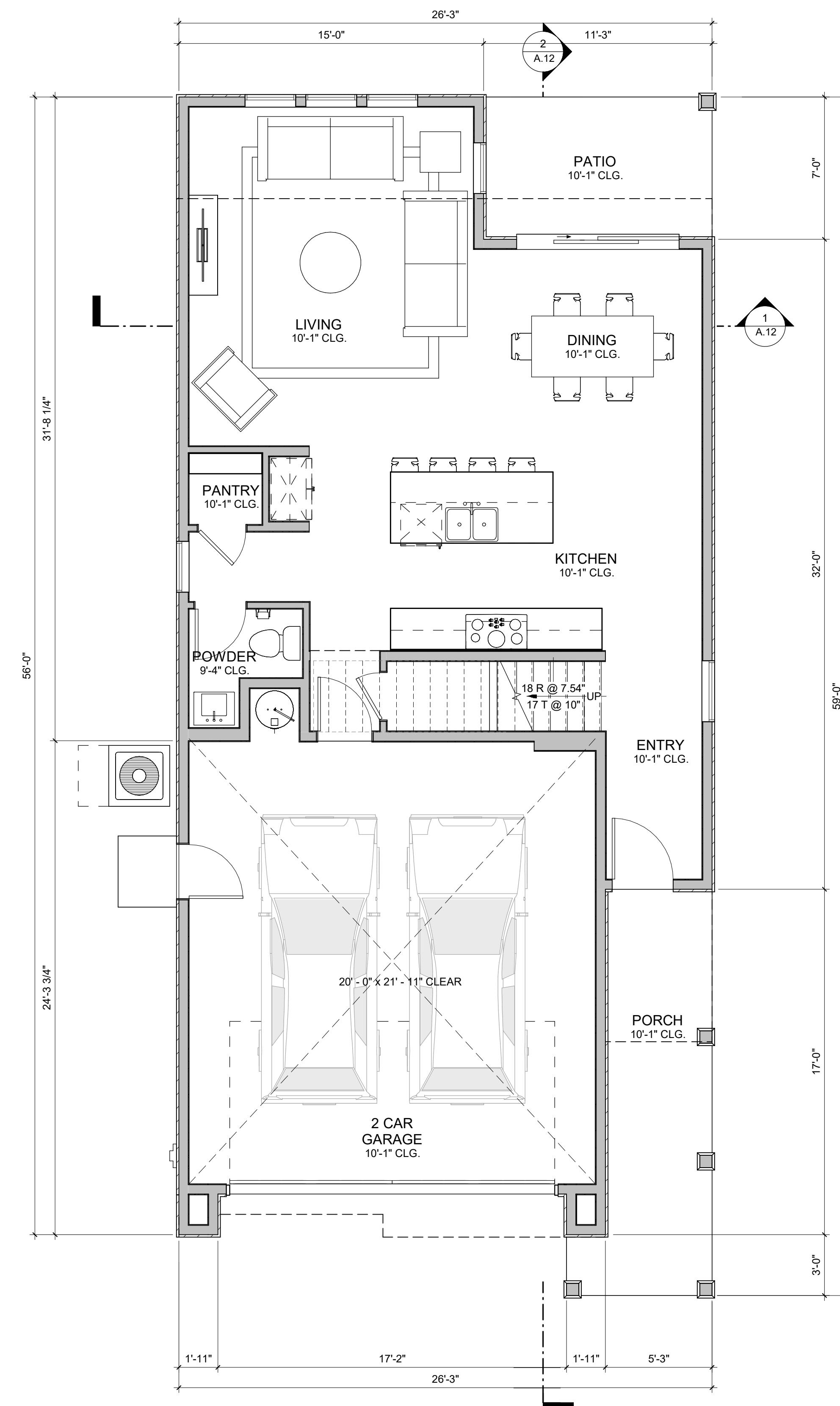


THIS PLAN IS PROVIDED FOR ILLUSTRATIVE PURPOSES ONLY, TO CONVEY DESIGN CONCEPTS AND INTENT.
FOR DETAILED SITE PLAN INCLUDING DIMENSIONS, REFER TO SHEET C3.0
FOR DETAILED LANDSCAPE PLAN, REFER TO T1.0, T1.1, L1.0, L1.1, L2.0, L2.1, L2.2, L2.3, L2.4, L3.0

STREETSCAPE PLAN



2 PLAN 1A - SECOND FLOOR PLAN
1/4" = 1'-0"



1 PLAN 1A - FIRST FLOOR PLAN
1/4" = 1'-0"



PLAN 1A - 4 BR / 3.5 BA	
NAME	AREA (SF)
FIRST FLOOR	789
SECOND FLOOR	1230
TOTAL LIVING AREA	2019
2-CAR GARAGE	479
PATIO	79
PORCH	111

PLAN 1A - TRADITIONAL - FLOOR PLANS

730 & 760 DIANA AVE - MORGAN HILL, CA
DIVIDEND HOMES

DAHLIN GROUP ARCHITECTURE | PLANNING | INTERIORS

WWW.DAHLINGROUP.COM

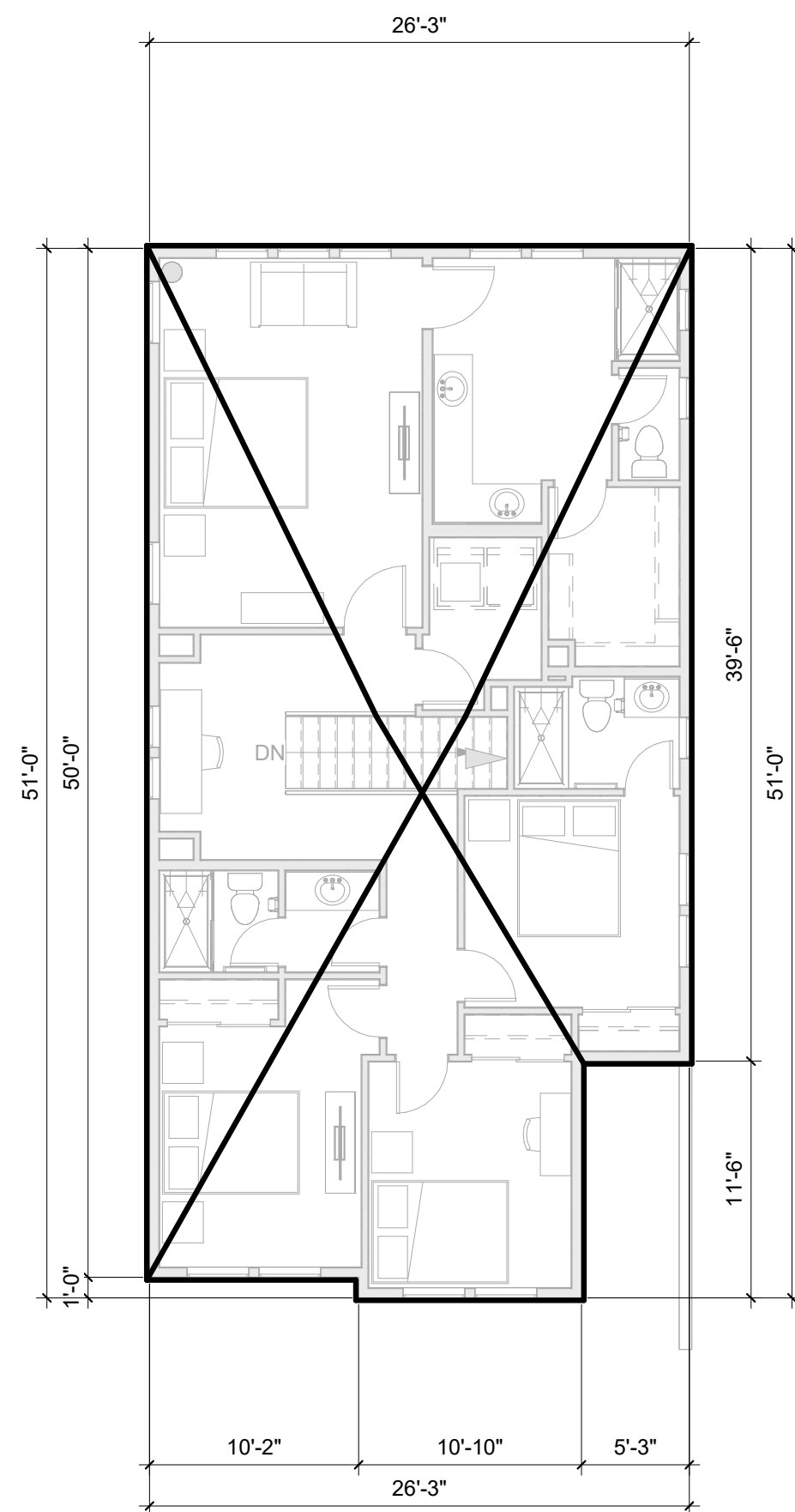


MILLER STARR
REGALIA

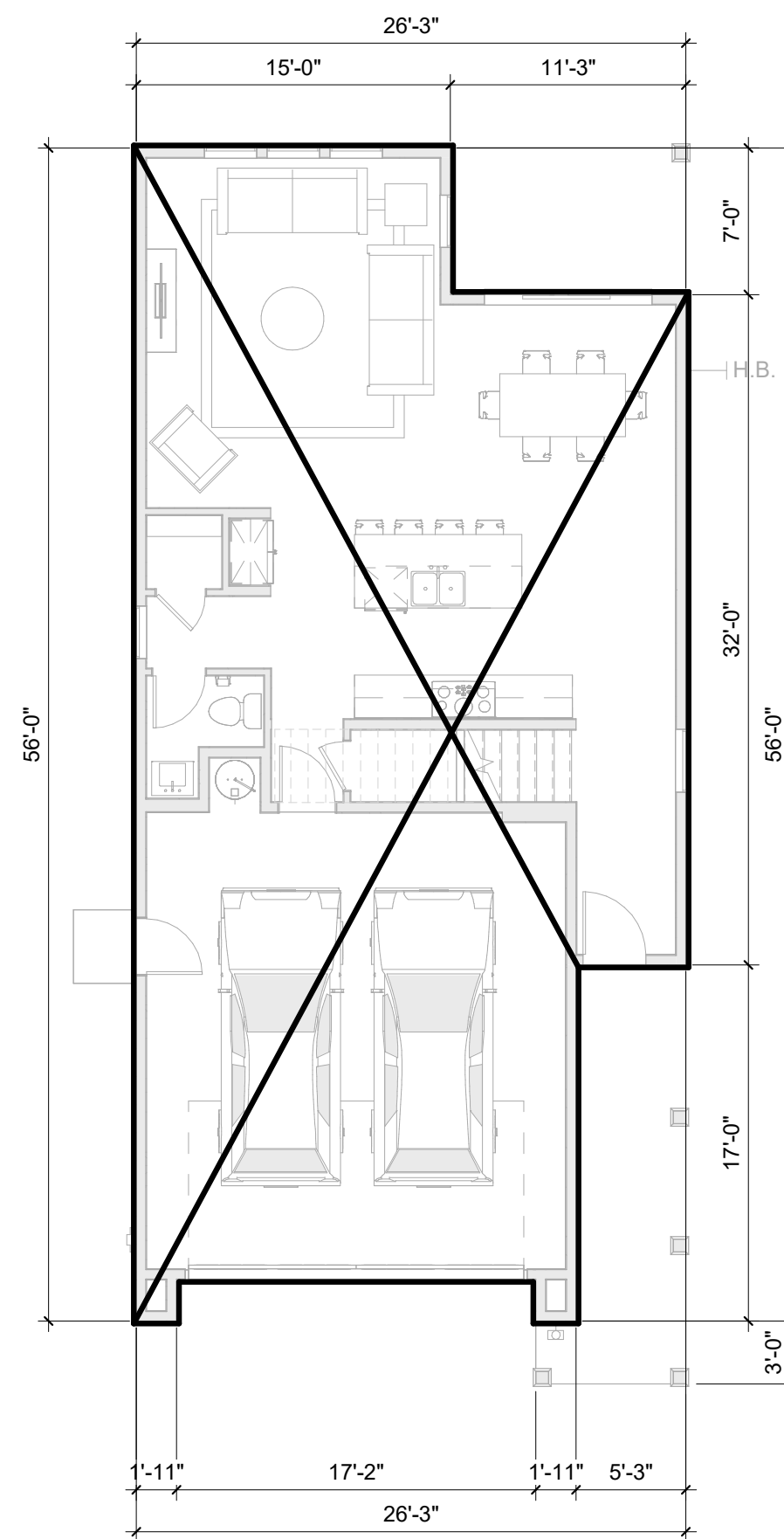


JOB NO. 297-091
DATE 03/04/2025

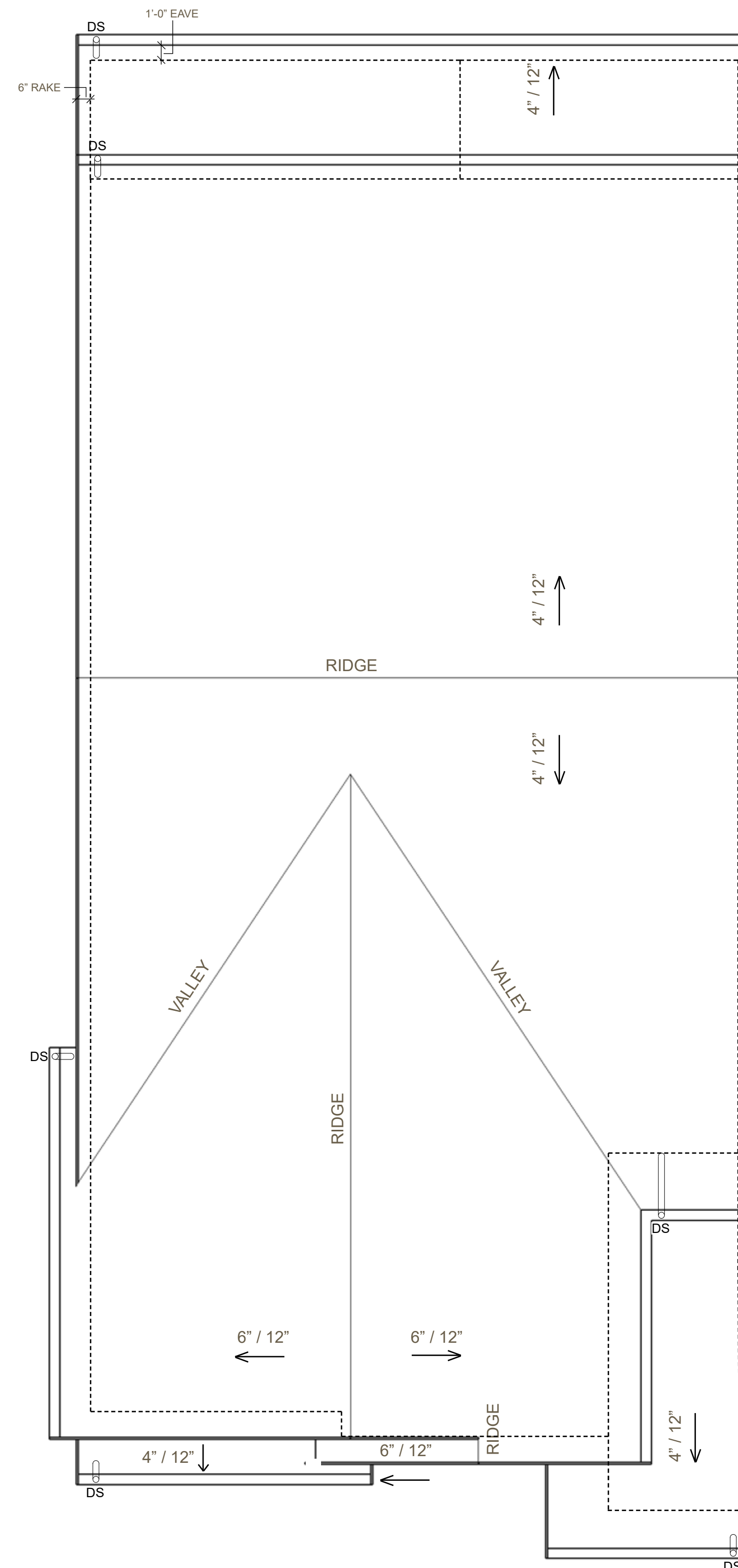
A.6



3 PLAN 1A - SECOND FLOOR F.A.R. BOUNDARY
1/8" = 1'-0"



2 PLAN 1A - FIRST FLOOR F.A.R. BOUNDARY
1/8" = 1'-0"



1 PLAN 1A - ROOF PLAN
1/4" = 1'-0"

CITY OF MORGAN HILL

PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 3/7/2025

SR2024-0004

FILE NUMBER

Roshni Saxena
Assistant Planner

PLANNING OFFICIAL

PLAN 1A - TRADITIONAL - FAR + ROOF PLANS

730 & 760 DIANA AVE - MORGAN HILL, CA
DIVIDEND HOMES

DAHLIN GROUP ARCHITECTURE | PLANNING | INTERIORS

WWW.DAHLINGROUP.COM

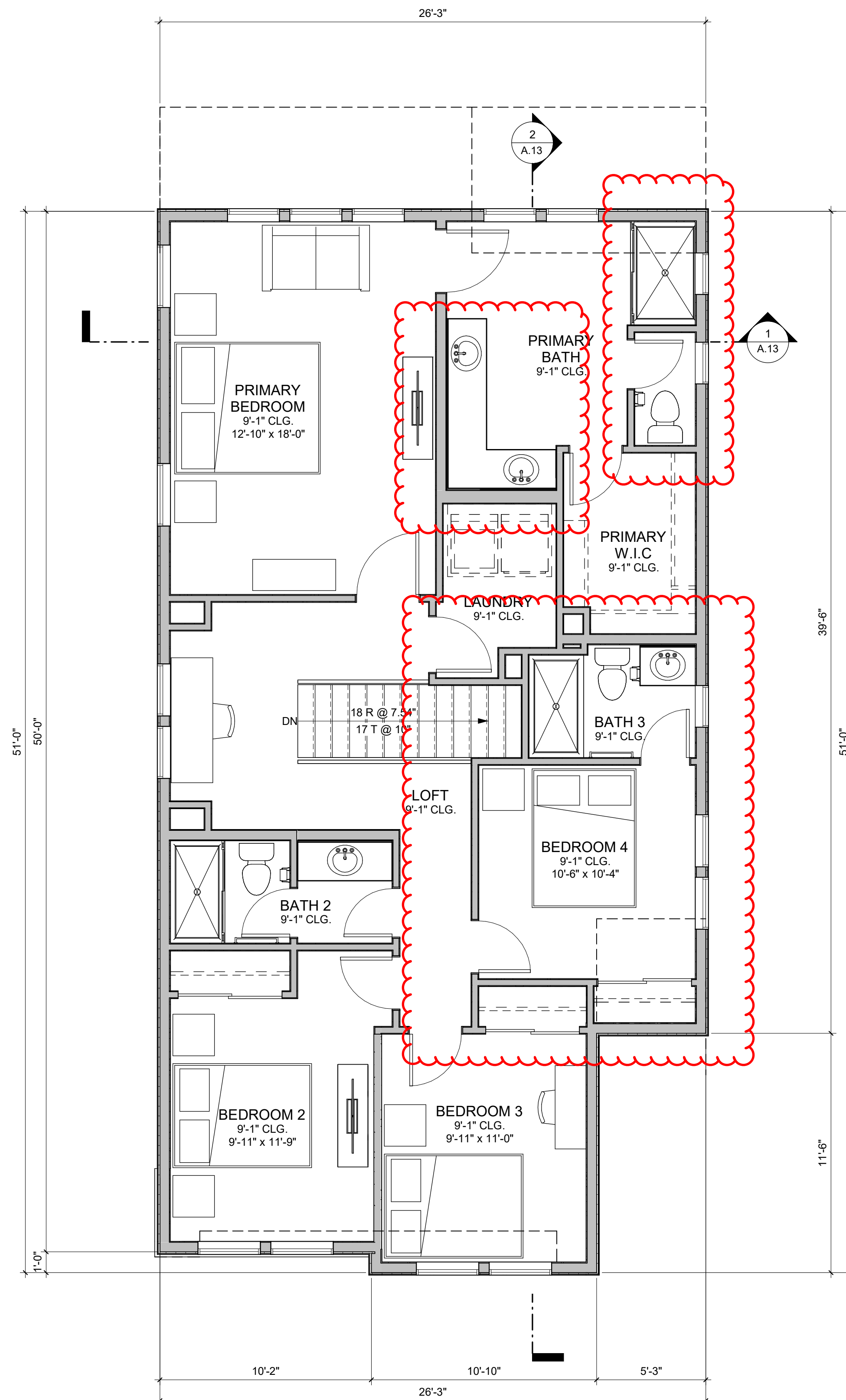


MILLER STARR
REGALIA

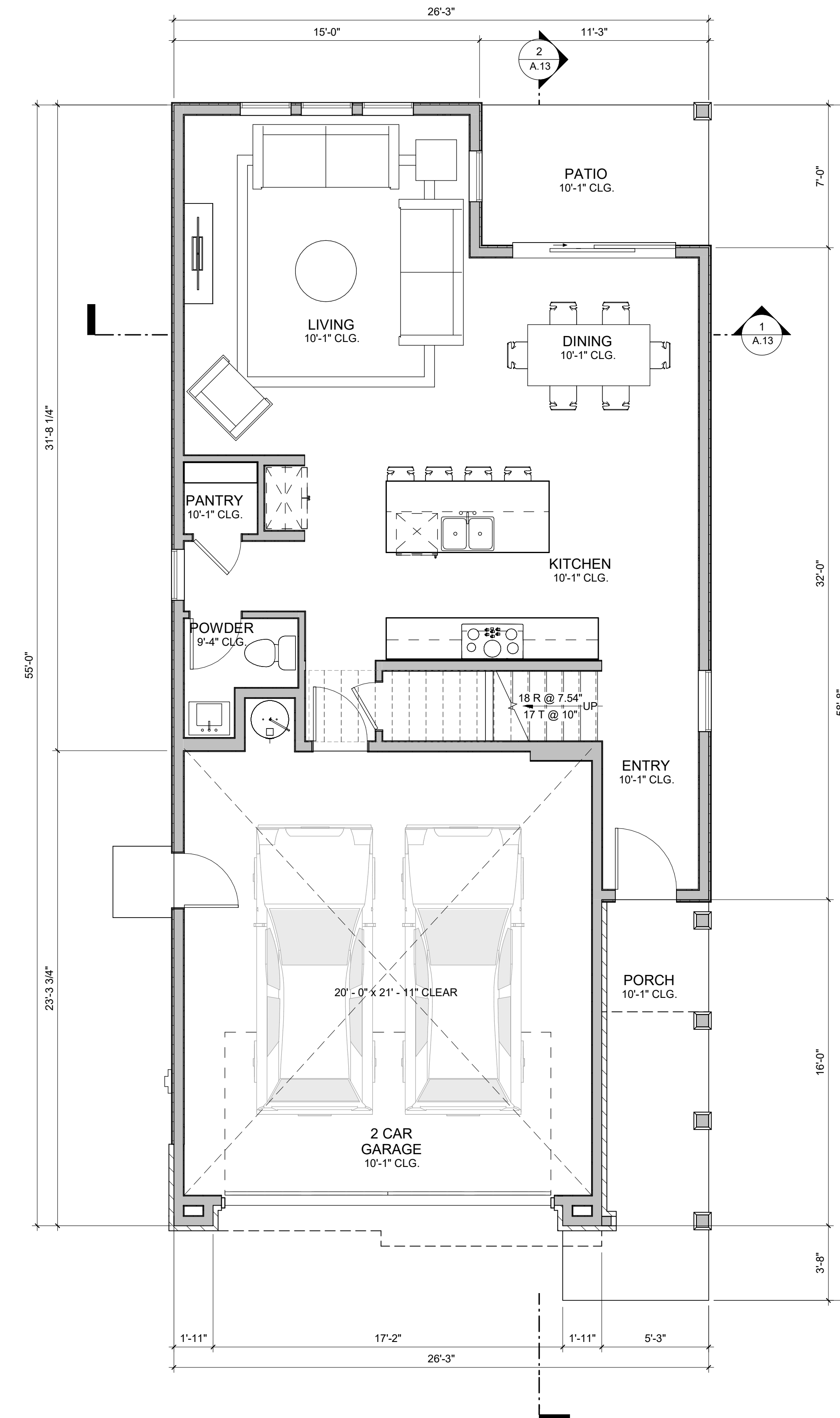


JOB NO. 297-091
DATE 03/04/2025

A.7



2 PLAN 1B - SECOND FLOOR PLAN
1/4" = 1'-0"



1 PLAN 1B - FIRST FLOOR PLAN
1/4" = 1'-0"

CITY OF MORGAN HILL
PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 3/7/2025

SR2024-0004

FILE NUMBER
Roshni Saxena
Assistant Planner

PLANNING OFFICIAL

PLAN 1B - 4 BR / 3.5 BA	
NAME	AREA (SF)
FIRST FLOOR	789
SECOND FLOOR	1230
TOTAL LIVING AREA	2019
2-CAR GARAGE	475
PATIO	79
PORCH	110

PLAN 1B - SPANISH - FLOOR PLANS

730 & 760 DIANA AVE - MORGAN HILL, CA
DIVIDEND HOMES

DAHLIN GROUP ARCHITECTURE | PLANNING | INTERIORS

WWW.DAHLINGROUP.COM

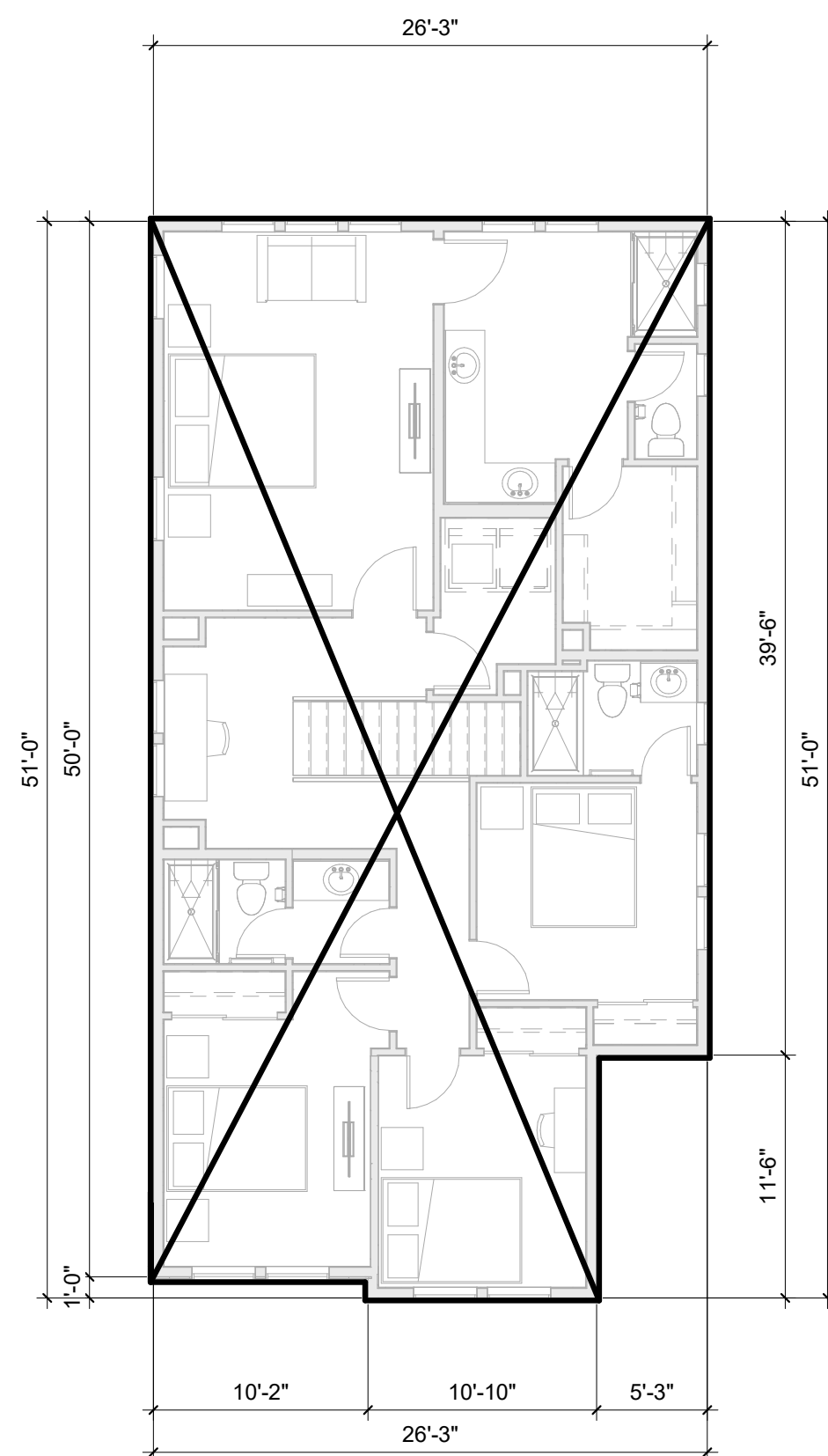


MILLER STARR
REGALIA

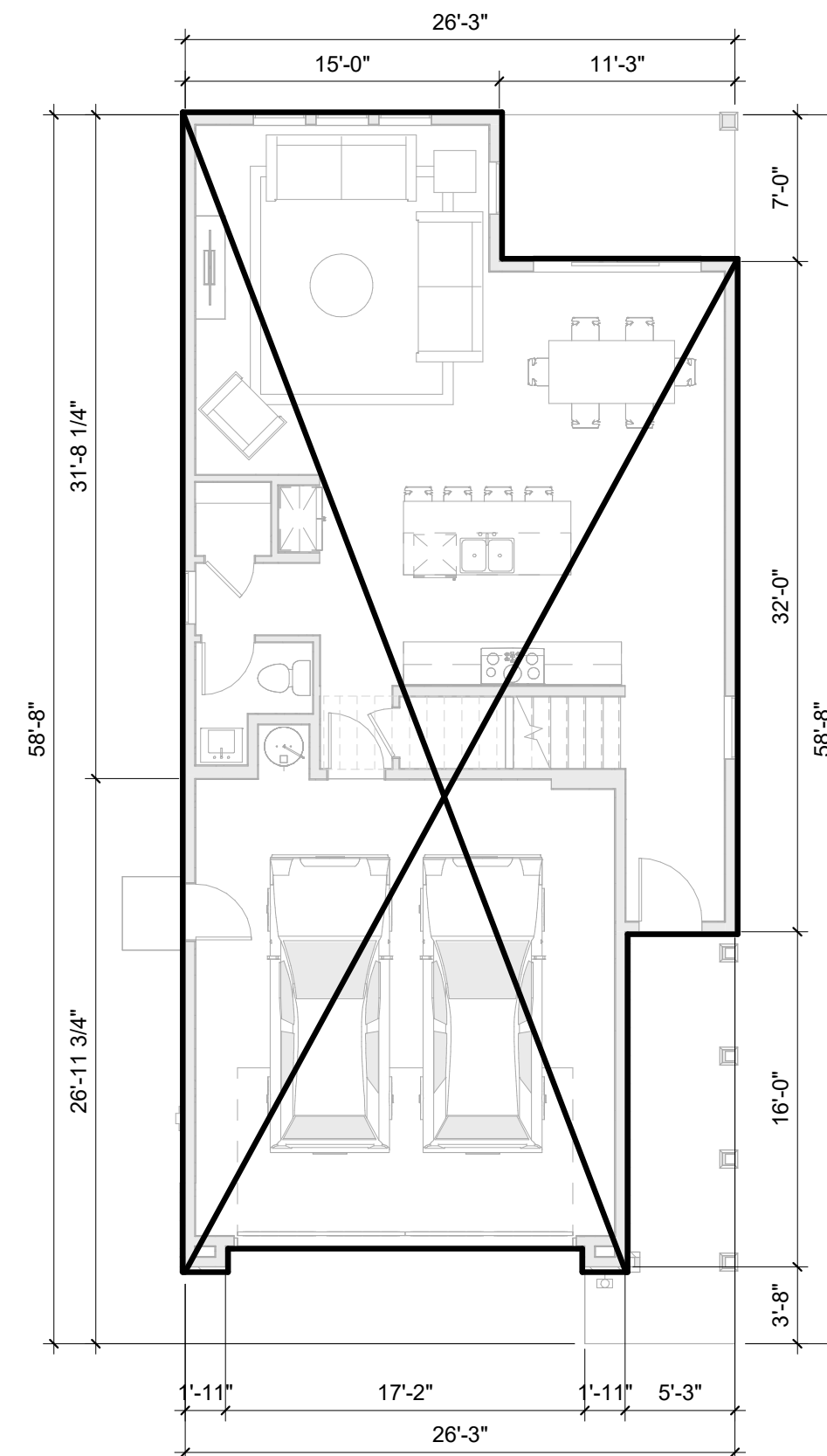


JOB NO. 297-091
DATE 03/04/2025

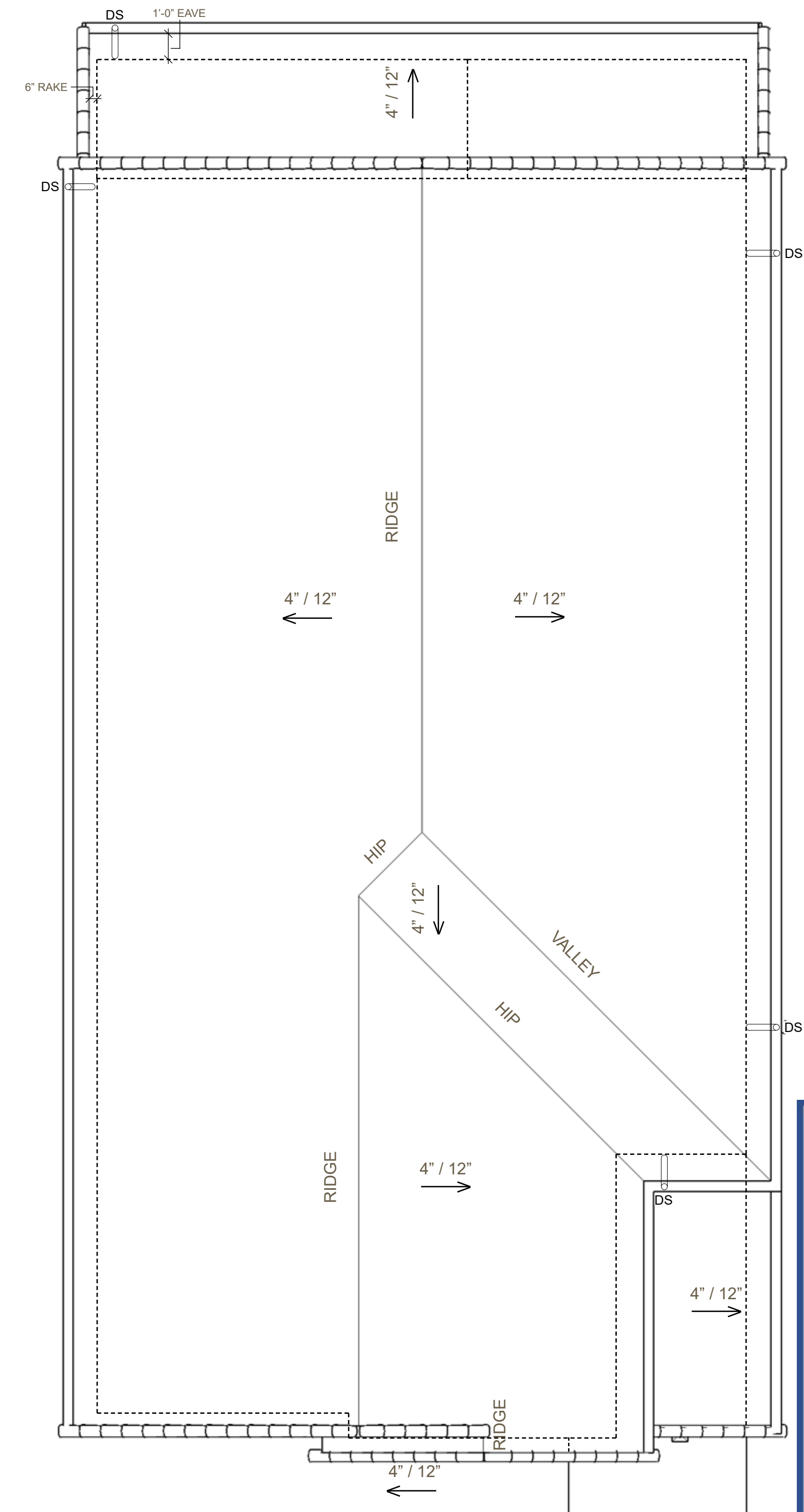
A.8



3 PLAN 1B - SECOND FLOOR F.A.R. BOUNDARY
1/8" = 1'-0"



1 PLAN 1B - FIRST FLOOR F.A.R. BOUNDARY
1/8" = 1'-0"



2 PLAN 1B - ROOF PLAN
1/4" = 1'-0"

CITY OF MORGAN HILL

PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 3/7/2025

SR2024-0004

FILE NUMBER

Roshni Saxena
Assistant Planner

PLANNING OFFICIAL

PLAN 1B - SPANISH - FAR + ROOF PLANS

730 & 760 DIANA AVE - MORGAN HILL, CA
DIVIDEND HOMES

DAHLIN GROUP ARCHITECTURE | PLANNING | INTERIORS

WWW.DAHLINGROUP.COM



MILLER STARR
REGALIA

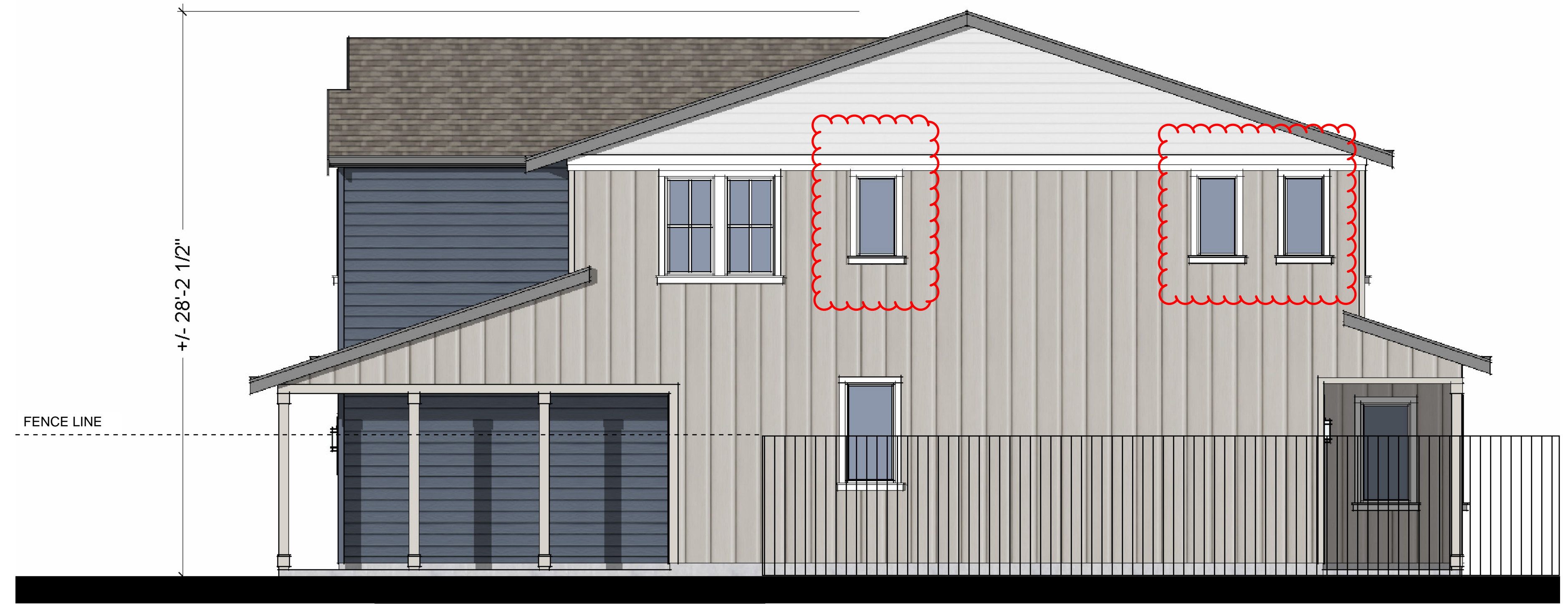


JOB NO. 297-091
DATE 03/04/2025

A.9



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

NOTE: LANDSCAPE ELEMENTS SUCH AS FENCES SHOWN FOR GRAPHICAL REPRESENTATION ONLY- SEE LANDSCAPING DRAWINGS FOR MORE INFO. REFER SHEET A.22 FOR MORE INFO ON COLOR & MATERIAL BOARD.

PLAN 1A - TRADITIONAL - ELEVATIONS

730 & 760 DIANA AVE - MORGAN HILL, CA
DIVIDEND HOMES

DAHLIN GROUP ARCHITECTURE | PLANNING | INTERIORS

WWW.DAHLINGROUP.COM



MILLER STARR
REGALIA

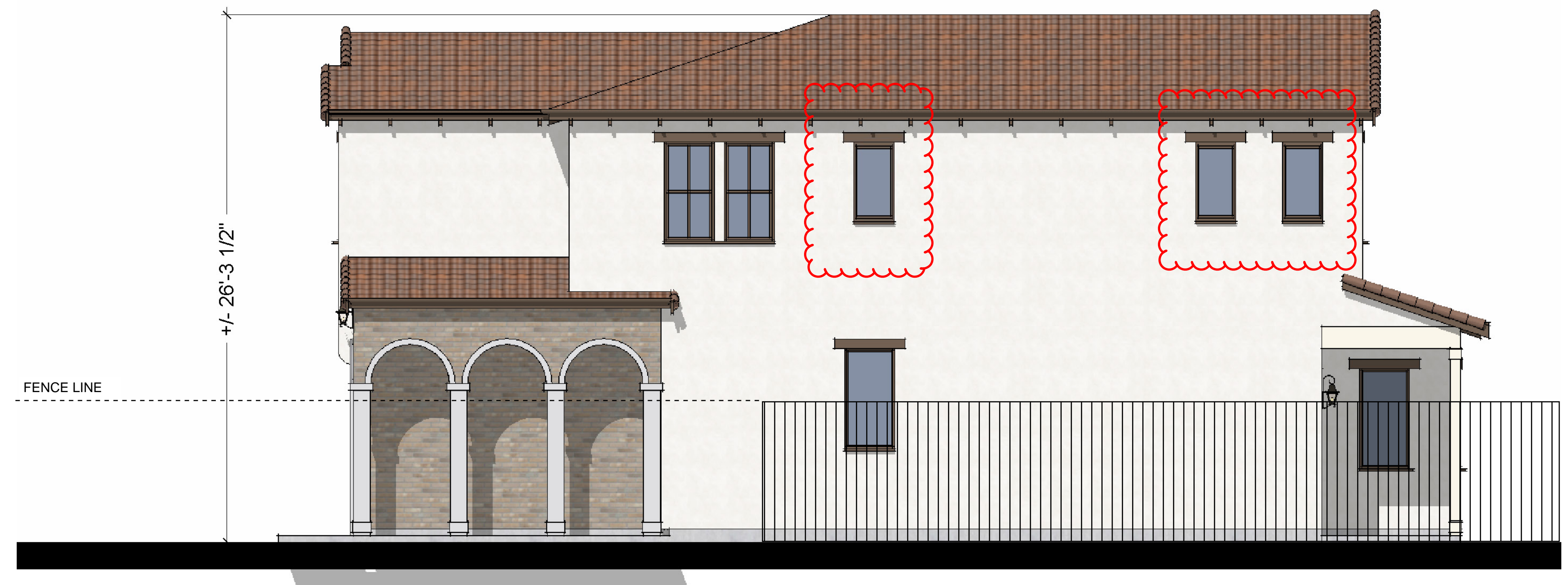


JOB NO. 297-091
DATE 03/04/2025

A.10



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

NOTE: LANDSCAPE ELEMENTS SUCH AS FENCES SHOWN FOR GRAPHICAL REPRESENTATION ONLY- SEE LANDSCAPING DRAWINGS FOR MORE INFO. REFER SHEET A.22 FOR MORE INFO ON COLOR & MATERIAL BOARD.

PLAN 1B - SPANISH - ELEVATIONS

730 & 760 DIANA AVE - MORGAN HILL, CA
DIVIDEND HOMES

DAHLIN GROUP ARCHITECTURE | PLANNING | INTERIORS

WWW.DAHLINGROUP.COM

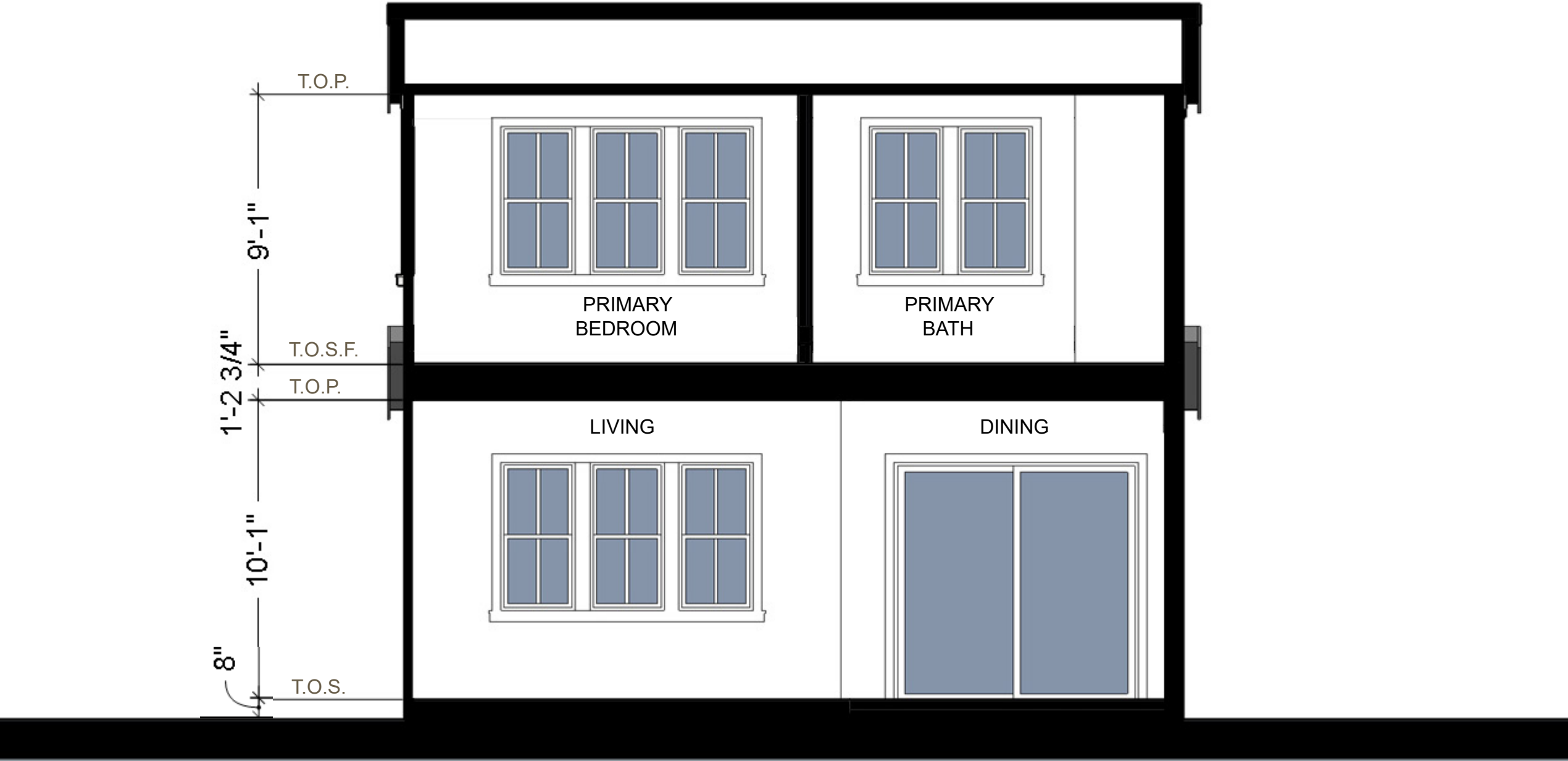


MILLER STARR
REGALIA

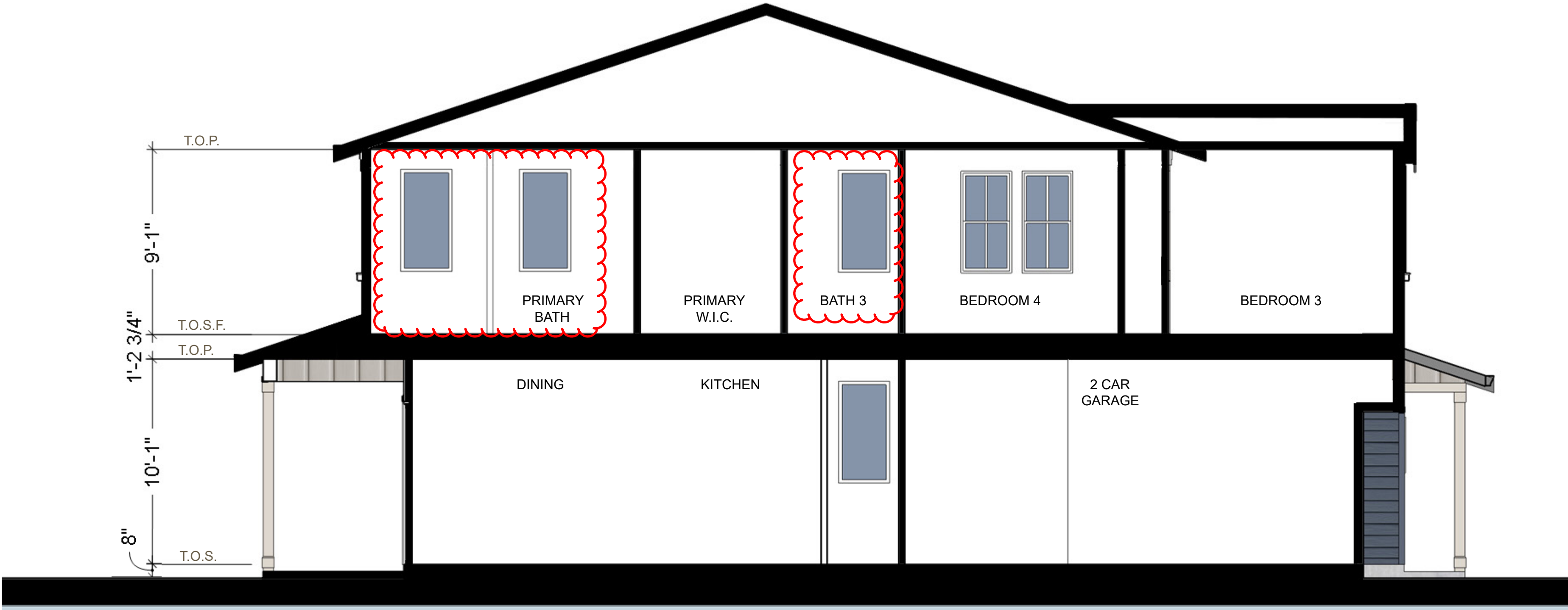


JOB NO. 297-091
DATE 03/04/2025

A.11



PLAN 1A - SECTION 1



PLAN 1A - SECTION 2

PLAN 1A - TRADITIONAL - SECTIONS

730 & 760 DIANA AVE - MORGAN HILL, CA
DIVIDEND HOMES

DAHLIN GROUP ARCHITECTURE | PLANNING | INTERIORS

WWW.DAHLINGROUP.COM



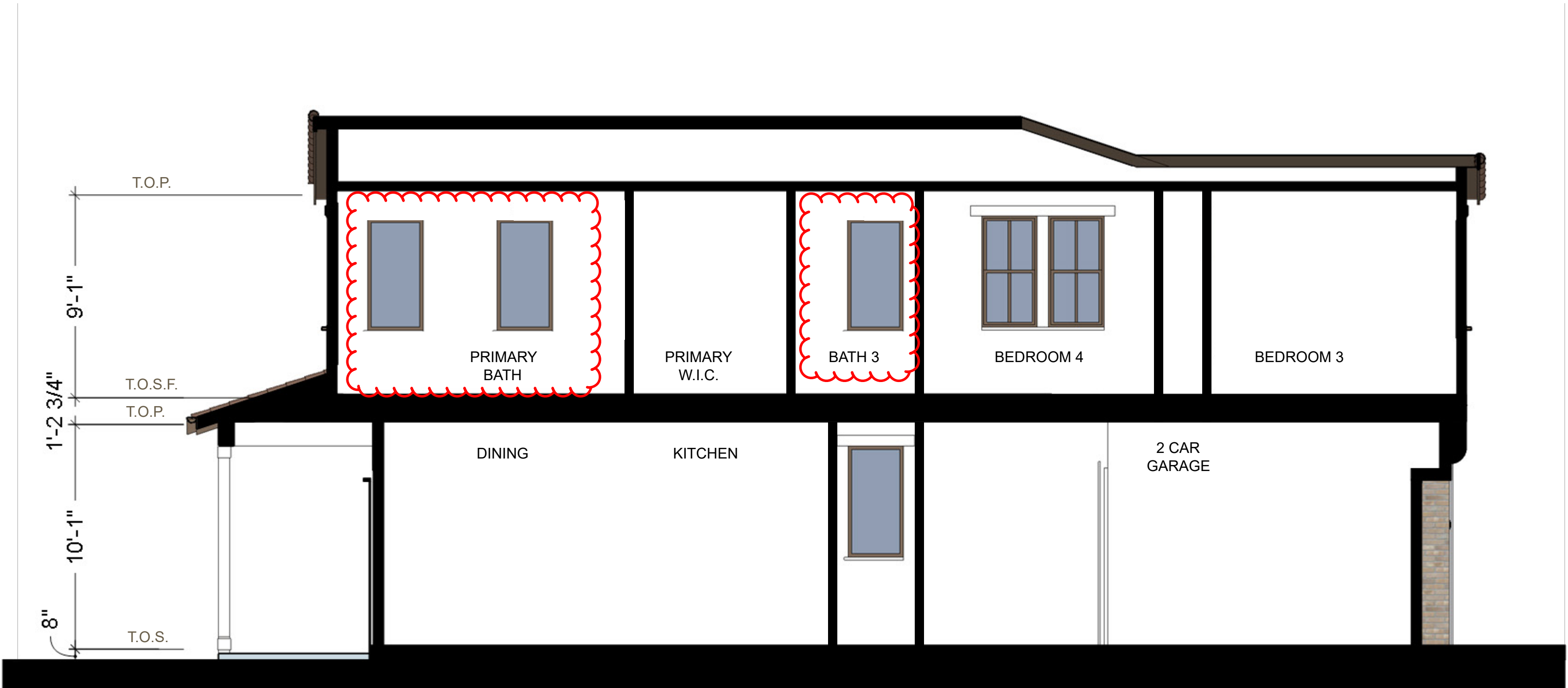
MILLER STARR
REGALIA



JOB NO. 297-091
DATE 03/04/2025



PLAN 1B - SECTION 1



PLAN 1B - SECTION 2

PLAN 1B - SPANISH - SECTIONS

730 & 760 DIANA AVE - MORGAN HILL, CA
DIVIDEND HOMES

DAHLIN GROUP ARCHITECTURE | PLANNING | INTERIORS

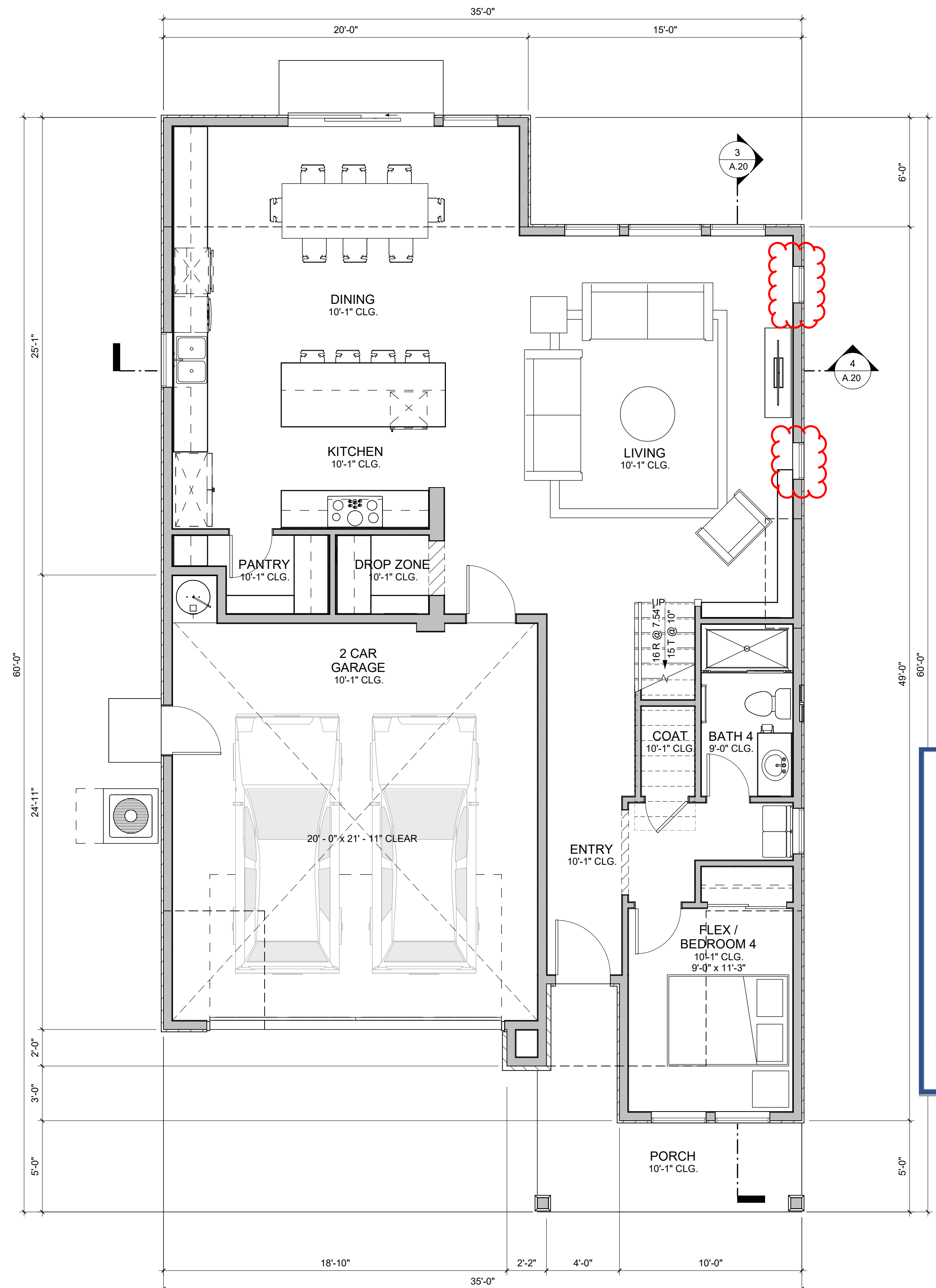
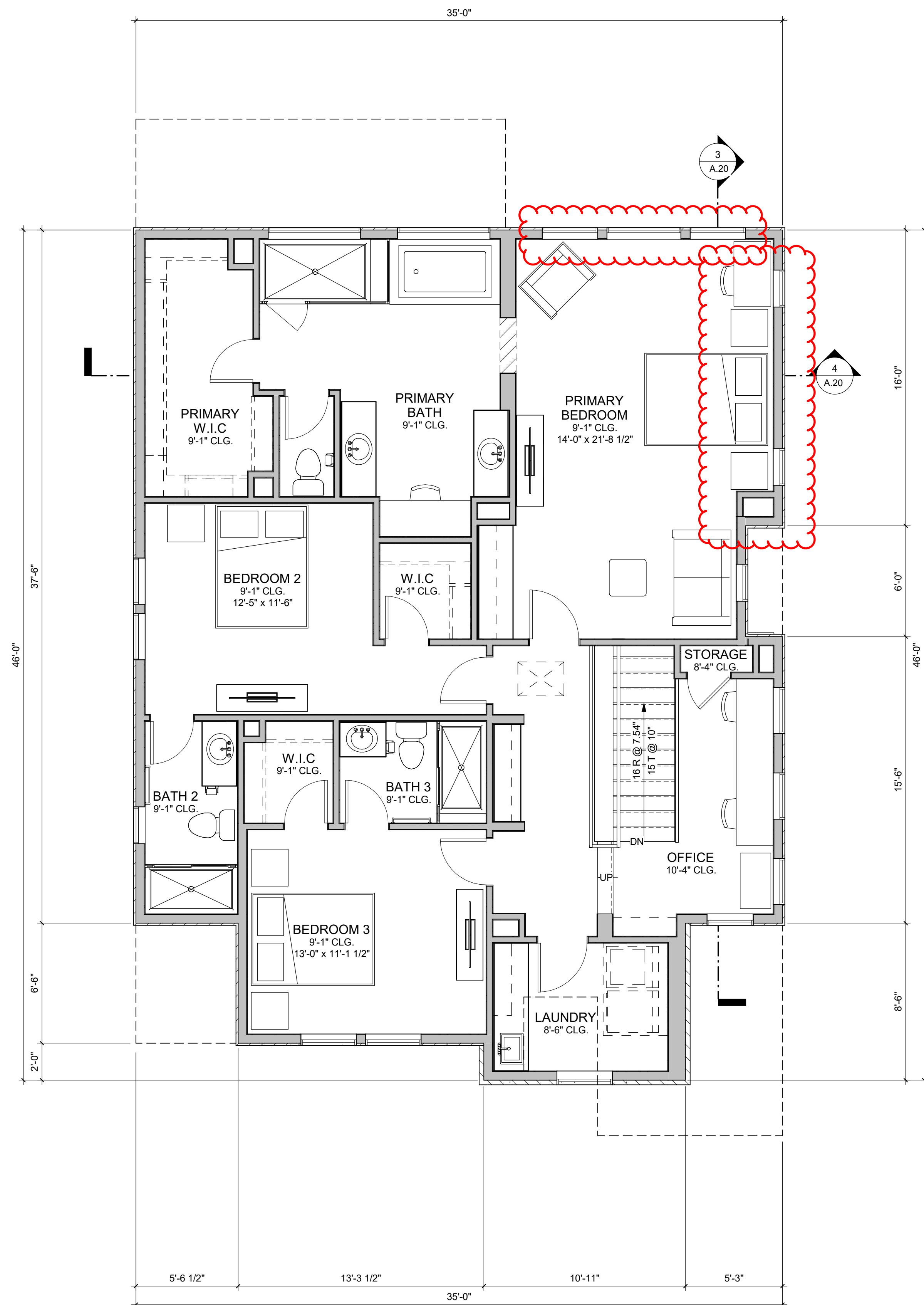
WWW.DAHLINGROUP.COM



MILLER STARR
REGALIA



JOB NO. 297-091
DATE 03/04/2025



CITY OF MORGAN HILL
PLAN APPROVED

**THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION**

ON 3/7/2025

SR2024-0004

FILE NUMBER

Roshni Saxena
Assistant Planner

PLANNING OFFICIAL

PLAN 2A - 4 BR / 4 BA	
NAME	AREA (SF)
FIRST FLOOR	1233
SECOND FLOOR	1434
TOTAL LIVING AREA	2667
2-CAR GARAGE	471
PORCH	104

730 & 760 DIANA AVE - MORGAN HILL, CA

DIVIDEND HOMES

DAHLIN GROUP ARCHITECTURE | PLANNING | INTERIORS

WWW.DAHLINGROUP.COM



**MILLER STARR
REGALIA**



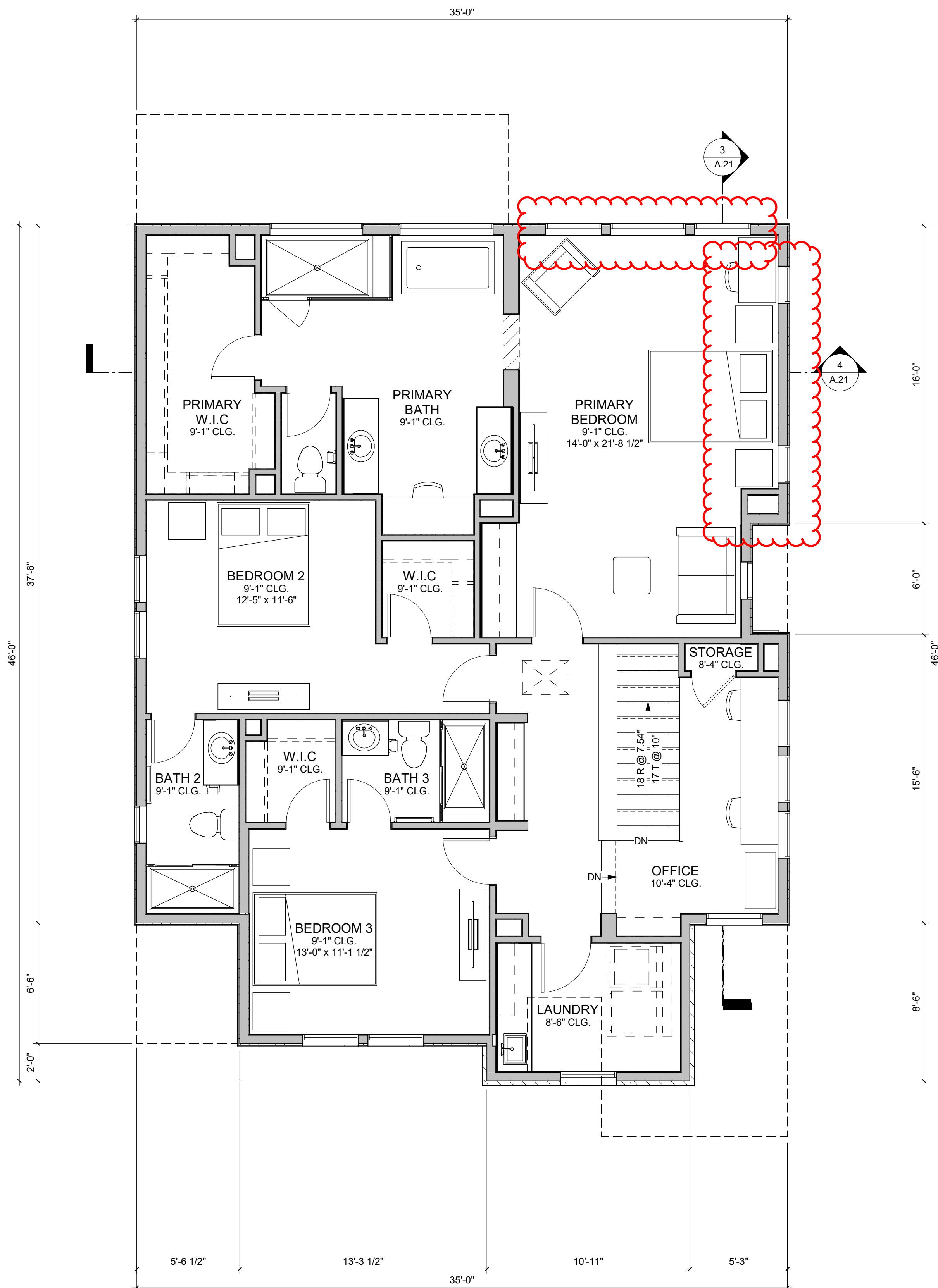
Michael Arnone + Associates
LANDSCAPE ARCHITECTURE



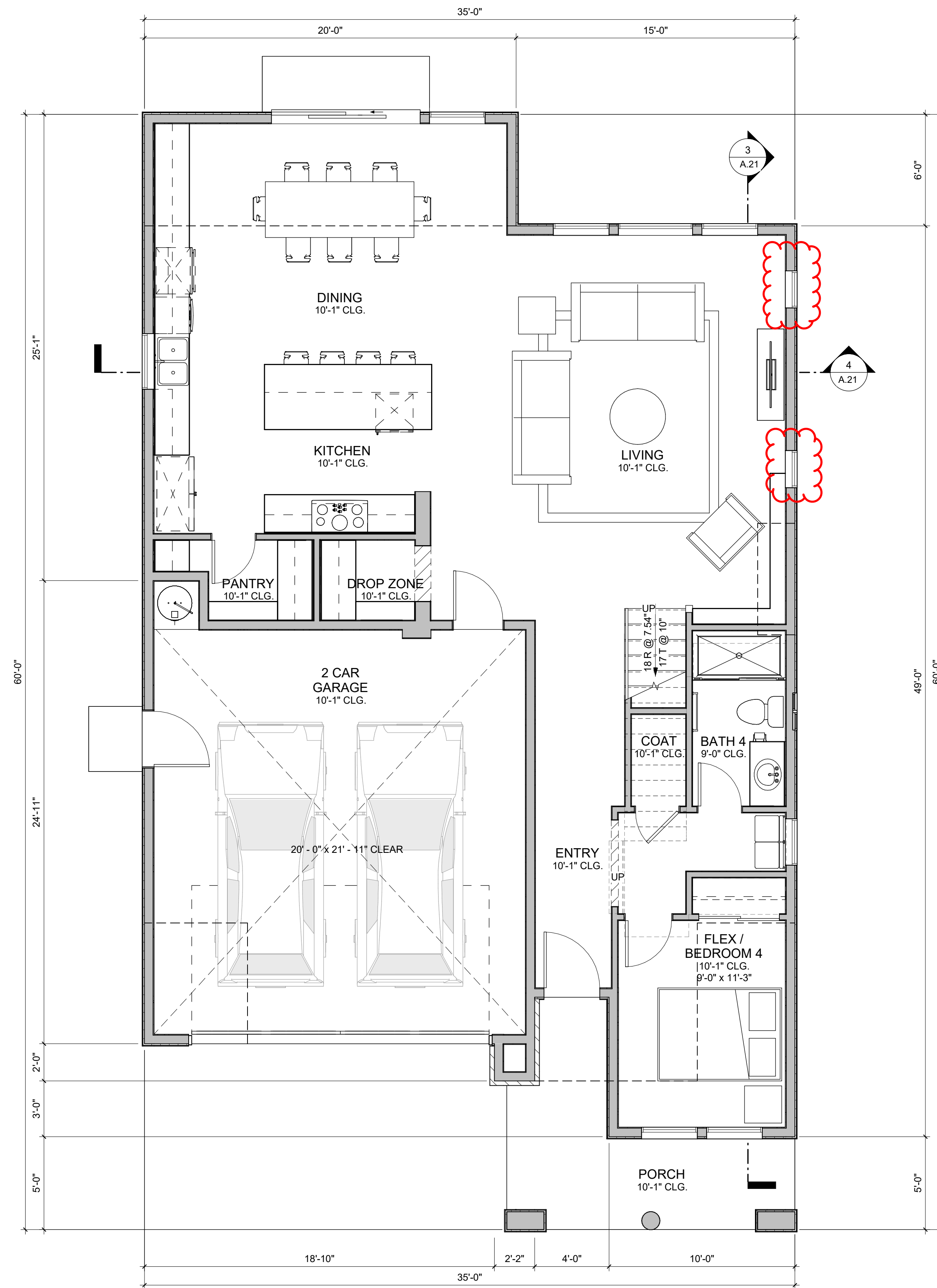
JOB NO. 297-091

DATE 03/04/2025

A.14



2 PLAN 2B - SECOND FLOOR PLAN
1/4" = 1'-0"



1 PLAN 2B - FIRST FLOOR PLAN
1/4" = 1'-0"

CITY OF MORGAN HILL
PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 3/7/2025

SR2024-0004

FILE NUMBER
Roshni Saxena
Assistant Planner

PLANNING OFFICIAL

PLAN 2B - 4 BR / 4 BA	
NAME	AREA (SF)
FIRST FLOOR	1233
SECOND FLOOR	1434
TOTAL LIVING AREA	2667
2-CAR GARAGE	471
PORCH	112

PLAN 2B - SPANISH - FLOOR PLANS

730 & 760 DIANA AVE - MORGAN HILL, CA
DIVIDEND HOMES

DAHLIN GROUP ARCHITECTURE | PLANNING | INTERIORS

WWW.DAHLINGROUP.COM



MILLER STARR
REGALIA



JOB NO. 297-091
DATE 03/04/2025

A.16

CITY OF MORGAN HILL
PLAN APPROVED

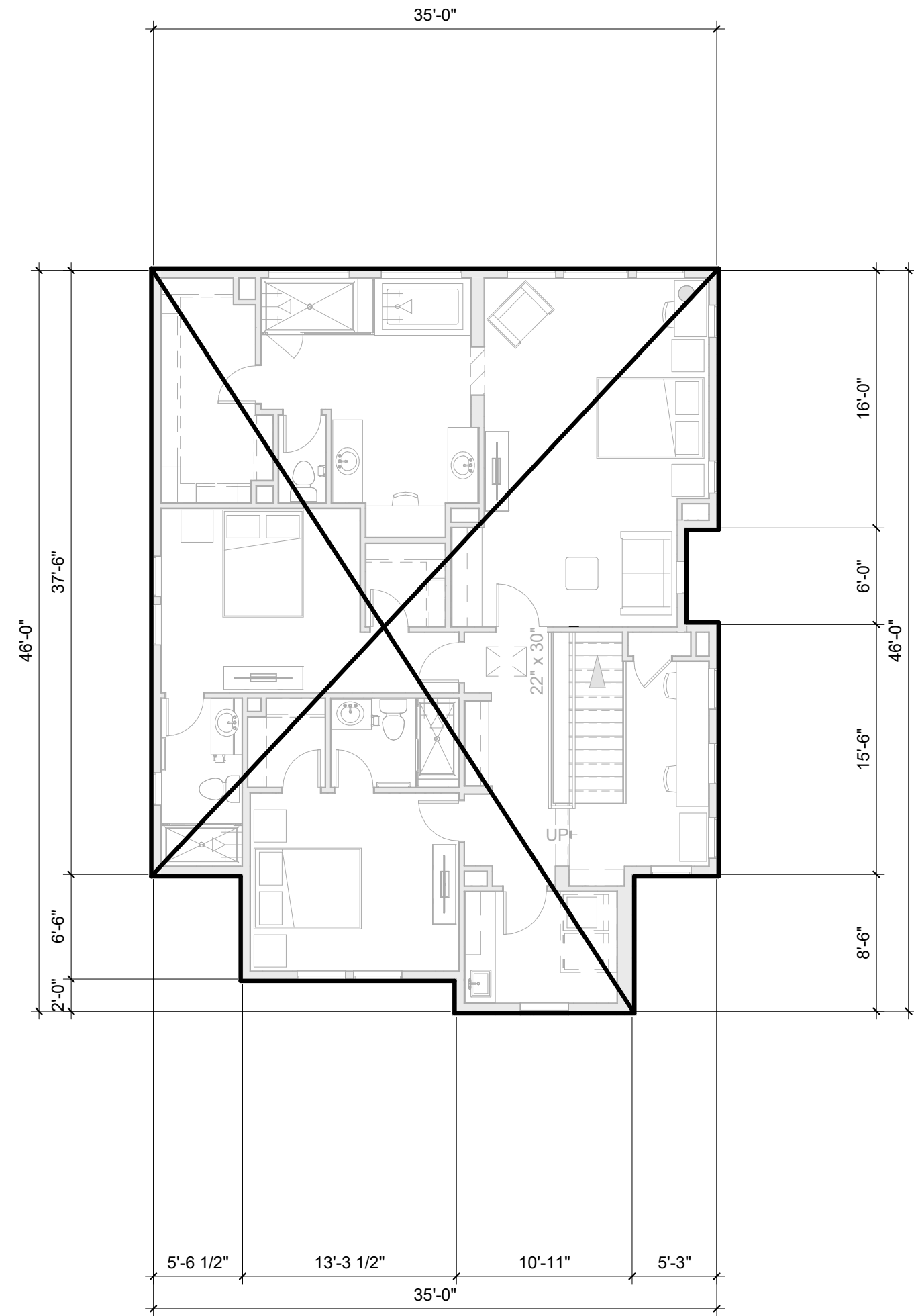
THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 3/7/2025

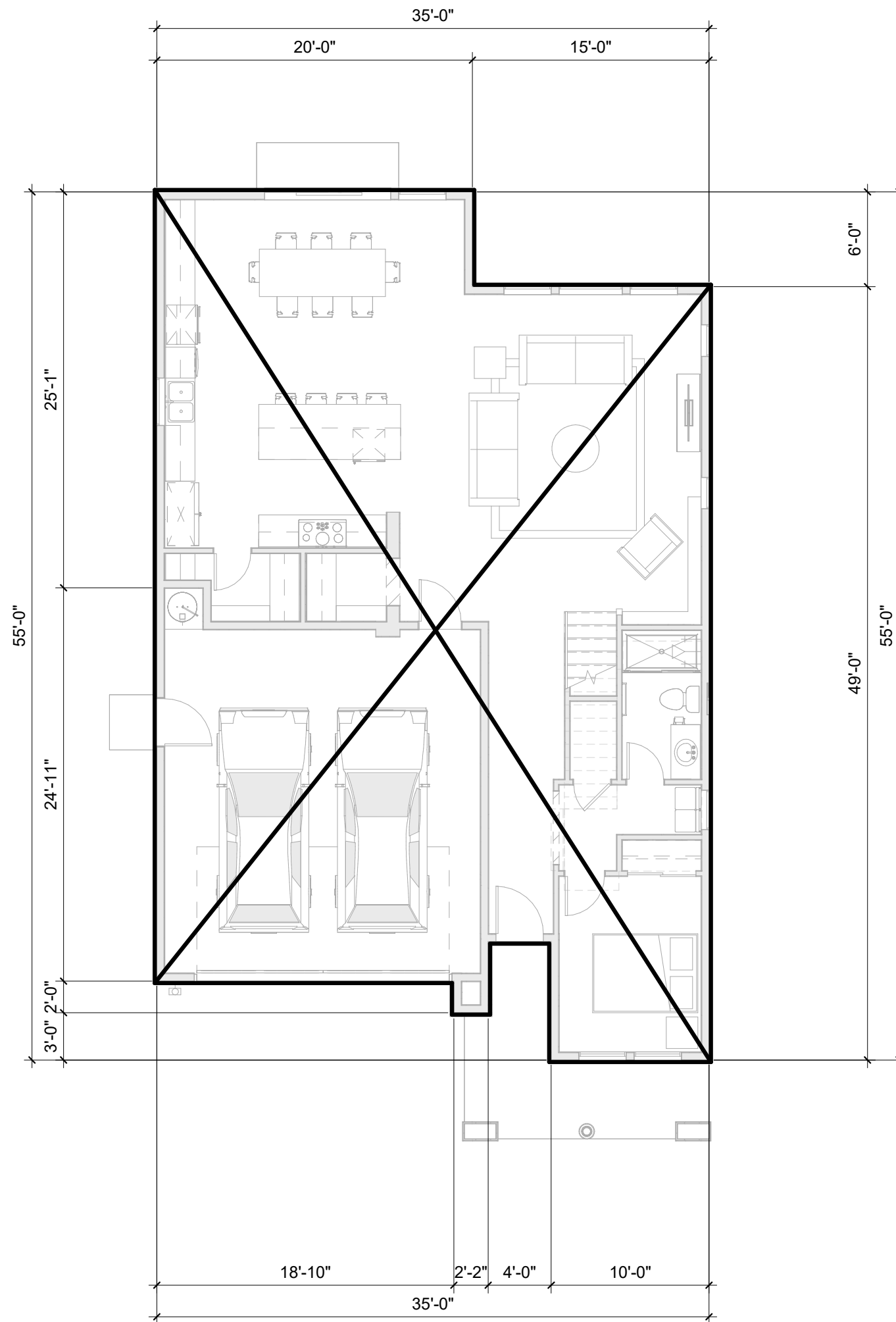
SR2024-0004

FILE NUMBER
Roshni Saxena
Assistant Planner

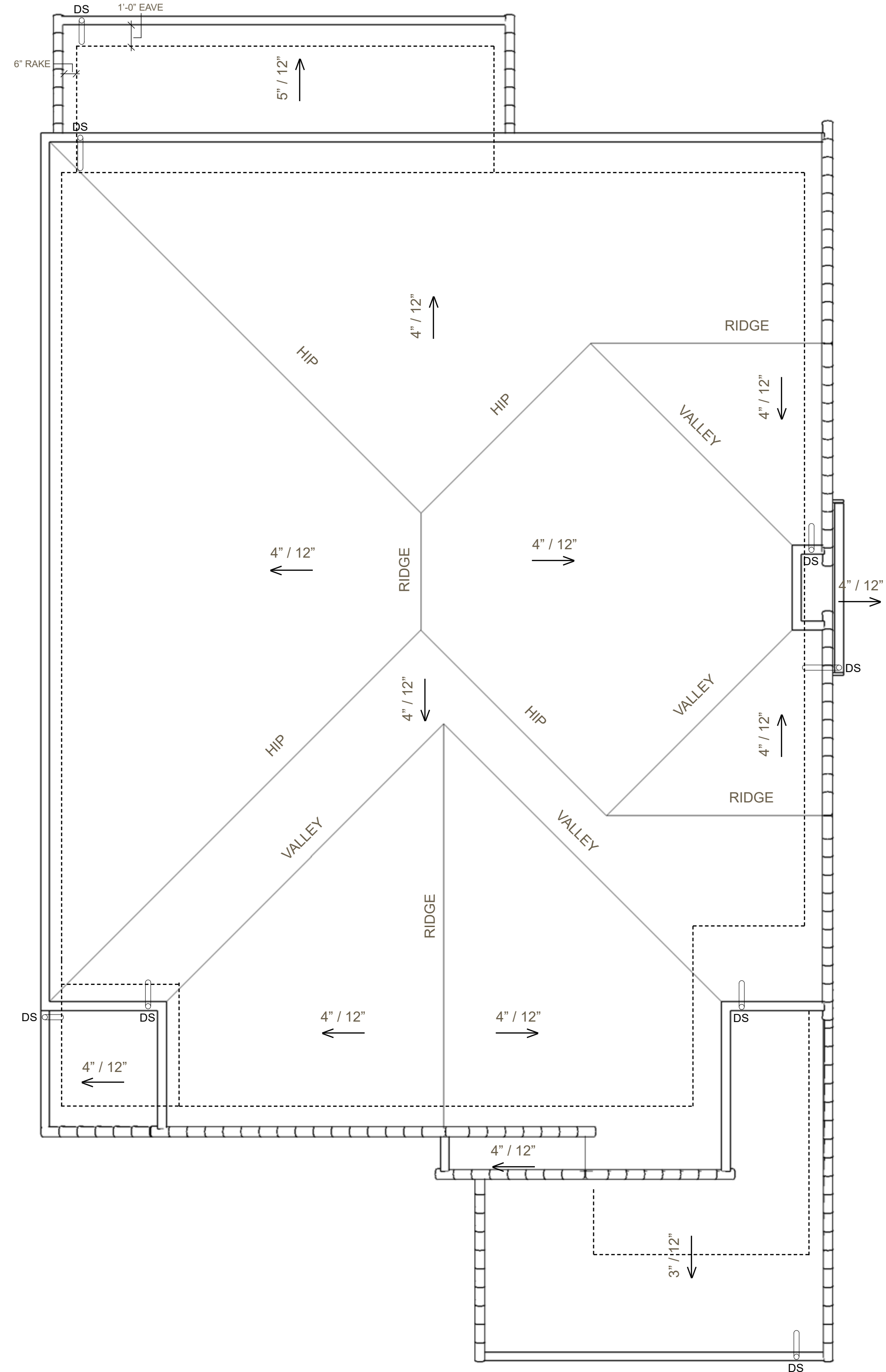
PLANNING OFFICIAL



3 PLAN 2B - SECOND FLOOR F.A.R. BOUNDARY
1/8" = 1'-0"



2 PLAN 2B - FIRST FLOOR F.A.R. BOUNDARY
1/8" = 1'-0"



1 PLAN 2B - ROOF PLAN
1/4" = 1'-0"

PLAN 2B - SPANISH - FAR + ROOF PLANS

730 & 760 DIANA AVE - MORGAN HILL, CA
DIVIDEND HOMES

DAHLIN GROUP ARCHITECTURE | PLANNING | INTERIORS

WWW.DAHLINGROUP.COM



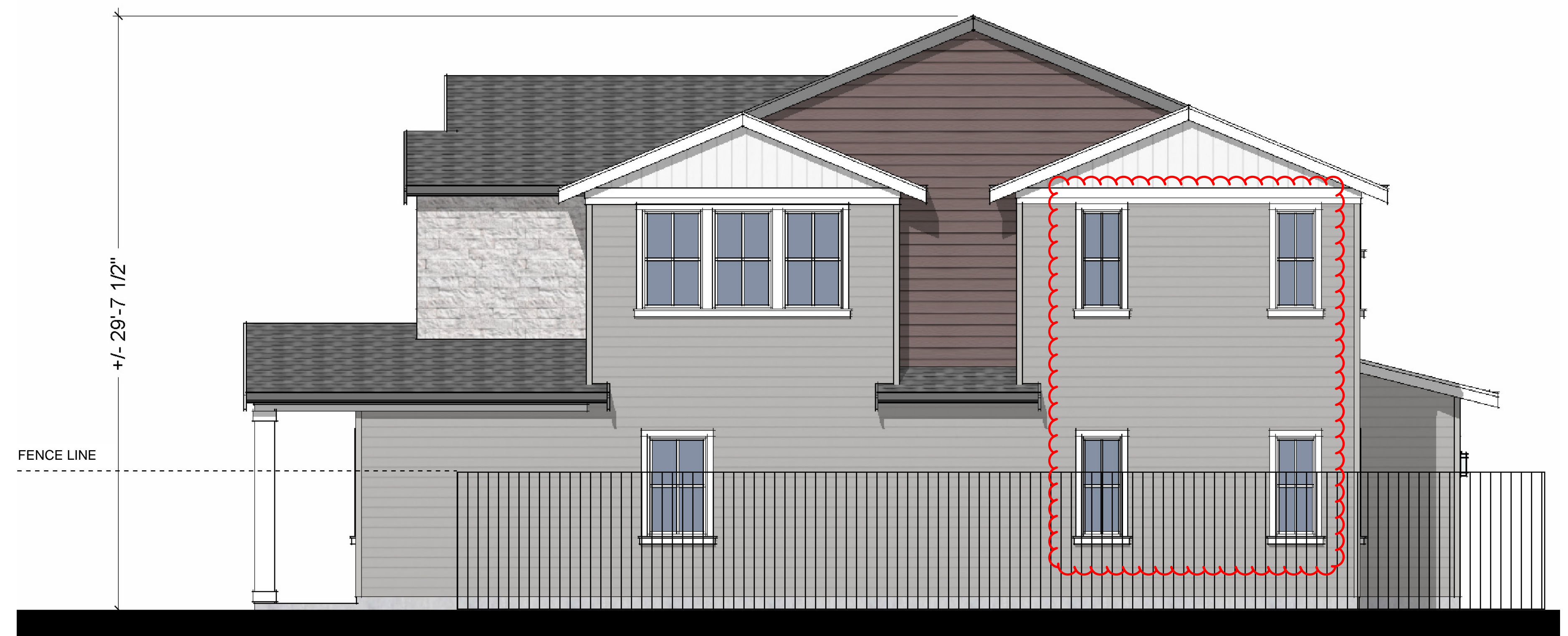
MILLER STARR
REGALIA



JOB NO. 297-091
DATE 03/04/2025



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

NOTE: LANDSCAPE ELEMENTS SUCH AS FENCES SHOWN FOR GRAPHICAL REPRESENTATION ONLY- SEE LANDSCAPING DRAWINGS FOR MORE INFO. REFER SHEET A.23 FOR MORE INFO ON COLOR & MATERIAL BOARD.

PLAN 2A - TRADITIONAL - ELEVATIONS

730 & 760 DIANA AVE - MORGAN HILL, CA
DIVIDEND HOMES

DAHLIN GROUP ARCHITECTURE | PLANNING | INTERIORS

WWW.DAHLINGROUP.COM



MILLER STARR
REGALIA

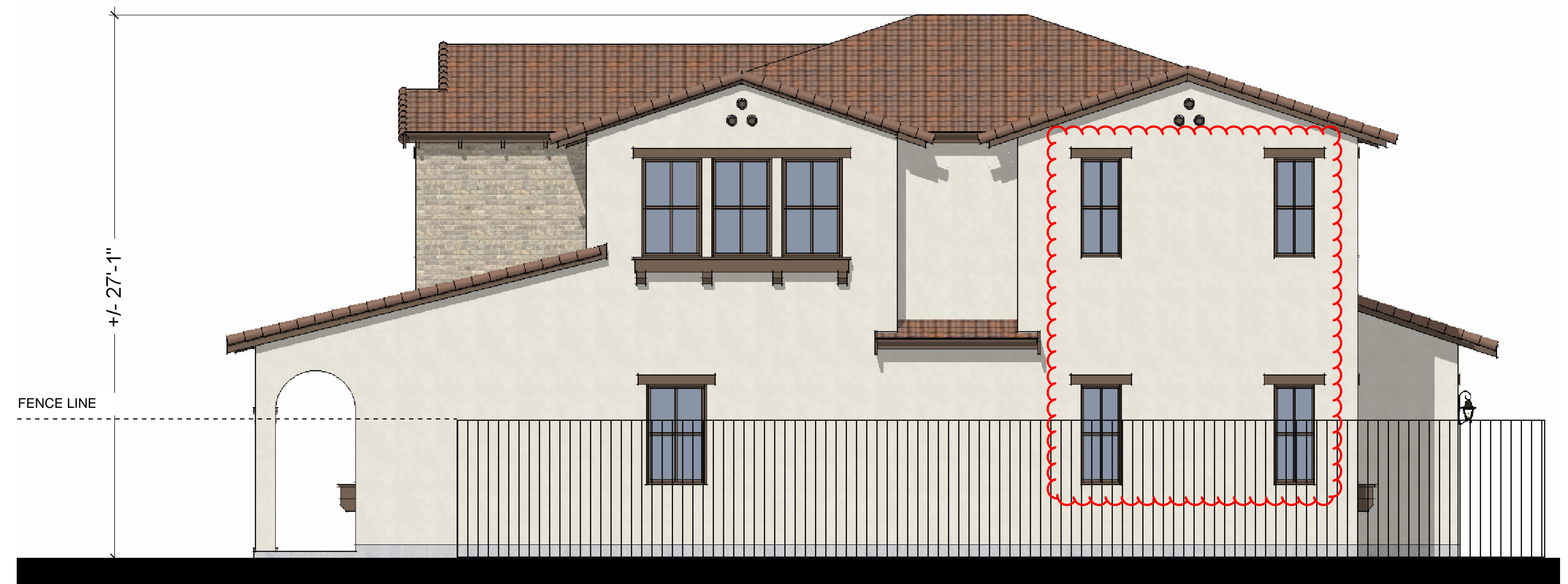


JOB NO. 297-091
DATE 03/04/2025

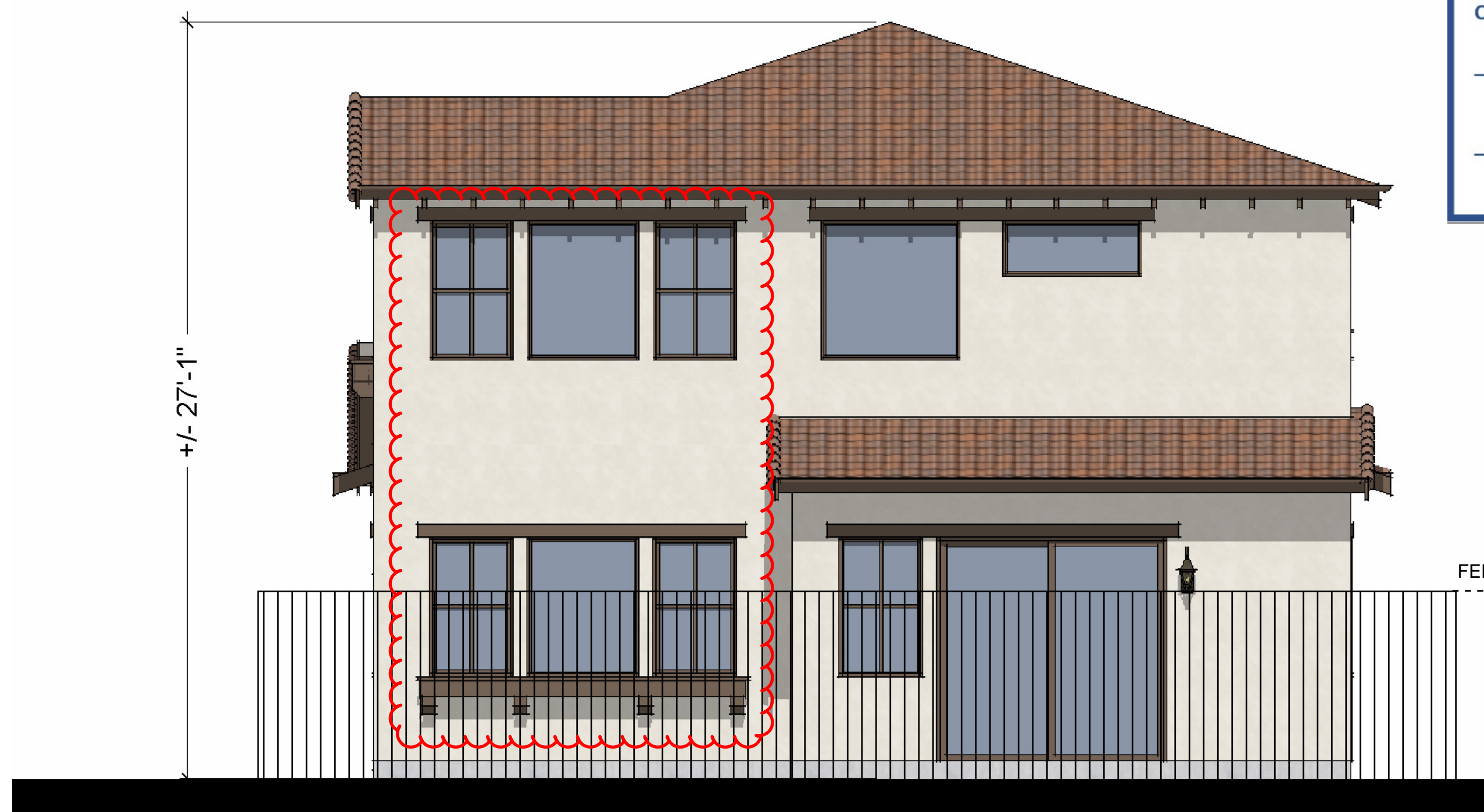
A.18



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

NOTE: LANDSCAPE ELEMENTS SUCH AS FENCES SHOWN FOR GRAPHICAL REPRESENTATION ONLY- SEE LANDSCAPING DRAWINGS FOR MORE INFO. REFER SHEET A.23 FOR MORE INFO ON COLOR & MATERIAL BOARD.

PLAN 2B - SPANISH - ELEVATIONS

730 & 760 DIANA AVE - MORGAN HILL, CA
DIVIDEND HOMES

DAHLIN GROUP ARCHITECTURE | PLANNING | INTERIORS

WWW.DAHLINGROUP.COM



MILLER STARR
REGALIA



JOB NO. 297-091
DATE 03/04/2025

A.19

CITY OF MORGAN HILL
PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 3/7/2025

SR2024-0004

FILE NUMBER
Roshni Saxena
Assistant Planner

PLANNING OFFICIAL



PLAN 2A - SECTION 4



PLAN 2A - SECTION 3

PLAN 2A - TRADITIONAL - SECTIONS

730 & 760 DIANA AVE - MORGAN HILL, CA
DIVIDEND HOMES

DAHLLIN GROUP ARCHITECTURE | PLANNING | INTERIORS

WWW.DAHLINGROUP.COM



MILLER STARR
REGALIA



JOB NO. 297-091
DATE 03/04/2025

CITY OF MORGAN HILL
PLAN APPROVED

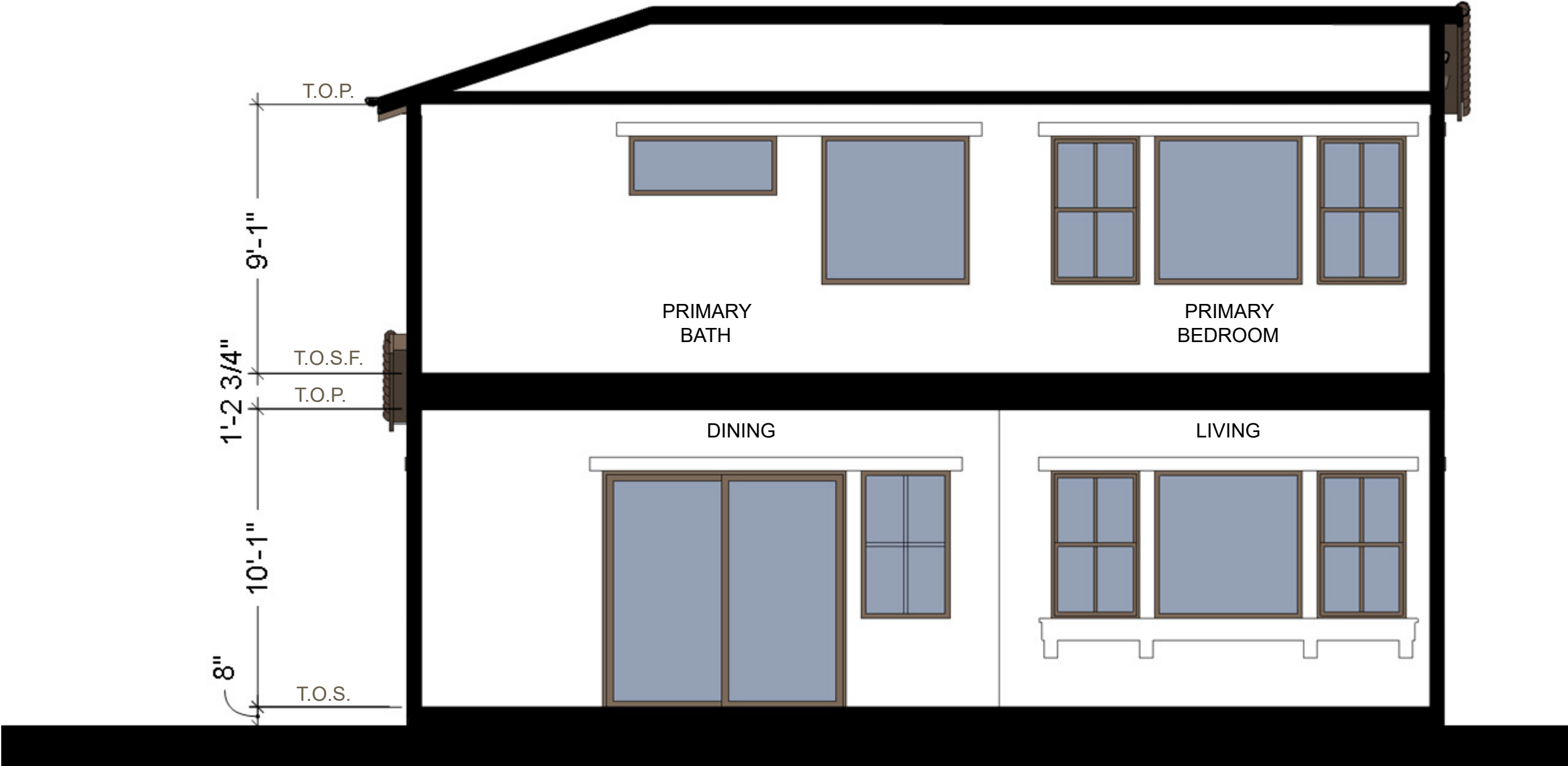
THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 3/7/2025

SR2024-0004

FILE NUMBER
Roshni Saxena
Assistant Planner

PLANNING OFFICIAL



PLAN 2B - SECTION 4



PLAN 2B - SECTION 3

PLAN 2B - SPANISH - SECTIONS

730 & 760 DIANA AVE - MORGAN HILL, CA
DIVIDEND HOMES

DAHLLIN GROUP ARCHITECTURE | PLANNING | INTERIORS

WWW.DAHLINGROUP.COM



MILLER STARR
REGALIA



JOB NO. 297-091
DATE 03/04/2025

COLORS

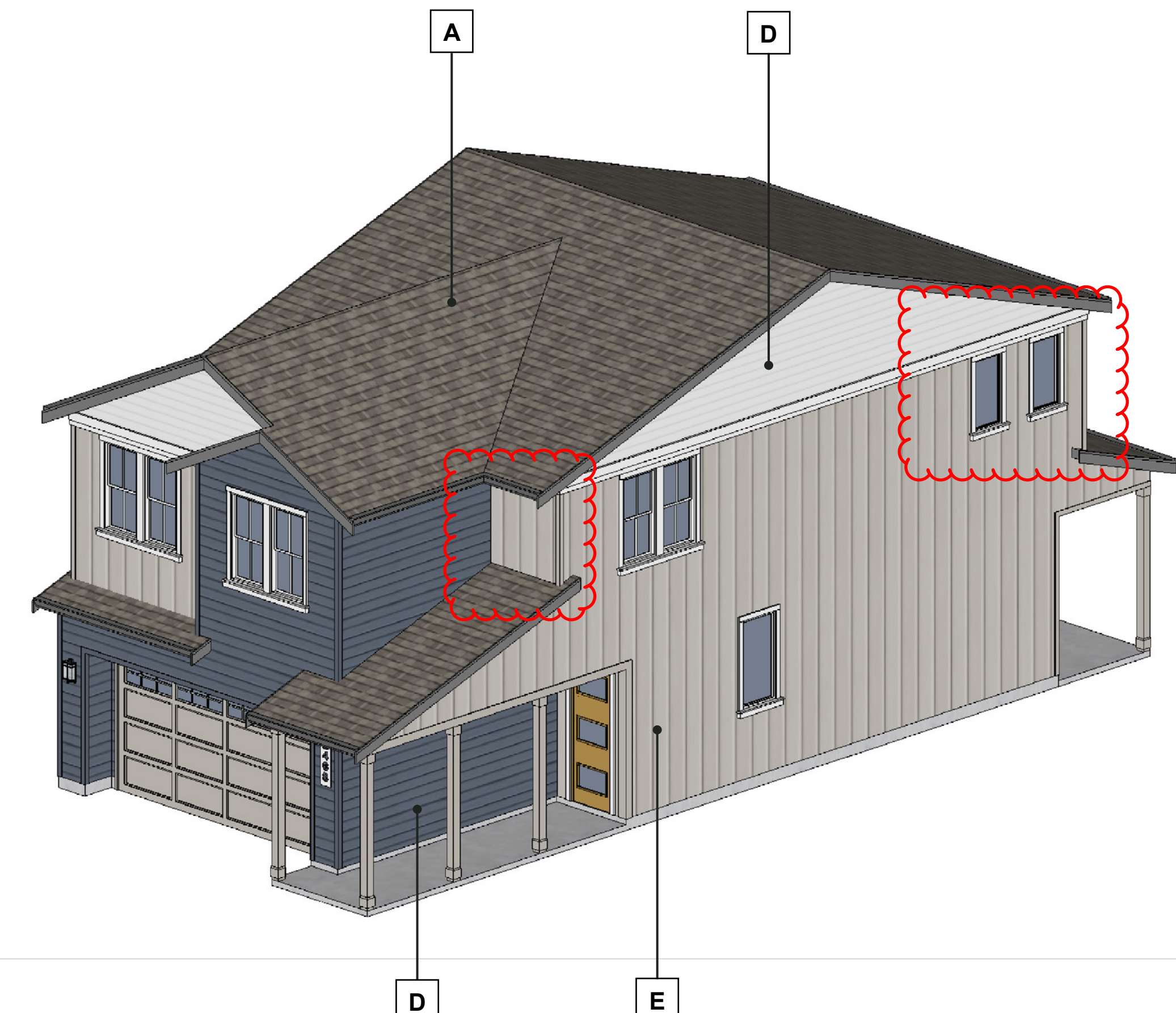
ALABASTER WHITE
SW 7008

DORIAN GRAY
SW 7017

INDIGO BATIK
SW 7602

WEB GRAY
SW 7075

BEE
SW 6683



PLAN 1A - TRADITIONAL

DRIFT OF MIST
SW 9166

OTTER
SW 6041

ROSEMARY
SW 6187

CITY OF MORGAN HILL

PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

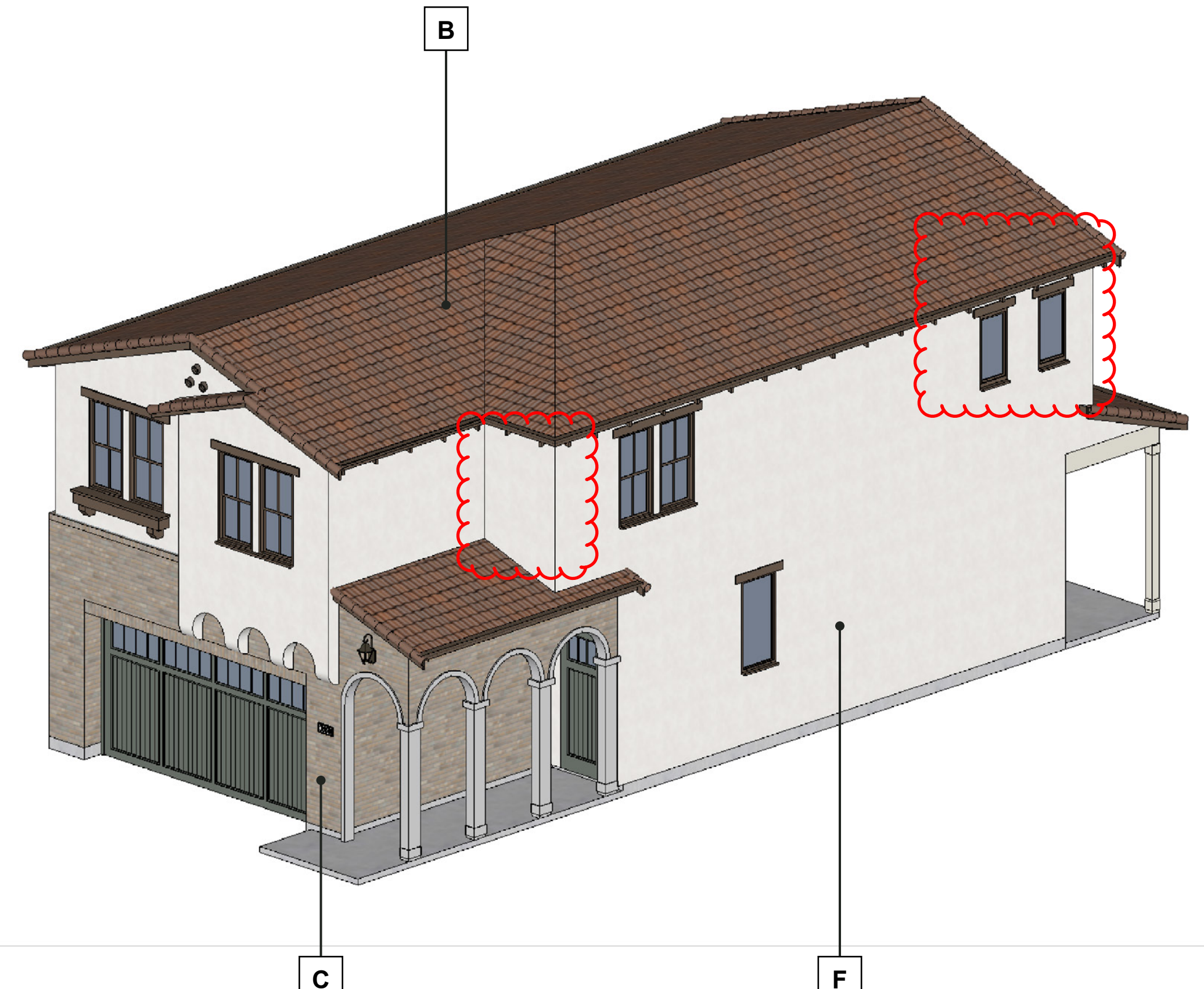
ON 3/7/2025

SR2024-0004

FILE NUMBER

Roshni Saxena
Assistant Planner

PLANNING OFFICIAL




PLAN 1B - SPANISH

MATERIALS

A

ROOF MATERIAL 1


COMPOSITION SHINGLE
GRAY



B

ROOF MATERIAL 2

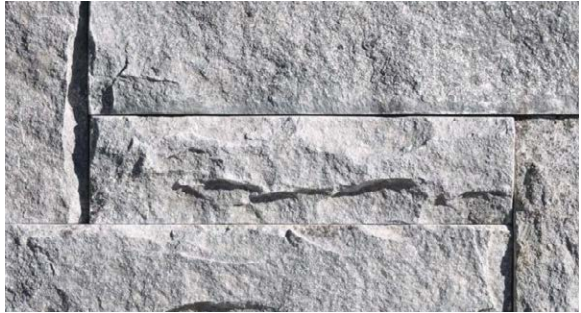
'S' TILE
BARCELONA 900 BY BORAL



C

ADHERED MASONRY
VENEER


ELDORADO STONE



D

HORIZONTAL
LAP SIDING


7.25" SIDING W/ 6" EXP.



E

VERTICAL
LAP SIDING


7.25" SIDING W/ 6" EXP.



F

STUCCO

LIGHT SAND FINISH



PAINT COLORS AND PHOTO IMAGES
OF MATERIALS SEEN ON SCREEN MAY
NOT ACCURATELY REPRESENT COLORS
AND TEXTURES. REFER TO ACTUAL
MATERIALS AND COLORS.

DOWNSPOUTS: PAINT ALL EXPOSED
SIDES WITH ADJACENT COLOR.

ALL VINYL WINDOWS W/ DARK COLORED
FRAMES.

PLAN 1 COLOR AND MATERIAL BOARD

COLORS

GREEK VILLA
SW 7551

ESSENTIAL GRAY
SW 6002

SOMMELIER
SW 7595

GAUNTLET GRAY
SW 7019

GRIZZLE GRAY
SW 7068

BUTTERFIELD
SW 6676

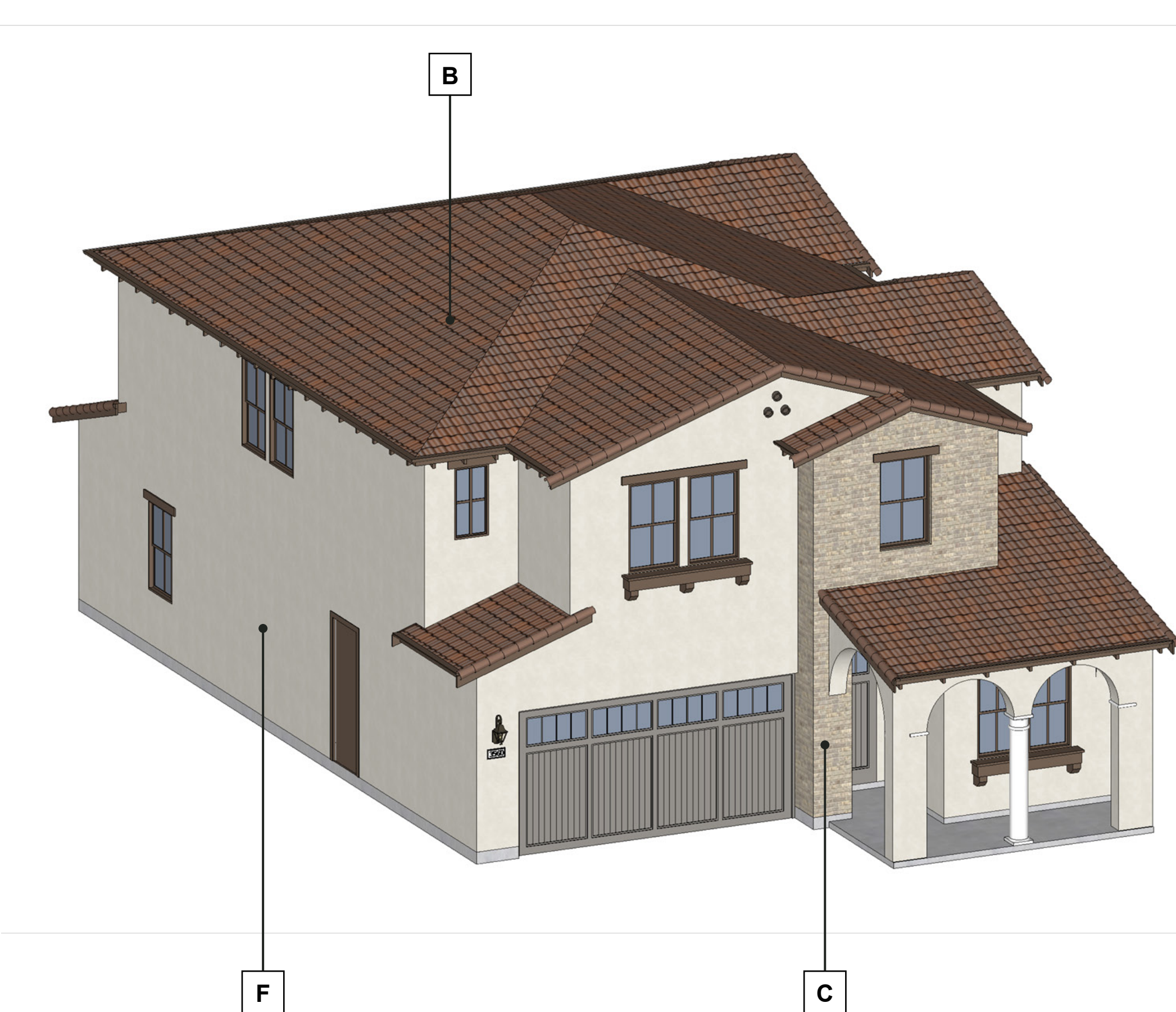


PLAN 2A - TRADITIONAL

SNOWBOUND
SW 7004

JAVA
SW 6090

CHATURA GRAY
SW 9169



PLAN 2B - SPANISH

CITY OF MORGAN HILL
PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 3/7/2025

SR2024-0004

FILE NUMBER
Roshni Saxena
Assistant Planner

PLANNING OFFICIAL

MATERIALS

A

ROOF MATERIAL 1

COMPOSITION SHINGLE GRAY

B

ROOF MATERIAL 2

'S' TILE
BARCELONA 900 BY BORAL

C

ADHERED MASONRY VENEER

ELDORADO STONE

D

HORIZONTAL LAP SIDING

7.25" SIDING W/ 6" EXP.

E

VERTICAL LAP SIDING

7.25" SIDING W/ 6" EXP.

F

STUCCO

LIGHT SAND FINISH

PAINT COLORS AND PHOTO IMAGES OF MATERIALS SEEN ON SCREEN MAY NOT ACCURATELY REPRESENT COLORS AND TEXTURES. REFER TO ACTUAL MATERIALS AND COLORS.

DOWNSPOUTS: PAINT ALL EXPOSED SIDES WITH ADJACENT COLOR.

ALL VINYL WINDOWS W/ DARK COLORED FRAMES.

PLAN 2 COLOR AND MATERIAL BOARD

730 & 760 DIANA AVE - MORGAN HILL, CA

DIVIDEND HOMES

DAHLIN GROUP ARCHITECTURE | PLANNING | INTERIORS

WWW.DAHLINGROUP.COM

MILLER STARR
REGALIA

Michael Arnone + Associates
LANDSCAPE ARCHITECTURE

BKF

DAHLIN

JOB NO. 297-091

DATE 03/04/2025

A.23



SITE PERSPECTIVE 1

CITY OF MORGAN HILL
PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 3/7/2025

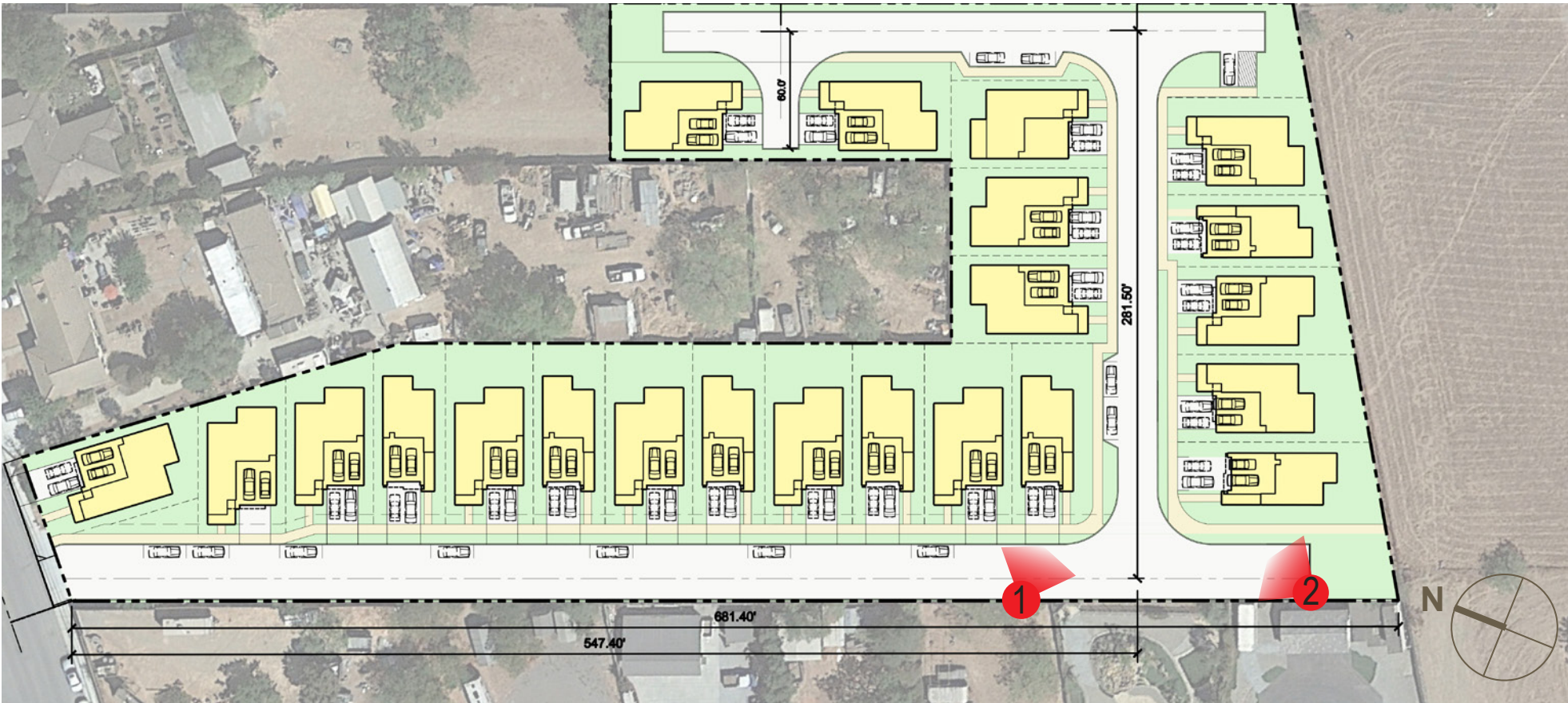
SR2024-0004

FILE NUMBER
Roshni Saxena
Assistant Planner

PLANNING OFFICIAL



SITE PERSPECTIVE 2



NTS
SITE PERSPECTIVES



SITE PERSPECTIVE 3

CITY OF MORGAN HILL

PLAN APPROVED

THIS PLAN WAS APPROVED BY

THE PLANNING DIVISION

ON

3/7/2025

SR2024-0004

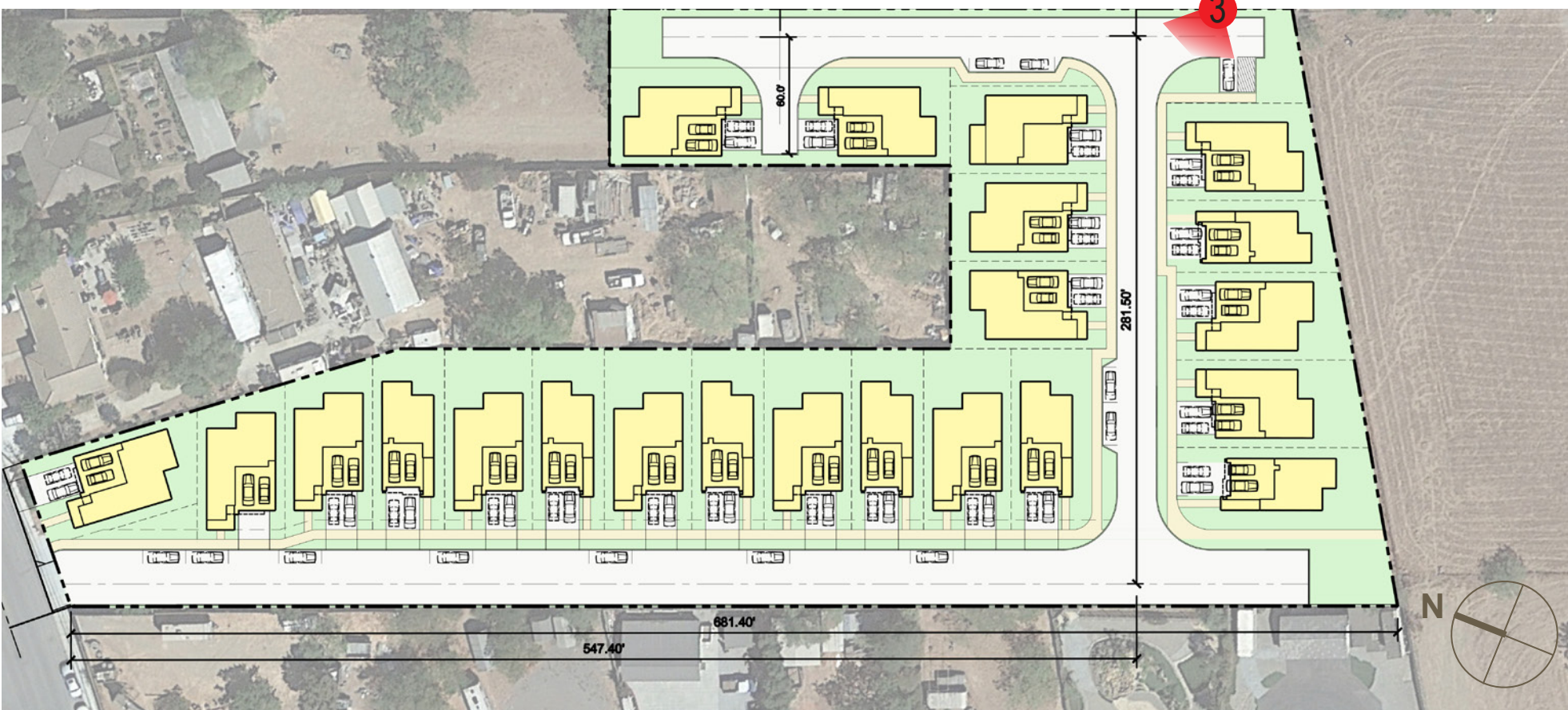
FILE NUMBER

Roshni Saxena

Assistant Planner

PLANNING OFFICIAL





NTS
SITE PERSPECTIVES

730 & 760 DIANA AVE - MORGAN HILL, CA
DIVIDEND HOMES

DAHLIN GROUP ARCHITECTURE | PLANNING | INTERIORS

WWW.DAHLINGROUP.COM



MILLER STARR
REGALIA



JOB NO. 297-091
DATE 03/04/2025

A.25



**CITY OF MORGAN HILL
PLAN APPROVED**

**THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION**

ON 3/7/2025

SR2024-0004

FILE NUMBER

Roshni Saxena
Assistant Planner

PLANNING OFFICIAL

NOTE: LANDSCAPE ELEMENTS (TREES, FENCES, ETC.) SHOWN FOR GRAPHICAL REPRESENTATION ONLY. SEE LANDSCAPING DRAWINGS FOR MORE INFO.

AERIAL VIEW

**730 & 760 DIANA AVE - MORGAN HILL, CA
DIVIDEND HOMES**

DAHLIN GROUP ARCHITECTURE | PLANNING | INTERIORS

WWW.DAHLINGROUP.COM



**MILLER STARR
REGALIA**



JOB NO. 297-091
DATE 03/04/2025

A.26



**CITY OF MORGAN HILL
PLAN APPROVED**

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 3/7/2025

SR2024-0004

FILE NUMBER

Roshni Saxena
Assistant Planner

PLANNING OFFICIAL

NOTE: LANDSCAPE ELEMENTS (TREES, FENCES, ETC.) SHOWN FOR GRAPHICAL REPRESENTATION ONLY. SEE LANDSCAPING DRAWINGS FOR MORE INFO.

AERIAL VIEW

**730 & 760 DIANA AVE - MORGAN HILL, CA
DIVIDEND HOMES**

DAHLIN GROUP ARCHITECTURE | PLANNING | INTERIORS

WWW.DAHLINGROUP.COM



**MILLER STARR
REGALIA**



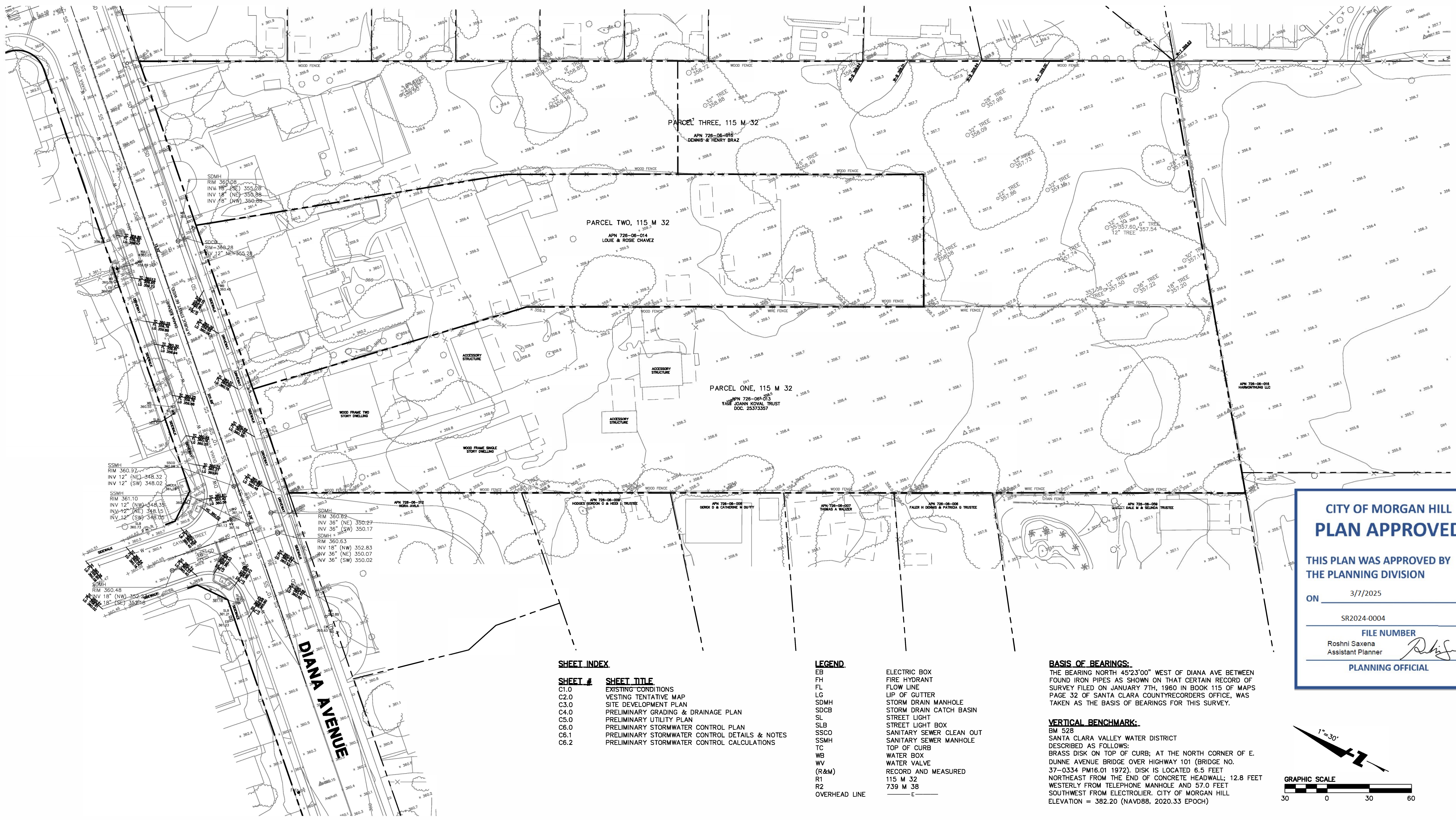
Michael Arnone + Associates
LANDSCAPE ARCHITECTURE



JOB NO. 297-091
DATE 03/04/2025

A.27

DRAWING NAME: \\BKF-fs1\vol\2023\231724-730 Diana_Subdivision\Planning\Sheets\01-D\ANL_EX.dwg
PLOT DATE: 07-01-24
PLOT BY: gncz



SHEET INDEX

SHEET #	SHEET TITLE
C1.0	EXISTING CONDITIONS
C2.0	VESTING TENTATIVE MAP
C3.0	SITE DEVELOPMENT PLAN
C4.0	PRELIMINARY GRADING & DRAINAGE PLAN
C5.0	PRELIMINARY UTILITY PLAN
C6.0	PRELIMINARY STORMWATER CONTROL PLAN
C6.1	PRELIMINARY STORMWATER CONTROL DETAILS & NOTES
C6.2	PRELIMINARY STORMWATER CONTROL CALCULATIONS

LEGEND

EB	ELECTRIC BOX
FH	FIRE HYDRANT
FL	FLOW LINE
LG	LIP OF GUTTER
SDMH	STORM DRAIN MANHOLE
SDCB	STORM DRAIN CATCH BASIN
SL	STREET LIGHT
SLB	STREET LIGHT BOX
SSCO	SANITARY SEWER CLEAN OUT
SSMH	SANITARY SEWER MANHOLE
TC	TOP OF CURB
WB	WATER BOX
WV	WATER VALVE
(R&M)	RECORD AND MEASURED
R1	115 M 32
R2	739 M 38
OVERHEAD LINE	OVERHEAD LINE

BASIS OF BEARINGS:

THE BEARING NORTH 45°23'00" WEST OF DIANA AVE BETWEEN FOUND IRON PIPES AS SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED ON JANUARY 7TH, 1960 IN BOOK 115 OF MAPS PAGE 32 OF SANTA CLARA COUNTY RECORDERS OFFICE, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

VERTICAL BENCHMARK:

BM 528
SANTA CLARA VALLEY WATER DISTRICT
DESCRIBED AS FOLLOWS:
BRASS DISK ON TOP OF CURB; AT THE NORTH CORNER OF E. DUNNE AVENUE BRIDGE OVER HIGHWAY 101 (BRIDGE NO. 37-0334 PM16.01 1972). DISK IS LOCATED 6.5 FEET NORTHEAST FROM THE END OF CONCRETE HEADWALL; 12.8 FEET WESTERLY FROM TELEPHONE MANHOLE AND 57.0 FEET SOUTHWEST FROM ELECTROLIER. CITY OF MORGAN HILL ELEVATION = 382.20 (NAVD88, 2020.33 EPOCH)

CITY OF MORGAN HILL
PLAN APPROVED

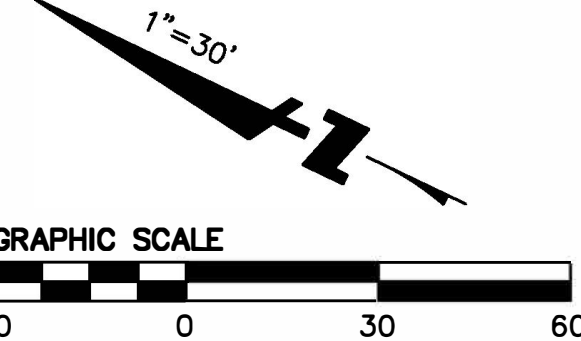
THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 3/7/2025

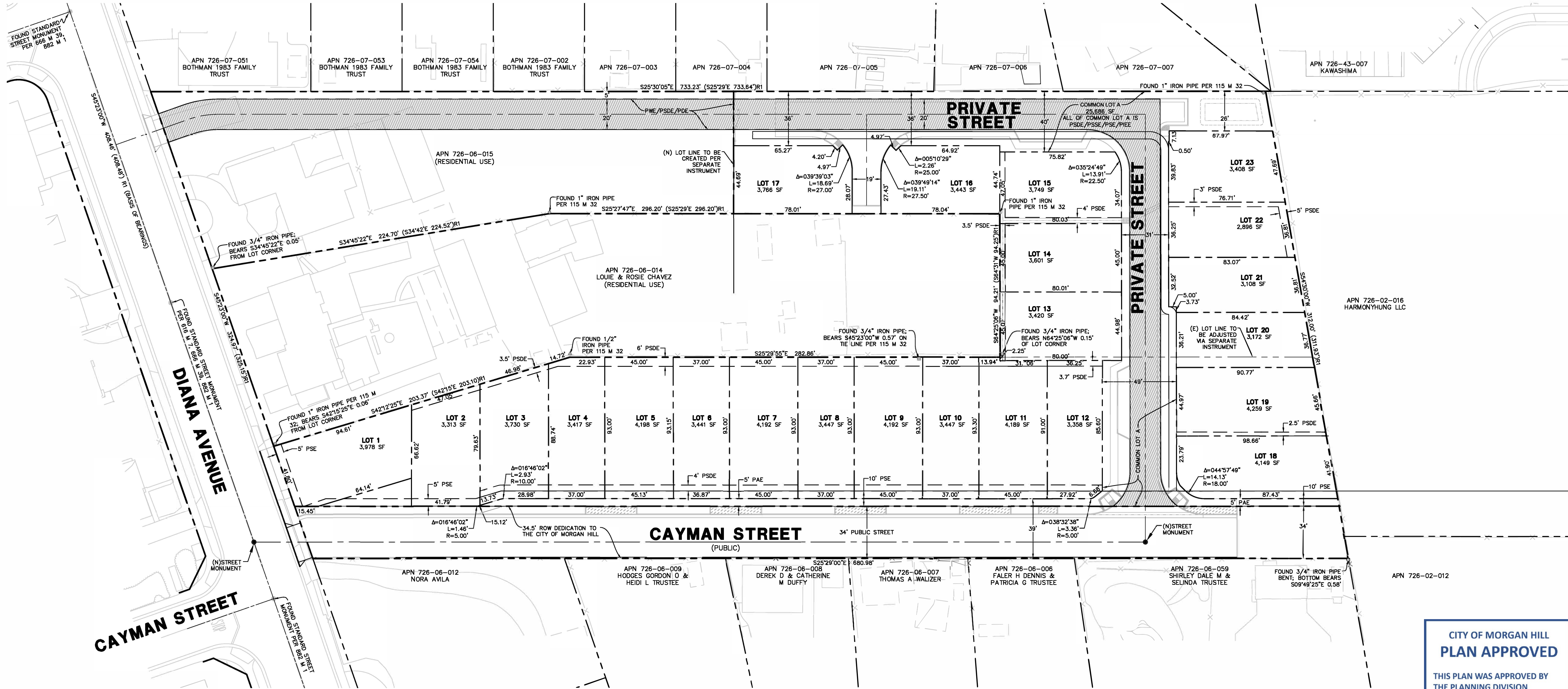
SR2024-0004

FILE NUMBER
Roshni Saxena
Assistant Planner

PLANNING OFFICIAL



DRAWING NAME: \\BKF-fs1\vol\A\2023\31724-730.D\ana.Subdiv\Division_Morgan_Hill\ENG-L\Planning\Sheets\02-D\ANA_TM.dwg
PLOT DATE: 07-01-24
PLOTTED BY: gnze



GENERAL NOTES

- OWNER: DIANA AVENUE INVESTORS, LLC
- DEVELOPER: DIANA AVENUE INVESTORS, LLC
385 WOODVIEW AVENUE, SUITE 100
MORGAN HILL, CA 95037
CONTACT: JOSHUA VROTSOS
(408) 779-5900
- CIVIL ENGINEER: BKF ENGINEERS
1730 N. FIRST STREET
SAN JOSE, CA 95112
CONTACT: PHONG KIET
(408) 467-9100
- PROPERTY DESCRIPTION: A NEW 23 R-1 SINGLE FAMILY HOMES PROJECT LOCATED ON A 3.05± ACRE SITE
- ASSESSORS PARCEL NO: 726-06-013, 726-06-015
- GENERAL PLAN: RESIDENTIAL DETACHED MEDIUM DENSITY
- EXISTING ZONING: RDM
- PROPOSED ZONING: RDM
- EXISTING USE: RESIDENTIAL
- PROPOSED USE: RESIDENTIAL
- GROSS AREA: 3.05± ACRES 132,905 SF
- NET AREA: 2.60± ACRES 109,233 SF
- NUMBER OF UNITS: 23
- NUMBER OF LOTS: 23 (23 DEVELOPABLE LOTS AND 1 NON-DEVELOPABLE COMMON LOT)

- UTILITIES:
 - WATER: CITY OF MORGAN HILL
PUBLIC STREETS: HOME OWNERS ASSOCIATION (HOA)
PRIVATE STREETS: HOME OWNERS ASSOCIATION (HOA)
 - SANITARY SEWER: CITY OF MORGAN HILL
PUBLIC STREETS: HOME OWNERS ASSOCIATION (HOA)
PRIVATE STREETS: HOME OWNERS ASSOCIATION (HOA)
 - STORM DRAIN: CITY OF MORGAN HILL
PUBLIC STREETS: HOME OWNERS ASSOCIATION (HOA)
PRIVATE STREETS: HOME OWNERS ASSOCIATION (HOA)
 - GAS/ELECTRIC: PACIFIC GAS & ELECTRIC
AT&T
COMCAST
 - TELEPHONE: COMCAST
 - CABLE TV: COMCAST
- BENCHMARK: BM 528
SANTA CLARA VALLEY WATER DISTRICT
DESCRIBED AS FOLLOWS:
BRASS DISK ON TOP OF CURB; AT THE NORTH CORNER OF E. DUNNE AVENUE BRIDGE OVER HIGHWAY 101 (BRIDGE NO. 37-0334 PM16.01 1972). DISK IS LOCATED 6.5 FEET NORTHEAST FROM THE END OF CONCRETE HEADWALL; 12.8 FEET WESTERLY FROM TELEPHONE MANHOLE AND 57.0 FEET SOUTHWEST FROM ELECTROLIER. CITY OF MORGAN HILL
ELEVATION = 382.20 FEET (NAVD88, 2020.33 EPOCH)
- TOPOGRAPHY: INFORMATION SHOWN IS BASED ON AERIAL SURVEY PREPARED BY 360 AERIAL SURVEYS. (DATED 8/22/23), AND BASED ON FIELD SURVEY PREPARED BY BKF ENGINEERS (DATED JANUARY 2024).

- FLOOD ZONE: THIS PROPERTY IS LOCATED WITHIN ZONE X AS SHOWN IN FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 06085C0444H, DATED MAY 18, 2009.
- LOT SIZES: COMMON LOT A = 25,686 SF (INCLUDES EVAE & PAE)
LOTS 1-23 = 83,547 SF
TOTAL = 109,233 SF
- EASEMENTS: EVAE = EMERGENCY VEHICLE ACCESS EASEMENT
PSE = PUBLIC SERVICE EASEMENT
PWE = PUBLIC WATER LINE EASEMENT
PDE = PRIVATE DRAINAGE EASEMENT
PSDE = PRIVATE STORM DRAIN EASEMENT
PIEE = PRIVATE INGRESS EGRESS EASEMENT
PSSE = PRIVATE SANITARY SEWER EASEMENT
- PRIVATE LOT UTILITIES: PSDE, PSE FOR BANKED GAS METERS, & PDE EASEMENTS FOR INDIVIDUAL LOTS FOR THE BENEFIT OF OTHER LOTS WILL BE PROVIDED ON THE FINAL MAP
- COMMON LOT: ALL COMMON LOTS ARE COVERED BY PIEE, PSE, PSDE, AND PSSE.

LEGEND

- PROJECT BOUNDARY
- ADJACENT LOT LINE
- EASEMENT LINE
- STREET CENTER LINE
- EMERGENCY VEHICLE ACCESS EASEMENT (EVAE) & PUBLIC WATER EASEMENT (PWE)
- STREET MONUMENT
- 1" IRON PIPE
- 3/4" IRON PIPE
- 1/2" IRON PIPE

NOTES:

- LOT NUMBERS ARE FOR IDENTIFICATION ONLY AND ARE NOT INTENDED AS FINAL.
- LOT DIMENSIONS AND LOT AREAS ARE PRELIMINARY AND SUBJECT TO CHANGE DURING FINAL DESIGN.

CITY OF MORGAN HILL PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 3/7/2025

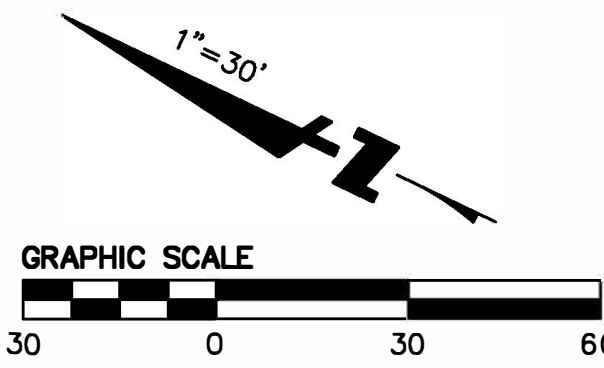
SR2024-0004

FILE NUMBER

Roshni Savana

Assistant Planner

PLANNING OFFICIAL



730 & 760 DIANA AVENUE VESTING TENTATIVE MAP

C2.0

7/1/2024

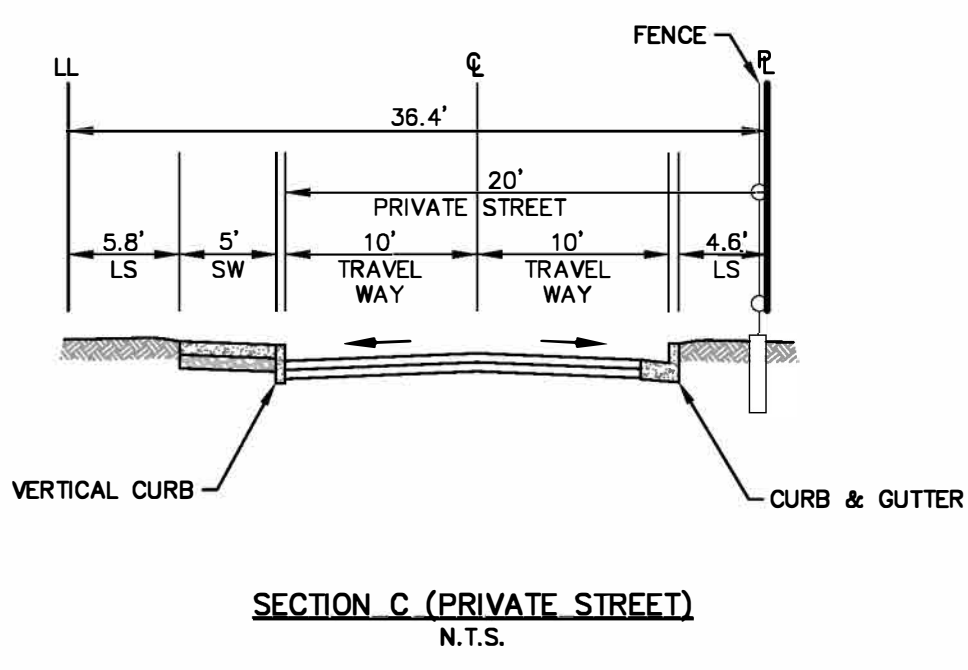
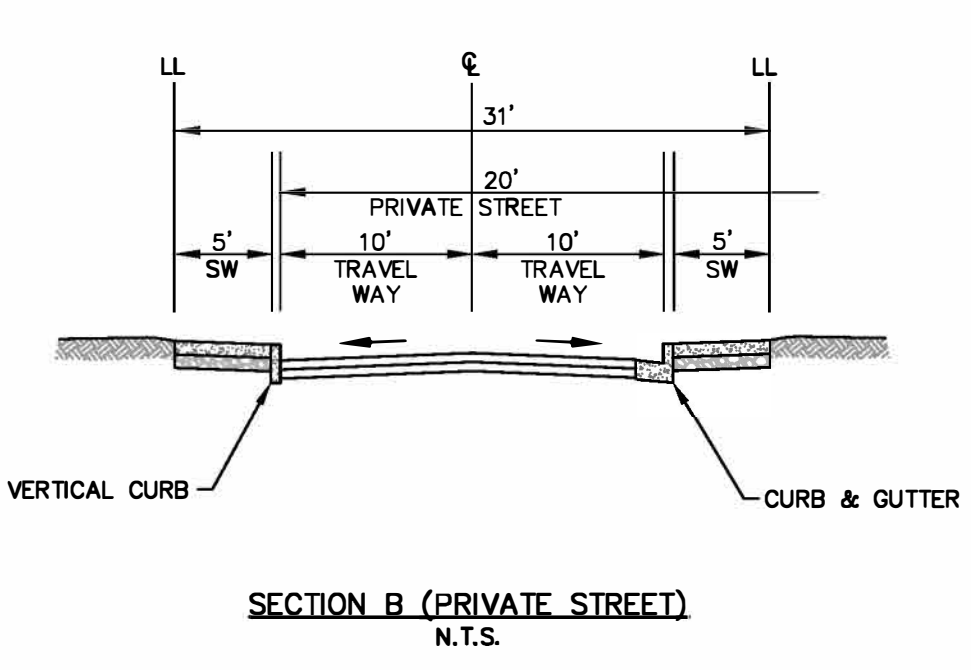
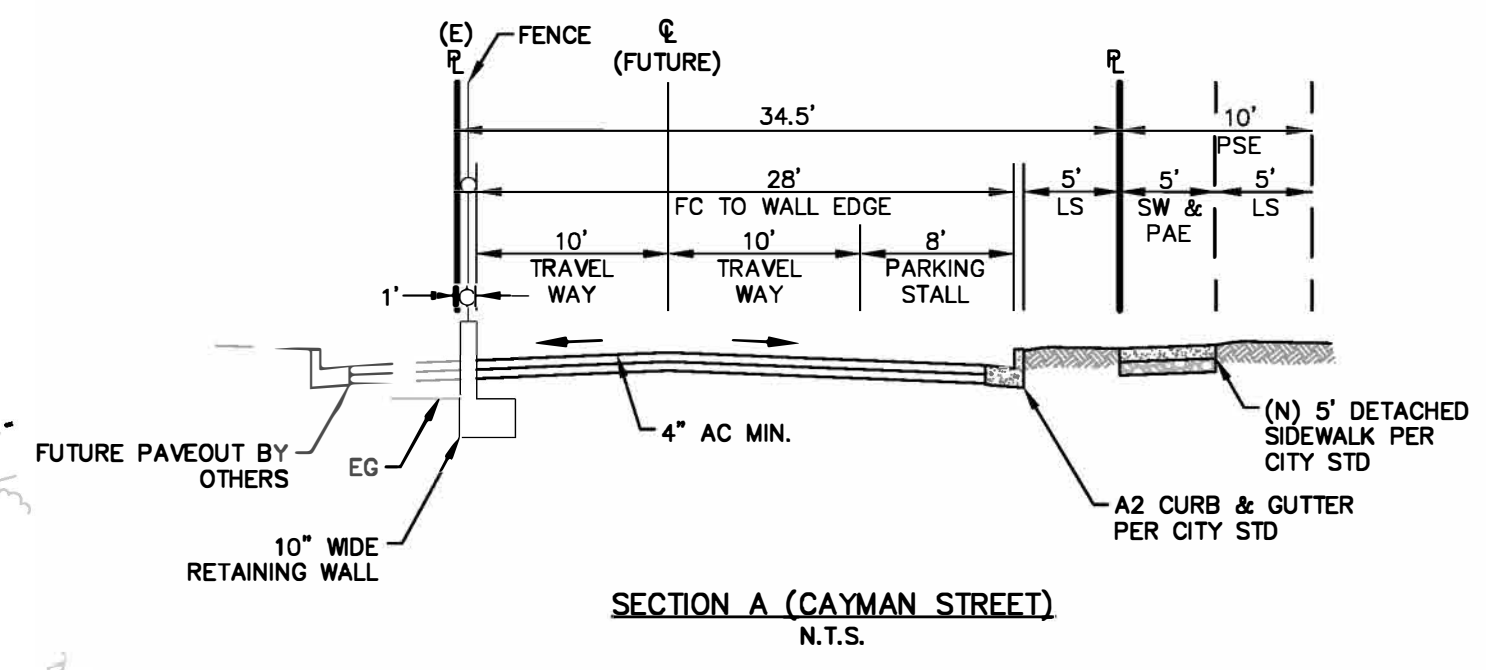
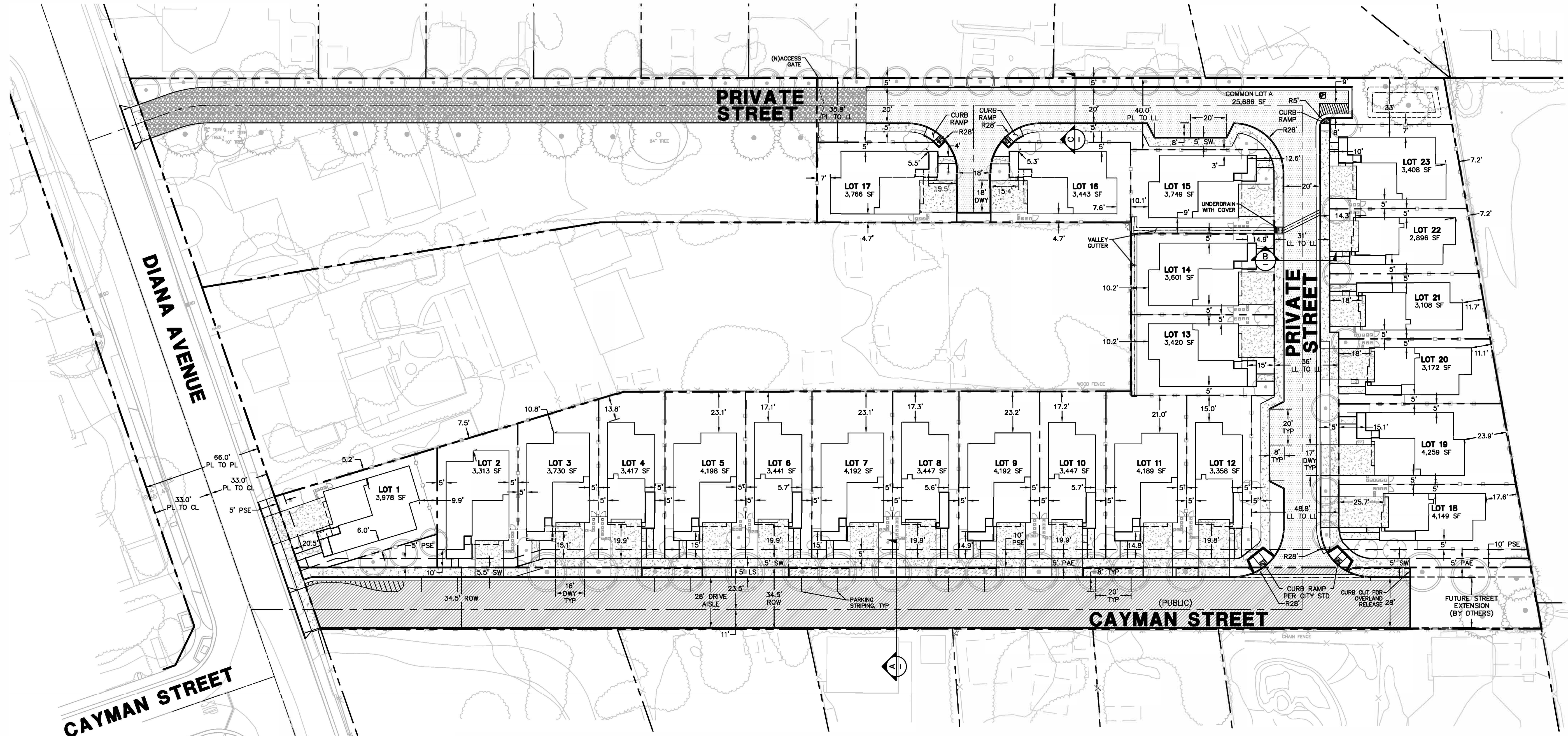
20231724-10



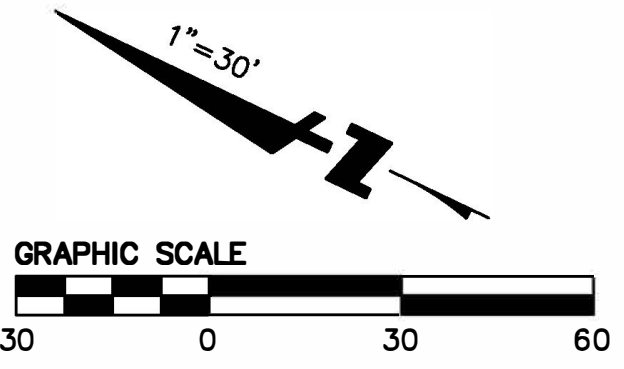
BKF ENGINEERS
1730 N. FIRST STREET
SUITE 600
SAN JOSE, CA 95112
(408) 467-9100
www.bkf.com

LEGEND

- BOUNDARY LINE
LOT LINE
STREET CENTER LINE
EASEMENT LINE
VERTICAL CURB
PAINTED RED CURB
VERTICAL CURB & GUTTER
AC PAVEMENT (PUBLIC)
AC PAVEMENT (PRIVATE)
WATER EASEMENT SERVICE ROAD
(SECTION TO BE PROVIDED BY
MORGAN HILL UTILITIES GROUP)
CONCRETE SIDEWALK/DRIVEWAY
GREEN INFRASTRUCTURE:
STORMWATER PLANTER
DETENTION POND
DRIVEWAY
ADA PARKING MARKING
WHEEL STOP
4"x4" BLUE FIRE
HYDRANT MARKER
7 FT FENCE
(SEE LANDSCAPE PLANS)
NOTES:
1. NEW CURB AND GUTTER, SIDEWALK, AND ADA RAMPS
TO BE INSTALLED PER CITY STANDARD DETAILS.
2. SEE VESTING TENTATIVE MAP FOR EASEMENT
INFORMATION AND DIMENSIONS.
3. ALL SIGNING AND STRIPING SHALL CONFORM TO THE
LATEST PROVISIONS OF CA MUTCD, CALTRANS
STANDARD PLANS AND SPECIFICATIONS, AND THE
CITY OF MORGAN HILL STANDARD DETAILS.
4. ALL STRIPING DAMAGED AS PART OF CONSTRUCTION
AND PAVEMENT WORK SHALL BE REPLACED WITH
THERMOPLASTIC STRIPING TO THE SATISFACTION OF
THE CITY TRAFFIC ENGINEER.
ABBREVIATIONS:
BLDG BUILDING
CL CENTER LINE
BC BACK OF CURB
BW BACK OF WALK
DWY DRIVEWAY
(E) EXISTING GRADE
FC FACE OF CURB
LL LOT LINE
LS LANDSCAPE
MIN MINIMUM
(N) NEW
PL PROPERTY LINE
R RADIUS
STD STANDARD
SW SIDEWALK
TYP TYPICAL
PS PARKING STALL
PAE PUBLIC ACCESS EASEMENT
PSE PUBLIC SERVICE EASEMENT



CITY OF MORGAN HILL
PLAN APPROVED
THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION
ON 3/7/2025
SR2024-0004
FILE NUMBER
Roshni Saxena
Assistant Planner
PLANNING OFFICIAL



730 & 760 DIANA AVENUE
SITE DEVELOPMENT PLAN

C3.0
7/1/2024
20231724-10

DRAWING NAME: \\BKF-fs-1\vol\A\2023\231724-730-D\Ana_Subdivision\Planning\Sheets\03-D\ANA_SP.dwg
PLOT DATE: 07-01-24
PLOT BY: gnze

BKF
BKF ENGINEERS
1730 N. FIRST STREET
SUITE 600
SAN JOSE, CA 95112
(408) 467-9100
www.bkf.com

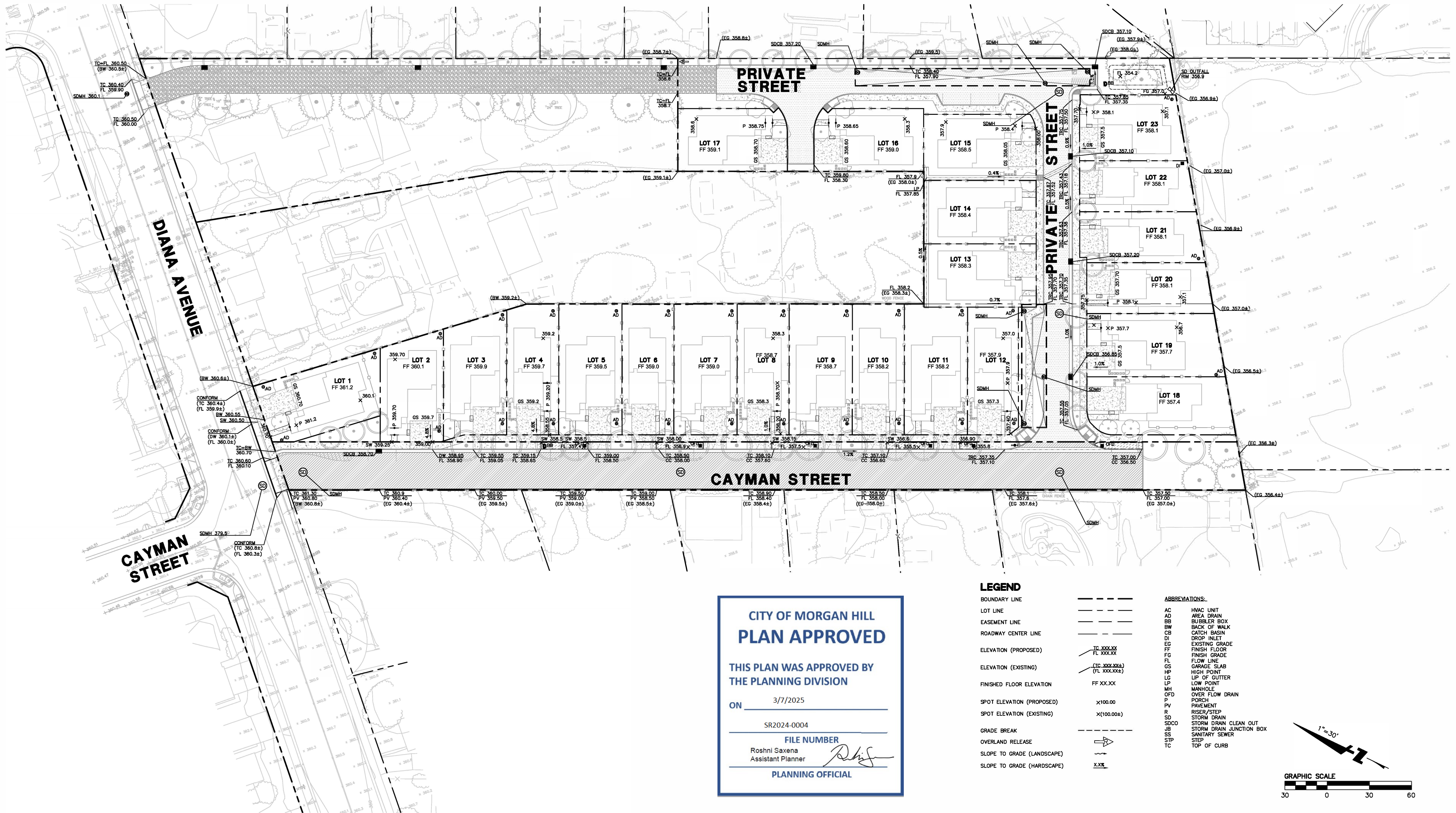
DRAWING NAME: \\BKF4-01\Projects\2023\1724-730 Diana Subdivision\Morgan_Hill\ENG-Planning\Sheets\04-D\ANA_CD.dwg
PLOT DATE: 07-01-24
PLOT BY: gnce



BKF ENGINEERS
1730 N. FIRST STREET
SUITE 600
SAN JOSE, CA 95112
(408) 467-9100
www.bkf.com

730 & 760 DIANA AVENUE
PRELIMINARY GRADING & DRAINAGE PLAN

C4.0
7/1/2024
20231724-10



DRAWING NAME: \\BKF4-s1\vol4\2023\31724-730_Diana_Subdivision\Morgan_Hill\ENG-L\Planning\Sheets\05-DIANA_UT.dwg
PLOT DATE: 07-01-24 PLOTTED BY: gnrze



BKF ENGINEERS
1730 N. FIRST STREET
SUITE 600
SAN JOSE, CA 95112
(408) 467-9100
www.bkf.com

730 & 760 DIANA AVENUE
PRELIMINARY UTILITY PLAN

CITY OF MORGAN HILL
PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

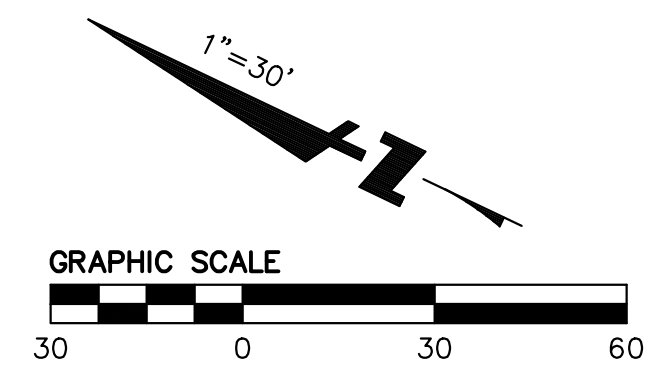
ON 3/7/2025

SR2024-0004

FILE NUMBER

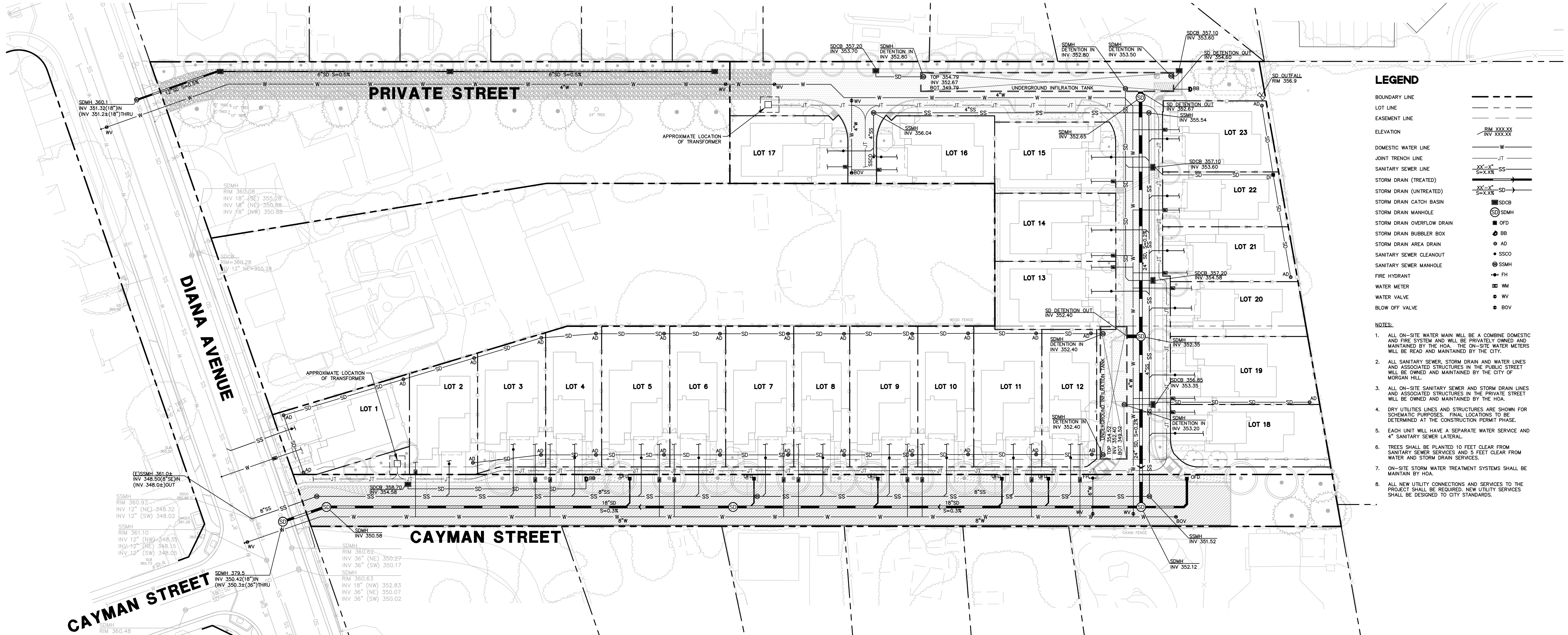
Roshni Saxena
Assistant Planner

PLANNING OFFICIAL



C5.0
7/1/2024

20231724-10



LEGEND

BOUNDARY LINE	---
LOT LINE	---
EASEMENT LINE	---
ELEVATION	RIM XXX.XX INV XXX.XX
DOMESTIC WATER LINE	W
JOINT TRENCH LINE	JT
SANITARY SEWER LINE	SS
STORM DRAIN (TREATED)	SS-X.X%
STORM DRAIN (UNTREATED)	SS-X.X%
STORM DRAIN CATCH BASIN	SDCB
STORM DRAIN MANHOLE	SDMH
STORM DRAIN OVERFLOW DRAIN	OFD
STORM DRAIN BUBBLER BOX	BB
STORM DRAIN AREA DRAIN	AD
SANITARY SEWER CLEANOUT	SSCO
SANITARY SEWER MANHOLE	SSMH
FIRE HYDRANT	FH
WATER METER	WM
WATER VALVE	WV
BLOW OFF VALVE	BOV

NOTES:

- ALL ON-SITE WATER MAIN WILL BE A COMBINE DOMESTIC AND FIRE SYSTEM MAIN AND WILL BE PRIVATELY OWNED AND MAINTAINED BY THE HOA. THE ON-SITE WATER METERS WILL BE READ AND MAINTAINED BY THE CITY OF MORGAN HILL.
- ALL SANITARY SEWER, STORM DRAIN AND WATER LINES AND ASSOCIATED STRUCTURES IN THE PUBLIC STREET WILL BE OWNED AND MAINTAINED BY THE HOA.
- ALL ON-SITE SANITARY SEWER AND STORM DRAIN LINES AND ASSOCIATED STRUCTURES IN THE PRIVATE STREET WILL BE OWNED AND MAINTAINED BY THE HOA.
- DRY UTILITIES LINES AND STRUCTURES ARE SHOWN FOR SCHEMATIC PURPOSES. FINAL LOCATIONS TO BE DETERMINED AT THE CONSTRUCTION PERMIT PHASE.
- EACH UNIT WILL HAVE A SEPARATE WATER SERVICE AND 4" SANITARY SEWER LATERAL.
- TREES SHALL BE PLANTED 10 FEET CLEAR FROM SANITARY SEWER SERVICES AND 5 FEET CLEAR FROM WATER AND STORM DRAIN SERVICES.
- ON-SITE STORM WATER TREATMENT SYSTEMS SHALL BE MAINTAINED BY HOA.
- ALL NEW UTILITY CONNECTIONS AND SERVICES TO THE PROJECT SHALL BE REQUIRED. NEW UTILITY SERVICES SHALL BE DESIGNED TO CITY STANDARDS.

DRAWING NAME: \\BKF-4-s\\vol_4\\2023\\231724_730 Diana_Subdivision\\Morgan_Hill\\ENG-\\Planning\\Sheets\\06-D\\ANA_SW.dwg
PLOT DATE: 07-01-24 PLOTTED BY: gnce

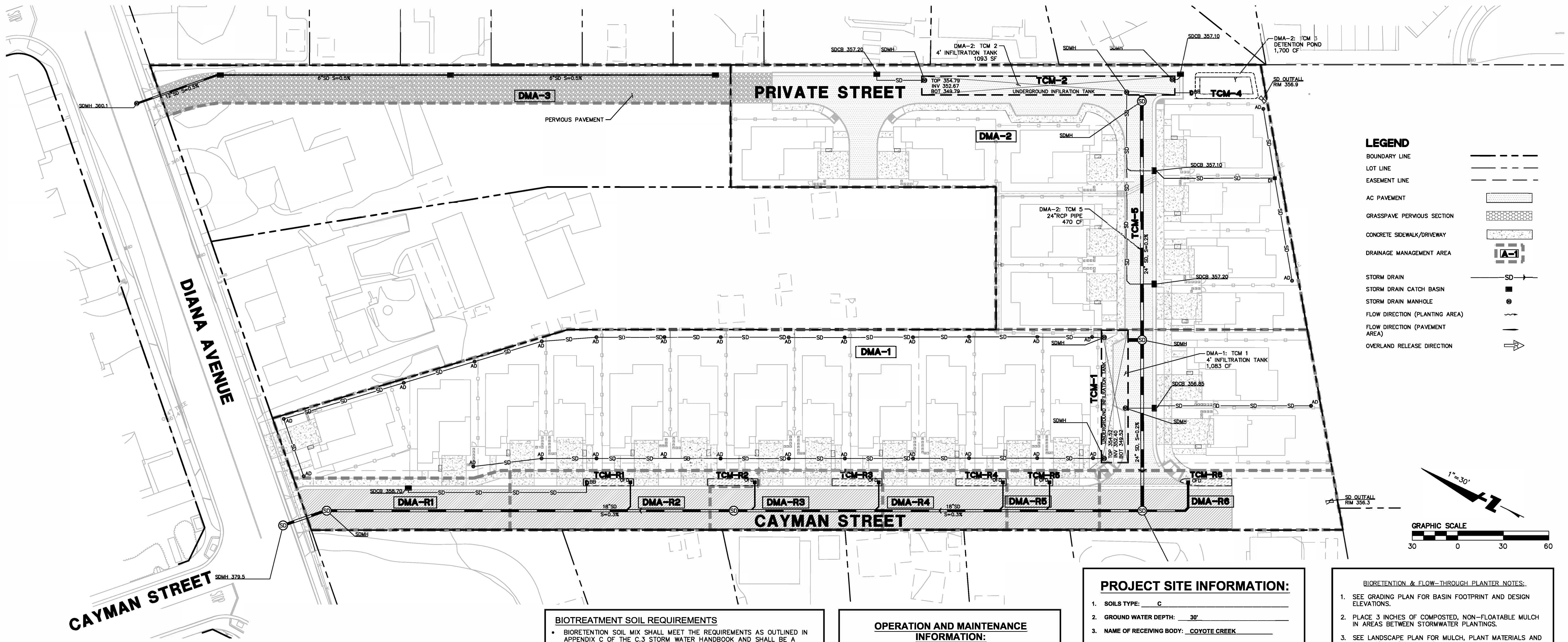


BKF ENGINEERS
1730 N. FIRST STREET
SUITE 600
SAN JOSE, CA 95112
(408) 467-9100
www.bkf.com

730 & 760 DIANA AVENUE PRELIMINARY STORMWATER CONTROL PLAN

C6.0
7/1/2024

20231724-10



LEGEND

- BOUNDARY LINE
- LOT LINE
- EASEMENT LINE
- AC PAVEMENT
- GRASSPAVE PERVIOUS SECTION
- CONCRETE SIDEWALK/DRIVEWAY
- DRAINAGE MANAGEMENT AREA
- STORM DRAIN
- STORM DRAIN CATCH BASIN
- STORM DRAIN MANHOLE
- FLOW DIRECTION (PLANTING AREA)
- FLOW DIRECTION (PAVEMENT AREA)
- OVERLAND RELEASE DIRECTION

GRAPHIC SCALE

30 0 30 60

PROJECT SITE INFORMATION:

- SOILS TYPE: C
- GROUND WATER DEPTH: 30'
- NAME OF RECEIVING BODY: COYOTE CREEK
- FLOOD ZONE: ZONE X
- FLOOD ELEVATION (IF APPLICABLE):

SOURCE CONTROL MEASURES:

- BENEFICIAL LANDSCAPING.
- USE OF WATER EFFICIENT IRRIGATION SYSTEMS.
- MAINTENANCE (PAVEMENT SWEEPING, CATCH BASIN CLEANING, GOOD HOUSEKEEPING).
- STORM DRAIN LABELING.

SITE DESIGN MEASURES:

- PROTECT EXISTING TREES, VEGETATION, AND SOIL.
- MINIMIZE COMPACTION OF HIGHLY PERMEABLE SOILS
- LANDSCAPING
 - WALKWAYS AND PATIOS.
- DIRECT RUNOFF FROM ROOFS, SIDEWALKS, PATIOS, AND DRIVEWAYS TO LANDSCAPED AREAS.
- CLUSTER STRUCTURES/PAVEMENT.
- CONSTRUCT DRIVEWAYS WITH PERMEABLE SURFACES.

BIOTREATMENT SOIL REQUIREMENTS

- BIOTRETENTION SOIL MIX SHALL MEET THE REQUIREMENTS AS OUTLINED IN APPENDIX C OF THE C.3 STORM WATER HANDBOOK AND SHALL BE A MIXTURE OF FINE SAND AND COMPOST MEASURED ON A VOLUME BASIS OF 60-70% SAND AND 30-40% COMPOST. CONTRACTOR TO REFER TO APPENDIX C FOR SAND AND COMPOST MATERIAL SPECIFICATIONS. CONTRACTOR MAY OBTAIN A COPY OF THE C3 HANDBOOK AT: [HTTPS://CLEANWATER.SCCGOV.ORG/SITES/G/FILES/EXJCPB461/FILES/SCVJRPDP_C.PDF](https://CLEANWATER.SCCGOV.ORG/SITES/G/FILES/EXJCPB461/FILES/SCVJRPDP_C.PDF)
- PRIOR TO ORDERING THE BIOTREATMENT SOIL MIX OR DELIVERY TO THE PROJECT SITE, CONTRACTOR SHALL PROVIDE A BIOTREATMENT SOIL MIX SPECIFICATION CHECKLIST, COMPLETED BY THE SOIL MIX SUPPLIER AND CERTIFIED TESTING LAB.

OPERATION AND MAINTENANCE INFORMATION:

- PROPERTY INFORMATION:
I.A. PROPERTY ADDRESS:
730 & 760 DIANA AVENUE
MORGAN HILL, CA 95037

I.B. PROPERTY OWNER:
DIANA AVENUE INVESTORS, LLC.

II. RESPONSIBLE PARTY FOR MAINTENANCE:
II.A. CONTACT:
JOSHUA VROTSOS

II.B. PHONE NUMBER OF CONTACT:
(408) 779-5900

II.C. EMAIL:
JVROTSOS@MIDNENDHOMES.COM

II.D. ADDRESS:
385 WOODVIEW AVENUE, STE 100
MORGAN HILL, CA 95037

BIOTRETENTION & FLOW-THROUGH PLANTER NOTES:

- SEE GRADING PLAN FOR BASIN FOOTPRINT AND DESIGN ELEVATIONS.
- PLACE 3 INCHES OF COMPOSTED, NON-FLOATABLE MULCH IN AREAS BETWEEN STORMWATER PLANTINGS.
- SEE LANDSCAPE PLAN FOR MULCH, PLANT MATERIALS AND IRRIGATION REQUIREMENTS
- CURB CUTS SHALL BE A MINIMUM 18" WIDE AND SPACED AT MAXIMUM 10' O.C. INTERVALS AND SLOPED TO DIRECT STORMWATER TO DRAIN INTO THE BASIN. CURB CUTS SHALL ALSO NOT BE PLACED INLINE WITH OVERFLOW CATCH BASIN. SEE GRADING PLAN FOR MORE DETAIL ON LOCATIONS OF CURB CUTS.
- A MINIMUM 0.2' DROP BETWEEN STORM WATER ENTRY POINT (I.E. CURB OPENING, FLUSH CURB, ETC.) AND ADJACENT LANDSCAPE FINISHED GRADE.
- DO NOT COMPACT NATIVE SOIL / SUBGRADE AT BOTTOM OF BASIN. LOOSEN SOIL TO 12" DEPTH.

STANDARD STORMWATER CONTROL NOTES:

- STANDING WATER SHALL NOT REMAIN IN THE TREATMENT MEASURES FOR MORE THAN FIVE DAYS. TO PREVENT MOSQUITO GENERATION. SHOULD ANY MOSQUITO ISSUES ARISE, CONTACT THE SANTA CLARA VALLEY VECTOR CONTROL DISTRICT (DISTRICT). MOSQUITO LARVICIDES SHALL BE APPLIED ONLY WHEN ABSOLUTELY NECESSARY, AS INDICATED BY THE DISTRICT, AND THEN ONLY BY A LICENSED PROFESSIONAL OR CONTRACTOR. CONTRACTOR SHALL PROVIDE INFORMATION FOR THE DISTRICT IS PROVIDED BELOW.
- DO NOT USE PESTICIDES OR OTHER CHEMICAL APPLICATIONS TO TREAT DISEASED PLANTS, CONTROL WEEDS OR REMOVED UNWANTED GROWTH. EMPLOY NON-CHEMICAL CONTROLS (BIOLOGICAL, PHYSICAL AND CULTURAL CONTROLS) TO TREAT A PEST PROBLEM. PRUNE PLANTS PROPERLY AND AT THE APPROPRIATE TIME OF YEAR. PROVIDE ADEQUATE IRRIGATION FOR LANDSCAPE PLANTS. DO NOT OVER WATER.

CITY OF MORGAN HILL PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 3/7/2025

SR2024-0004

FILE NUMBER

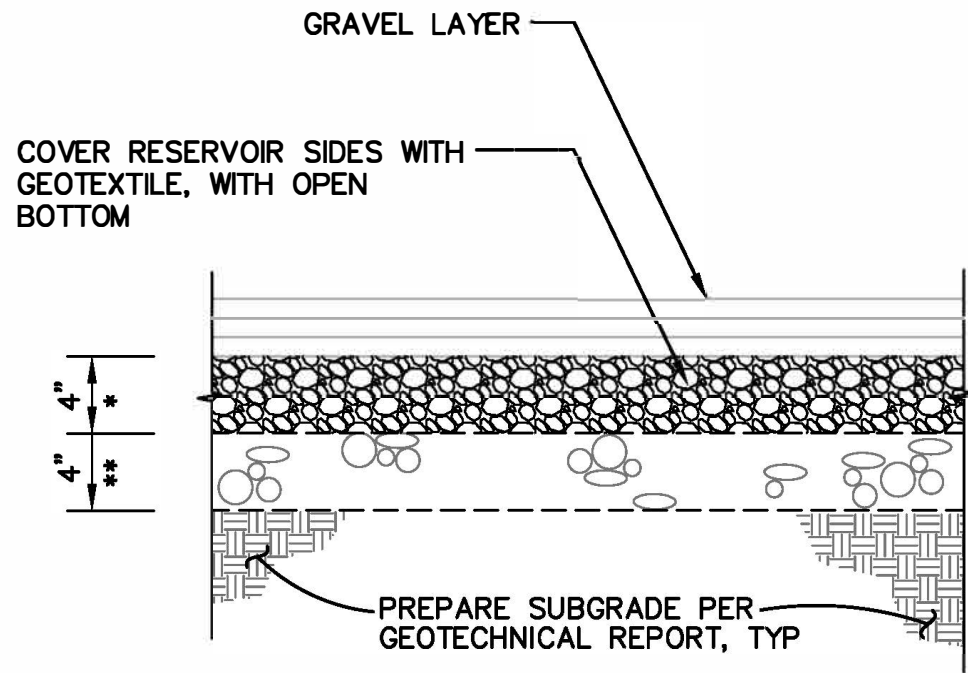
Roshni Saxena
Assistant Planner

PLANNING OFFICIAL

DRAWING NAME: \\BKF4-s1\vol\A\2023\231724-730-Diana_Subdiv\visioning\Sheet's\06-D\ANKA_SW.dwg
PLOT DATE: 07-01-24
PLOT BY: gize

TABLE 1 ROUTINE MAINTENANCE ACTIVITIES FOR BIORETENTION AREAS		
NO.	MAINTENANCE TASK	FREQUENCY OF TASK
1	REMOVE OBSTRUCTIONS, WEEDS, DEBRIS AND TRASH FROM BIORETENTION AREA AND ITS INLETS AND OUTLETS; AND DISPOSE OF PROPERLY.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
2	INSPECT BIORETENTION AREA FOR STANDING WATER. IF STANDING WATER DOES NOT DRAIN WITHIN 2-3 DAYS, TILL AND REPLACE THE SURFACE BIOTREATMENT SOIL WITH THE APPROVED SOIL MIX AND REPLANT.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
3	CHECK UNDERDRAINS FOR CLOGGING. USE THE CLEANOUT RISER TO CLEAN ANY CLOGGED UNDERDRAINS.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
4	MAINTAIN THE IRRIGATION SYSTEM AND ENSURE THAT PLANTS ARE RECEIVING THE CORRECT AMOUNT OF WATER (IF APPLICABLE).	QUARTERLY
5	ENSURE THAT THE VEGETATION IS HEALTHY AND DENSE ENOUGH TO PROVIDE FILTERING AND PROTECT SOILS FROM EROSION. PRUNE AND WEED THE BIORETENTION AREA. REMOVE AND/OR REPLACE ANY DEAD PLANTS.	ANNUALLY, BEFORE THE WET SEASON BEGINS
6	USE COMPOST AND OTHER NATURAL SOIL AMENDMENTS AND FERTILIZERS INSTEAD OF SYNTHETIC FERTILIZERS, ESPECIALLY IF THE SYSTEM USES AN UNDERDRAIN.	ANNUALLY, BEFORE THE WET SEASON BEGINS
7	CHECK THAT MULCH IS AT APPROPRIATE DEPTH (2 - 3 INCHES PER SOIL SPECIFICATIONS) AND REPLENISH AS NECESSARY BEFORE WET SEASON BEGINS. IT IS RECOMMENDED THAT 2" - 3" OF ARBOR MULCH BE REAPPLIED EVERY YEAR.	ANNUALLY, BEFORE THE WET SEASON BEGINS
8	INSPECT THE ENERGY DISSIPATION AT THE INLET TO ENSURE IT IS FUNCTIONING ADEQUATELY, AND THAT THERE IS NO SCOUR OF THE SURFACE MULCH. REMOVE ACCUMULATED SEDIMENT.	ANNUALLY, BEFORE THE WET SEASON BEGINS
9	INSPECT OVERFLOW PIPE TO ENSURE THAT IT CAN SAFELY CONVEY EXCESS FLOWS TO A STORM DRAIN. REPAIR OR REPLACE DAMAGED PIPING.	ANNUALLY, BEFORE THE WET SEASON BEGINS
10	REPLACE BIOTREATMENT SOIL AND MULCH, IF NEEDED. CHECK FOR STANDING WATER, STRUCTURAL FAILURE AND CLOGGED OVERFLOWS. REMOVE TRASH AND DEBRIS. REPLACE DEAD PLANTS.	ANNUALLY, BEFORE THE WET SEASON BEGINS
11	INSPECT BIORETENTION AREA USING THE ATTACHED INSPECTION CHECKLIST.	ANNUALLY, BEFORE THE WET SEASON

TABLE 1 ROUTINE MAINTENANCE ACTIVITIES FOR FLOW-THROUGH PLANTERS		
NO.	MAINTENANCE TASK	FREQUENCY OF TASK
1	INSPECT THE PLANTER SURFACE AREA, INLETS AND OUTLETS FOR OBSTRUCTIONS AND TRASH; CLEAR ANY OBSTRUCTIONS AND REMOVE TRASH.	QUARTERLY
2	INSPECT PLANTER FOR STANDING WATER. IF STANDING WATER DOES NOT DRAIN WITHIN 2-3 DAYS, THE SURFACE BIOTREATMENT SOIL SHOULD BE TILLED OR REPLACED WITH THE APPROVED SOIL MIX AND REPLANTED. USE THE CLEANOUT RISER TO CLEAR ANY UNDERDRAINS OF OBSTRUCTIONS OR CLOGGING MATERIAL.	QUARTERLY
3	CHECK FOR ERODED OR SETTLED BIOTREATMENT SOIL MEDIA. LEVEL SOIL WITH RAKE AND REMOVE/REPLANT VEGETATION AS NECESSARY.	QUARTERLY
4	MAINTAIN THE VEGETATION AND IRRIGATION SYSTEM. PRUNE AND WEED TO KEEP FLOW-THROUGH PLANTER NEAT AND ORDERLY IN APPEARANCE.	QUARTERLY
5	EVALUATE HEALTH AND DENSITY OF VEGETATION. REMOVE AND REPLACE ALL DEAD AND DISEASED VEGETATION. REMOVE EXCESSIVE GROWTH OF PLANTS THAT ARE TOO CLOSE TOGETHER.	ANNUALLY, BEFORE THE RAINY SEASON BEGINS
6	USE COMPOST AND OTHER NATURAL SOIL AMENDMENTS AND FERTILIZERS INSTEAD OF SYNTHETIC FERTILIZERS, ESPECIALLY IF THE SYSTEM USES AN UNDERDRAIN.	ANNUALLY, BEFORE THE RAINY SEASON BEGINS
7	INSPECT THE OVERFLOW PIPE TO MAKE SURE THAT IT CAN SAFELY CONVEY EXCESS FLOWS TO A STORM DRAIN. REPAIR OR REPLACE ANY DAMAGED OR DISCONNECTED PIPING. USE THE CLEANOUT RISER TO CLEAR UNDERDRAINS OF OBSTRUCTIONS OR CLOGGING MATERIAL.	ANNUALLY, BEFORE THE RAINY SEASON BEGINS
8	INSPECT THE ENERGY DISSIPATOR AT THE INLET TO ENSURE IT IS FUNCTIONING ADEQUATELY, AND THAT THERE IS NO SCOUR OF THE SURFACE MULCH. REMOVE ANY ACCUMULATION OF SEDIMENT.	ANNUALLY, BEFORE THE RAINY SEASON BEGINS
9	INSPECT AND, IF NEEDED, REPLACE WOOD MULCH. IT IS RECOMMENDED THAT 2" TO 3" OF COMPOSTED ARBOR MULCH BE APPLIED ONCE A YEAR.	ANNUALLY, BEFORE THE RAINY SEASON BEGINS
10	INSPECT SYSTEM FOR EROSION OF BIOTREATMENT SOIL MEDIA, LOSS OF MULCH, STANDING WATER, CLOGGED OVERFLOWS, WEEDS, TRASH AND DEAD PLANTS. IF USING ROCK MULCH, CHECK FOR 3" OF COVERAGE.	ANNUALLY AT THE END OF THE RAINY SEASON AND/OR AFTER LARGE STORM EVENTS,
11	INSPECT SYSTEM FOR STRUCTURAL INTEGRITY OF WALLS, FLOW SPREADERS, ENERGY DISSIPATORS, CURB CUTS, OUTLETS AND FLOW SPLITTERS.	ANNUALLY AT THE END OF THE RAINY SEASON AND/OR AFTER LARGE STORM EVENTS,



NOTES:

- * USE NO. 57 STONE OPEN-GRADED BASE RESERVOIR (ASTM NO. 3 OR 4 STONE MAYBE SUBSTITUTED FOR NO. 2 STONE).
- ** USE NO. 2 STONE SUB-BASE RESERVOIR WITH 40% VOID (ASTM NO. 89 OR 9 STONE MAY BE USED).



BKF ENGINEERS
1730 N. FIRST STREET
SUITE 600
SAN JOSE, CA 95112
(408) 467-9100
www.bkf.com

730 & 760 DIANA AVENUE PRELIMINARY STORMWATER CONTROL DETAILS & NOTES

CITY OF MORGAN HILL PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 3/7/2025

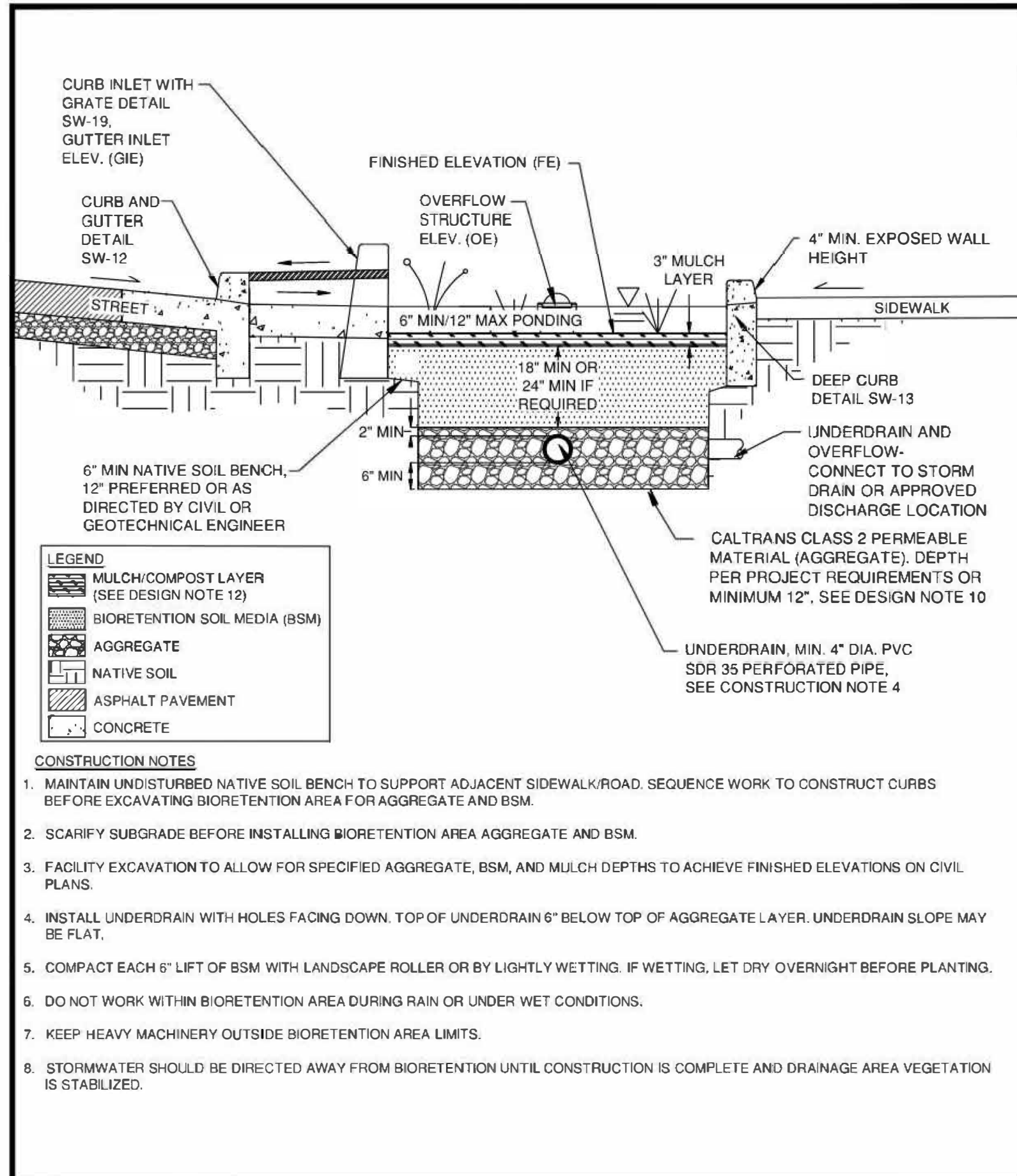
SR2024-0004

FILE NUMBER

Roshni Saxena
Assistant Planner

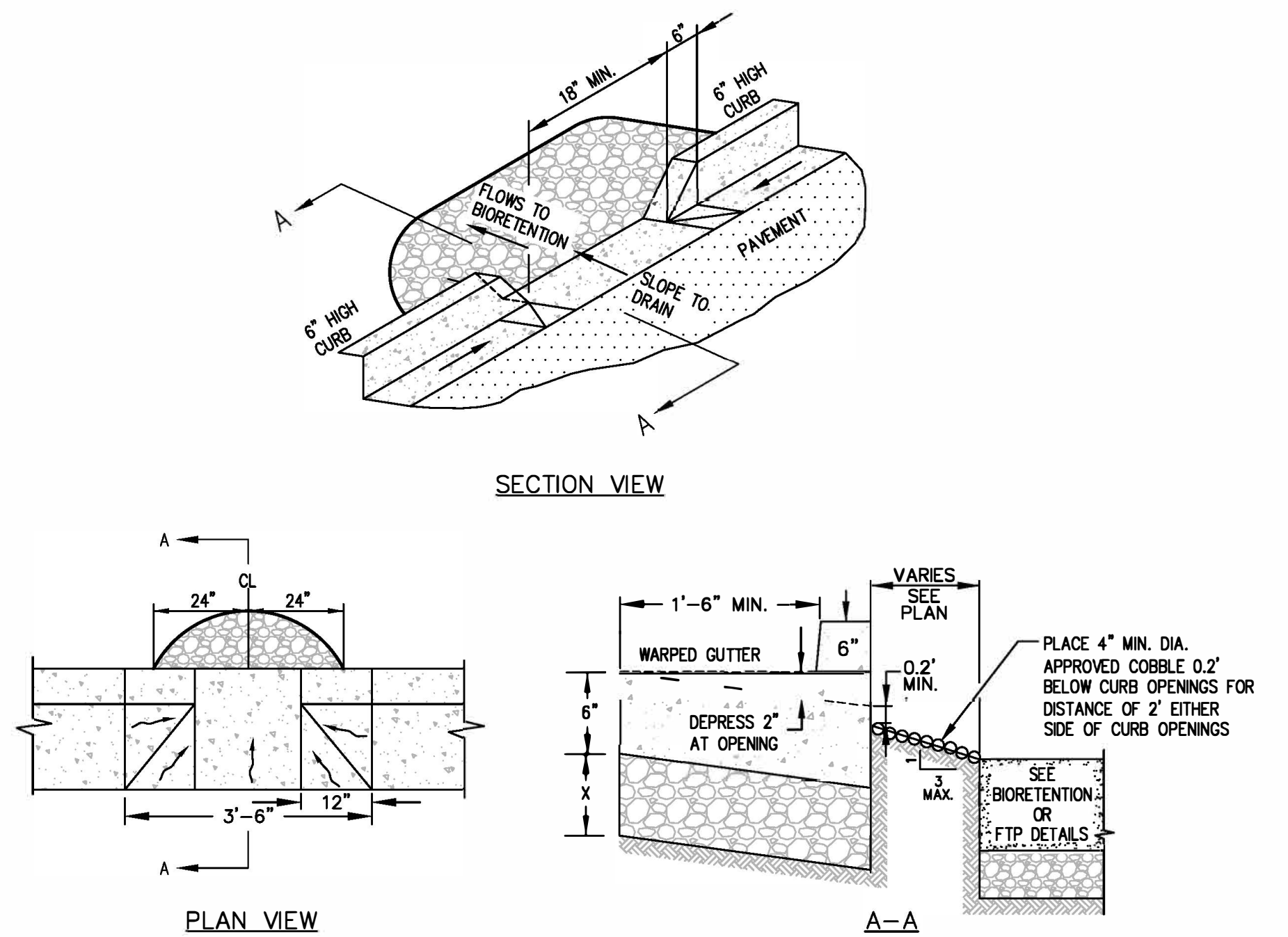
PLANNING OFFICIAL

C6.1
7/1/2024
20231724-10

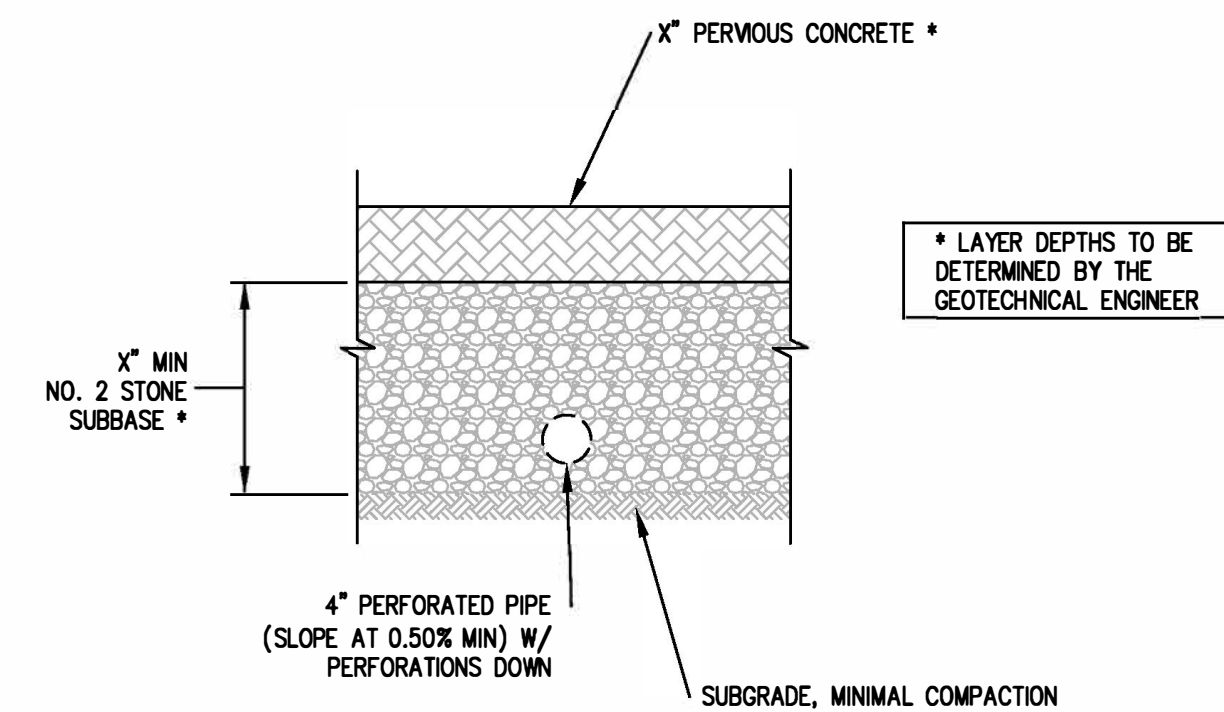


DESIGN NOTES

- BIORETENTION FACILITY DESIGN SHOULD OPTIMIZE THE FLAT BOTTOM DIMENSIONS (I.E., WIDTH, LENGTH) TO MAXIMIZE THE FUNCTIONAL AREA OF THE FACILITY.
- CAPTURE AND CONVEY OVERFLOW TO STORM DRAIN SYSTEM (DETAIL SW-22, SW-23). ALTERNATIVELY, CONVEY OVERFLOW TO APPROVED DISCHARGE LOCATION THROUGH OTHER OVERLAND METHODS (I.E. CURB CUTS, SIDEWALK UNDERDRAIN, WEIR, ETC.).
- PROVIDE SPOT ELEVATIONS AT INLETS AND OVERFLOW STRUCTURES ON CIVIL PLANS (FE, OE, GIE, SIE), PER DETAIL SW-18.
- DUE TO SITE VARIABILITY, TO ENSURE THE LONG-TERM STRUCTURAL STABILITY OF THE BIORETENTION FACILITY AND ANY ADJACENT INFRASTRUCTURE CONSULT WITH A GEOTECHNICAL ENGINEER.
- A VERTICAL LINER MAY BE USED FOR BIORETENTION FACILITIES TO PREVENT LATERAL FLOW AND TO SEPARATE THE NATIVE SOIL FROM THE BSM AND THE AGGREGATE, HOWEVER A HORIZONTAL LINER SHALL NOT BE USED.
- DO NOT USE FILTER FABRIC BETWEEN BSM AND AGGREGATE.
- PROVIDE CAPPED, THREADED PVC CLEANOUT FOR UNDERDRAIN, 4" MIN. DIA. WITH SWEEP BEND.
- PROVIDE A CLEAN-OUT/OBSERVATION PORT IN EACH FACILITY, PER BIORETENTION TECHNICAL SPECIFICATIONS.
- ON LONGITUDINAL SLOPE, USE CHECK DAMS (DETAILS SW-20, SW-21)
- USE AND DEPTH OF AGGREGATE DETERMINED BY FACILITY SIZING. IF CALTRANS CLASS 2 PERMEABLE IS NOT AVAILABLE, SUBSTITUTE CLASS 3 PERMEABLE WITH AN OVERLYING 3" DEEP CHOKING LAYER OF EITHER CALTRANS COURSE AGGREGATE 1/2" (NO. 4) OR 3/4" X (NO. 4) OPEN-GRADED AGGREGATE.
- BIORETENTION SOIL MEDIA (BSM) SPECIFICATION PER BIORETENTION TECHNICAL SPECIFICATIONS.
- PLANT SELECTION PER BIORETENTION TECHNICAL SPECIFICATIONS.
- MULCH PER BIORETENTION TECHNICAL SPECIFICATIONS.
- LOCATE ENERGY DISSIPATION AS SPECIFIED IN INLET DETAILS.
- AVOID DECORATIVE USE OF COBBLE THAT CAN INTERFERE WITH INFILTRATION.



1 CURB OPENING N.T.S.



SIZING METHOD:	
2	PVIOUS PAVEMENT (SELF-TREATING) N.T.S.

FlexStorm Pure™ Bag Options

FlexStorm Pure, for permanent applications, has three filter bag options available to meet your specific needs. They have varying degrees of TSS and hydrocarbon oil removal properties.

FlexStorm Filter Bags



Filter Bag Test Results

FX	TSS Filtration Efficiency = 85% ¹
PCP	TSS Filtration Efficiency = 97% ¹

¹ Large scale, 3rd party testing per ASTM D 7331 modified for inlet filters

Filter Bag Specifications & Capabilities

Bag Type (P/N)	Geotextile Flow Rate (GPM/SqFt)	Min A.O.S. (US Sieve)
Woven (FX/FGP)	200	40
Post Construction (PCP)	137	140

Total Bypass Capacity

Bypass capacity will vary with each size drainage structure. FlexStorm designs filter bypass to meet the minimum design flow of the particular drainage structure.

Standard Bag Sizes (match frame sizes)	Solids Storage Capacity ft ³ (m ³)	Filtered Flow Rate at 50% Max (CFS)		Oil Retention (Oz)	
		FX	PCP	FXP	PCP
Small	1.6 (0.5)	1.2	0.8	89	168
Medium	2.1 (0.6)	1.7	1.2	89	204
Large	3.8 (1.2)	2.7	1.8	89	262
XL	4.2 (1.3)	3.6	2.4	178	319



ADS is a registered trademark of ADS Engineering, Inc. All other trademarks are the property of their respective owners.

adspipe.com
800-821-6710

DRAWING NAME: \\BKF4-s1\VOL4\2023\231724_730_Diana_Subdivision_Morgan_Hill\ENG-L\Planning\Sheets\06-D\ANK_SW.dwg
PLOT DATE: 07-01-24
PLOTTED BY: gnze

ONSITE STORMWATER CALCULATION TABLES

TREATMENT CONTROL MEASURE SUMMARY TABLE																			
DMA #	TCM #	Location	Treatment Type	LID or Non-LID	Sizing Method	Drainage Area (SF)	Impervious Area (SF)	Pervious Area (Permeable Pavement) (SF)	Pervious Area (Other) (SF)	Runoff Coeff. "C"+	% Onsite Area Treated by LID or Non-LID TCM	Bioretention Area Required (4%)(SF)	Bioretention Area Provided (SF)	Overflow Riser Height (in)	85th% (1.2" Rain) Volume(CF)	95th% (1.7" Rain) Volume(CF)++	24 hr 25 year total rainfall (5.25" Rain) Volume(CF)+++	Impervious Area Type	Comments
1	1	Onsite	Subsurface Infiltration System	LID	N/A	56,016	30,083	0	25,933	0.364	54.15%	-	-	-	2,037	3,692	11,139	Roadway, Sidewalk, Roof	Infiltration Tank (2.5 in/hr, 4' deep tank)
2	2	Onsite	Subsurface Infiltration System	LID	N/A	47,430	31,500	0	15,930	0.461	45.85%	-	-	-	2,188	3,966	11,966	Roadway, Sidewalk, Roof	Infiltration Tank (2.5 in/hr, 4' deep tank)
3	-	Onsite	Self-treating areas	LID	N/A	9,600	0	7,100	2,500	0.040	9.28%	-	-	-	-	-	-	-	Permeable Pavement
Totals:						113,046	61,583	7,100	44,363	N/A	109.28%	0	0	N/A		7,658			

Footnotes:
+ C=0.858i³-0.78i²+0.774i+0.04, where "i" is the fraction of the tributary area that is impervious
++ TCM required storage volume equals full 95th% runoff with native soil infiltration if necessary
+++ Per City of Morgan Hill Master Plan, Sizing for Volume Retention in underground structures and ponding basins requires 1.25 Safety Factor

TREATMENT CONTROL MEASURE RETENTION VOLUME SIZING TABLE									
DMA #	TCM #	Location	Treatment Type	TCM Surface Area (SF)	TCM Retention Depth (ft)	TCM below ground volume (CF)	Infiltration Volume over 24 hours ³ (CF)	TCM total volume (CF)	Volume Check ³
1	1	Onsite	Subsurface Infiltration System	1,083	2.88	3,114	5,415	8,529	OK
2	2	Onsite	Subsurface Infiltration System	1,093	2.88	3,142	5,465	8,607	OK

Footnotes:
³Infiltration Rate set to 2.5 in/hr per percolation test

TREATMENT CONTROL MEASURE OVERLAND RELEASE SIZING TABLE											
DMA #	TCM #	Location	Retention Type	Pre Project Overland Release Volume allowed (CF)	Overland Release Volume Retention Required (CF)	Infiltration Tank Surface Area (SF)	Infiltration Volume over 24 hours ³ (CF)	Infiltration Tank Below Ground Volume (4' depth)	Detention Pond (CF)	TCM total volume (CF)	Volume Check
1	1, 2	Onsite	TCM 1: Infiltration Tank	4,901	6,237	1,515	5,415	4,332	0	8,529	OK
2	2, 3	Onsite	TCM 2: Infiltration Tank TCM 3: Detention Pond	2,075	9,891	1,940	5,465	4,372	1,300	9,907	OK

OFFSITE STORMWATER CALCULATION TABLES

TREATMENT CONTROL MEASURE SUMMARY TABLE																			
DMA #	TCM #	Location	Treatment Type	LID or Non-LID	Sizing Method	Drainage Area (SF)	Impervious Area (SF)	Pervious Area (Permeable Pavement) (SF)	Pervious Area (Other) (SF)	Runoff Coeff. "C"+	% Onsite Area Treated by LID or Non-LID TCM	Biorete Area Required (4%)(SF)	Biorete Area Provided (SF)	Overflow Riser Height (in)	85th% (1.2" Rain) Volume(CF)	95th% (1.7" Rain) Volume(CF)++	25 year rainfall (5.25" Rain) Volume(CF)+++	Impervious Area Type	Comments
R1	R1	Offsite	Bioretention unlined w/ underdrain	LID	2C. Flow: 4% Method **	3,700	3,600	0	100	0.845	12.56%	144	144	68	68	68	68	Roadway, Sidewalk	In Ground Flow Through Planter Box
R2	R2	Offsite	Bioretention unlined w/ underdrain	LID	2C. Flow: 4% Method **	5,720	3,470	0	2,250	0.414	19.42%	148	148	36	36	36	36	Roadway, Sidewalk	In Ground Flow Through Planter Box
R3	R3	Offsite	Bioretention unlined w/ underdrain	LID	2C. Flow: 4% Method **	5,945	3,445	0	2,500	0.394	20.18%	148	148	24	24	24	24	Roadway, Sidewalk	In Ground Flow Through Planter Box
R4	R4	Offsite	Bioretention unlined w/ underdrain	LID	2C. Flow: 4% Method **	5,698	3,448	0	2,250	0.413	19.34%	147	147	29	29	29	29	Roadway, Sidewalk	In Ground Flow Through Planter Box
R5	R5	Offsite	Bioretention unlined w/ underdrain	LID	2C. Flow: 4% Method **	2,052	1,152	0	900	0.381	6.97%	50	50	42	42	42	42	Roadway, Sidewalk	In Ground Flow Through Planter Box
R6	R6	Offsite	Bioretention unlined w/o underdrain	LID	2C. Flow: 4% Method **	6,340	3,240	0	3,100	0.346	21.52%	142	142	51	51	51	51	Roadway, Sidewalk	In Ground Flow Through Planter Box
Totals:						29,455	18,355	0	11,100	N/A	100.00%	779	779	786	N/A	N/A	5,759		

Footnotes:
** Sizing for Bioretention Area Required calculated using the 4% Method [(Impervious Area + 0.1 x Pervious Area] x 0.04)
+ C=0.858i³-0.78i²+0.774i+0.04, where "i" is the fraction of the tributary area that is impervious
++ TCM required storage volume equals full 95th% runoff with native soil infiltration if necessary
+++ Per City of Morgan Hill Master Plan

CITY OF MORGAN HILL
PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 3/7/2025

SR2024-0004

FILE NUMBER

Roshni Saxena
Assistant Planner

PLANNING OFFICIAL

TREATMENT CONTROL MEASURE RETENTION VOLUME SIZING TABLE													
DMA #	TCM #	Location	Treatment Type	TCM Top Surface Area (SF)	TCM Bottom Surface Area (SF)	TCM above ground volume (CF)	Ponding depth (in)	Bio soil media depth (in) ¹	Drain rock depth (in) ²	TCM below ground volume (CF)	Infiltration Volume over 24 hours ³ (CF)	TCM total volume (CF)	Volume Check
R1	R1	Offsite	Bioretention unlined w/o underdrain	148	148	148	12	18	20	154	740	1,042	OK
R2	R2	Offsite	Bioretention unlined w/o underdrain	148	148	148	12	18	18	144	740	1,032	OK
R3	R3	Offsite	Bioretention unlined w/o underdrain	148	148	148	12	18	18	144	740	1,032	OK
R4	R4	Offsite	Bioretention unlined w/o underdrain	148	148	148	12	18	18	144	740	1,032	OK
R5	R5	Offsite	Bioretention unlined w/o underdrain	52	52	52	12	18	18	51	260	363	OK
R6	R6	Offsite	Bioretention unlined w/o underdrain	142	142	142	12	18	18	138	710	990	OK
Footnotes:					786		5,492						

¹Assume 25% void ratio
²Assume 40% void ratio
³Infiltration Rate set to 2.5 in/hr per percolation test

TREATMENT CONTROL MEASURE OVERLAND RELEASE SIZING TABLE									
DMA #	TCM #	Location	Retention Type	Pre Project Overland Release Volume allowed (CF)	Overland Release Volume Retention Required (CF)*	Bioretention Surface Area (SF)	Bioretention Total Volume (CF)	TCM total volume (CF)	Volume Check
R1, R2, R3, R4, R5, R6	R1, R2, R3, R4, R5, R6	Offsite	TCM R1-R6: Bioretention	2,577	3,977	786	5,492	5,492	OK

Footnotes:
* Sizing for Volume Retention in underground structures and ponding basins requires 25% Freeboard



BKF ENGINEERS
1730 N. FIRST STREET
SUITE 600
SAN JOSE, CA 95112
(408) 467-9100
www.bkf.com

730 & 760 DIANA AVENUE

PRELIMINARY STORMWATER CONTROL CALCULATIONS

C6.2
7/1/2024

20231724-10

landscape plans for:

703 DIANA AVENUE

DIANA AVENUE INVESTORS LLC

MORGAN HILL, CA 95003

DATE

JULY 1, 2024

PROJECT APPLICANT

DIANA AVENUE INVESTORS, LLC

PROJECT ADDRESS

703 DIANA AVENUE, MORGAN HILL

APN

726-06-013

TYPE

NEW RESIDENTIAL

TOTAL LANDSCAPE AREA

18,533 SQ. FT.

WATER SUPPLY

POTABLE

WATER PURVEYOR

CITY OF MORGAN HILL WATER DIVISION

SHEET INDEX

CS

T1.0

T1.1

L-1.0

L-1.1

L-2.0

L-2.1

L-2.2

L-2.3

L-3.0

L-3.1

L-3.2

L-3.3

COVER SHEET

EXISTING TREE LOCATION MAP

EXISTING TREE INVENTORY

SITE FURNISHINGS

SITE FURNISHINGS

PLANTING PLAN NORTH

PLANTING PLAN SOUTH

PLANTING PLAN, NOTES, & SOILS REPORT

PLANTING DETAILS & NOTES

HYDROZONE MAP & WATER USE CALCULATION

IRRIGATION PLAN NORTH

IRRIGATION PLAN SOUTH

IRRIGATION DETAILS & NOTES

CHECKLIST OF LANDSCAPE DOCUMENTATION PACKAGE

APPLICANT AND OWNER CONTACT INFORMATION

DIANA AVENUE INVESTORS, LLC

385 WOODVIEW AVENUE, SUITE 100

MORGAN HILL, CA 95037

JVROTSOS@DIVIDENDHOMES.COM

408.779.5900

SOIL MANAGEMENT REPORT

SEE SHEET L-2.2

LANDSCAPE DESIGN PLANS

SEE SHEETS L-1.0 THRU L-2.3

IRRIGATION SYSTEM DESIGN PLANS

SEE SHEETS L-3.0 THRU L-3.3

LANDSCAPE AUDIT REPORT

COMPLETED AFTER INSTALLATION

GRADING DESIGN PLAN OR SURVEY

SEE CIVIL SHEETS



© Michael Arnone Landscape Architect - 2024

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE, ISSUED FOR A ONE-TIME SINGLE USE BY THE OWNER. THE ENTIRE CONTENTS OF THESE DRAWINGS IS COPYRIGHT © MICHAEL ARNONE LANDSCAPE ARCHITECT. LANDSCAPE ARCHITECT RETAINS ALL RIGHTS AND TITLE. NO PART MAY BE REPRODUCED IN ANY FASHION OR MEDIUM WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT. THE PROPER ELECTRONIC TRANSFER OF DATA SHALL BE THE USER'S RESPONSIBILITY WITHOUT LIABILITY TO THE LANDSCAPE ARCHITECT.

OWNER SHALL ASSUME RESPONSIBILITY FOR COMPLIANCE WITH ALL EASEMENTS, SETBACK REQUIREMENTS AND PROPERTY LINES. OWNER SHALL ACQUIRE ALL NECESSARY PERMITS REQUIRED TO PERFORM WORK SHOWN ON PLANS. BASE INFORMATION HAS BEEN PROVIDED BY THE OWNER. MICHAEL ARNONE LANDSCAPE ARCHITECTURE ASSUMES NO LIABILITY FOR THE ACCURACY OF SAID PROPERTY LINE BOUNDARIES, FENCE LINES OR PROPERTY CORNERS.

REVISIONS

COVER SHEET

JOB NO. 202311

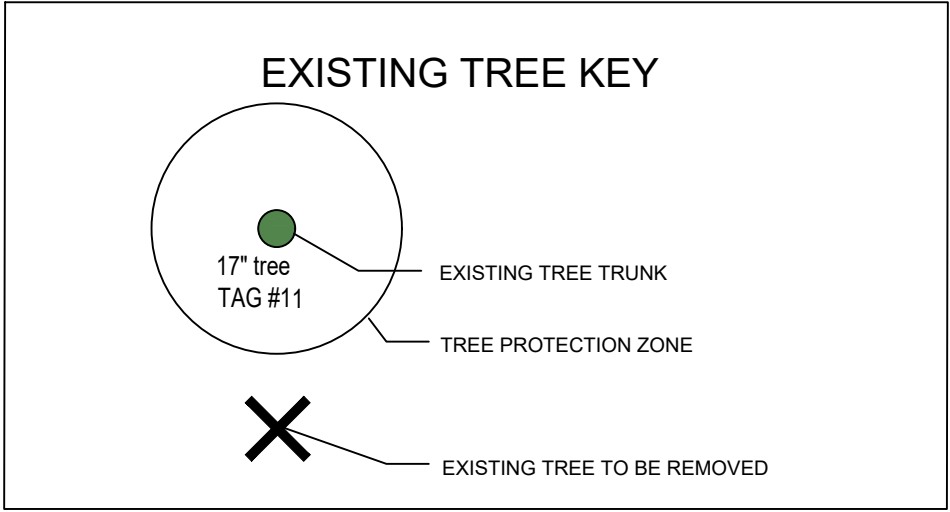
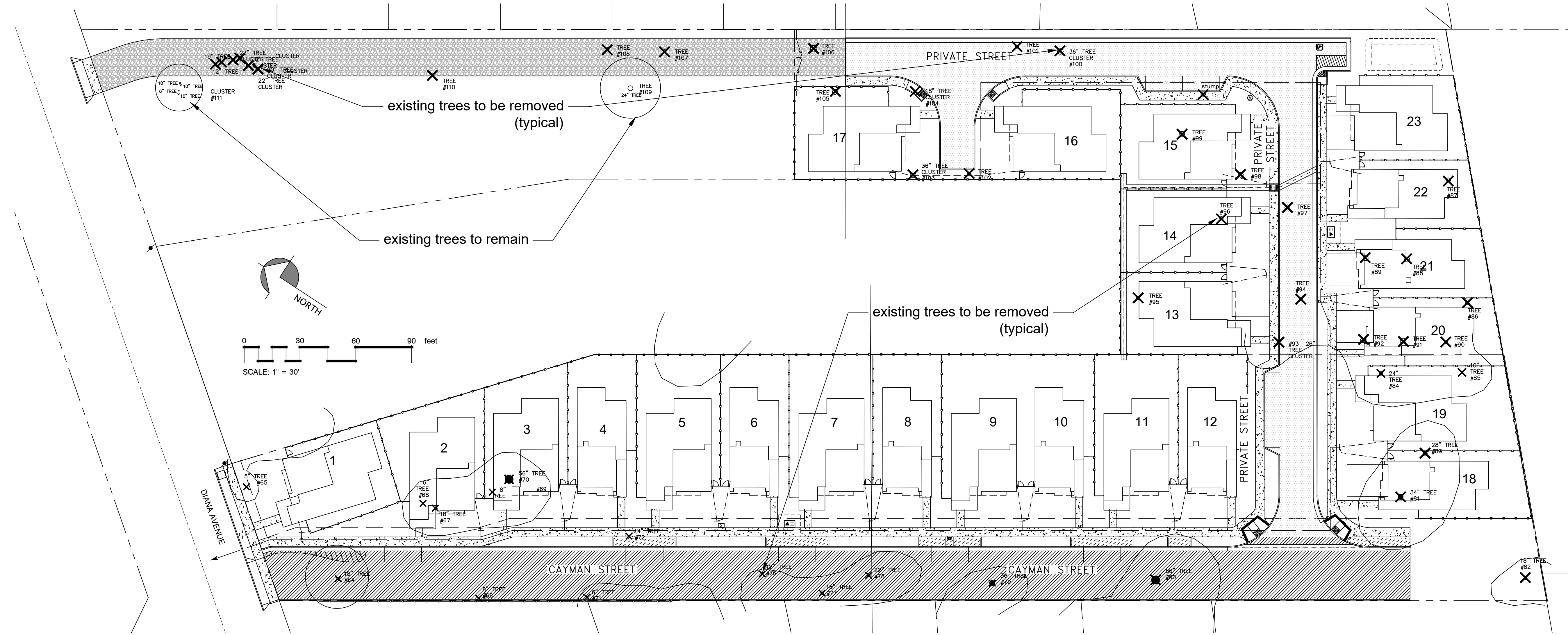
SCALE no scale

DRAWN MA

DATE 7.1.2024

SHEET CS





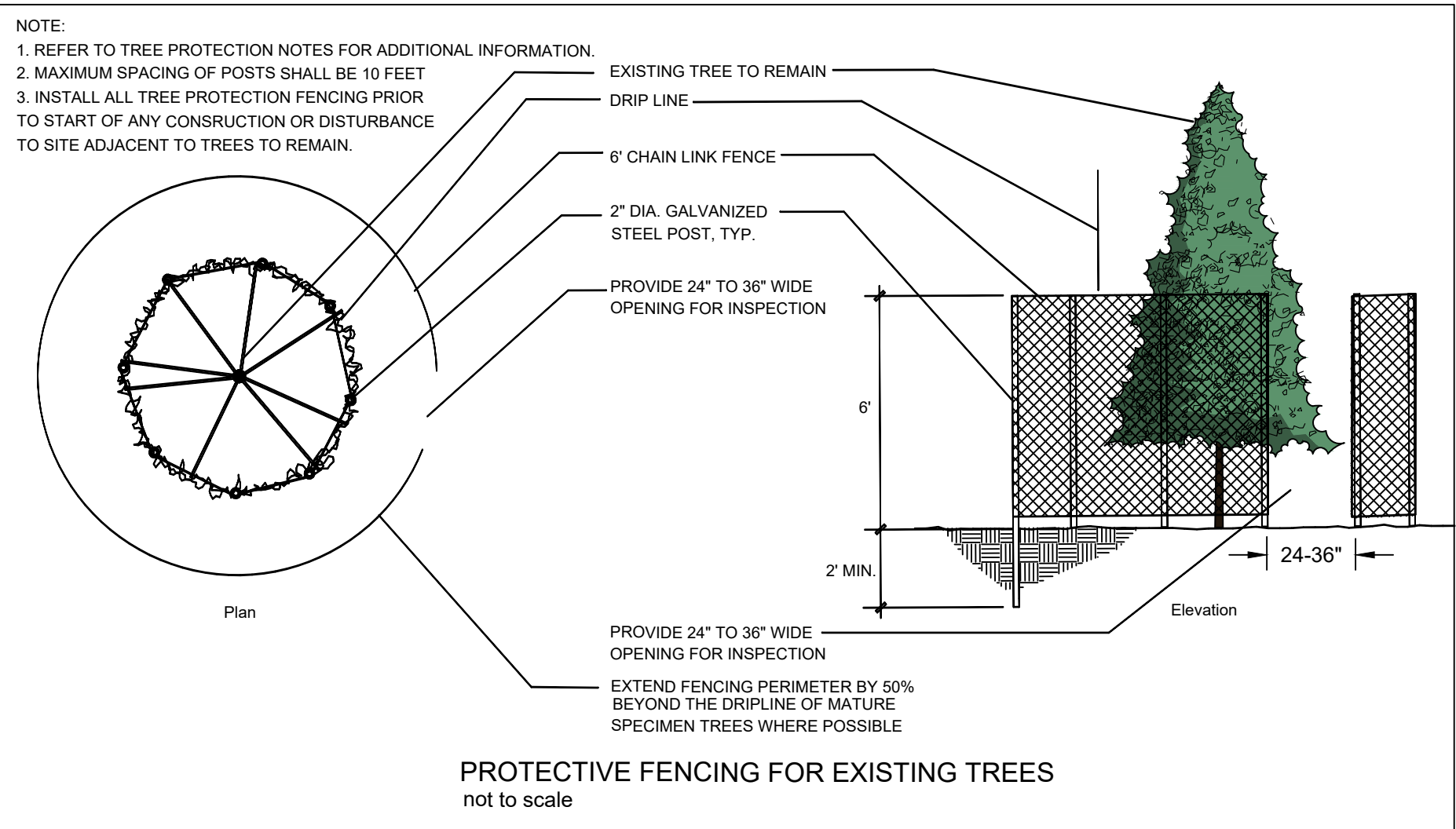
SEE SHEET T1.1 FOR ARBORIST TREE DATA

NOTE:

- Information provided on this plan is based on the tree report by project arborist Ray Morneau, 650.964.7664 or ray@rmarborist.com updated April 23, 2024.
- Contractor shall contact project arborist for direction on setting up tree protective fencing around existing trees to be preserved and protected.
- Per tree report by project arborist, the trunks are measured at 54" above soil height or as noted.

TREE REPLACEMENT TABLE	
TOTAL TREES SURVEYED	48
TREES TO BE REMOVED	47
EXISTING TREES TO REMAIN	2
NEW TREES TO BE PLANTED	95
TOTAL TREES FOR PROJECT AT COMPLETION	97

Note: All new trees will be from 24" box containers



CITY OF MORGAN HILL

PLAN APPROVED

THIS PLAN WAS APPROVED BY THE PLANNING DIVISION

ON 3/7/2025

SR2024-0004

FILE NUMBER

Roshni Saxena
Assistant Planner

PLANNING OFFICIAL



730 DIANA AVENUE
DIANA AVENUE INVESTORS LLC,
MONTEREY ROAD MORGAN HILL, CA

© Michael Arnone Landscape Architect - 2024

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE, ISSUED FOR A ONE-TIME SINGLE USE BY THE OWNER. THE ENTIRE CONTENTS OF THESE DRAWINGS IS COPYRIGHT © MICHAEL ARNONE LANDSCAPE ARCHITECT. LANDSCAPE ARCHITECT RETAINS ALL RIGHTS AND TITLE. NO PART MAY BE REPRODUCED IN ANY FASHION OR MEDIUM WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT. THE PROPER ELECTRONIC TRANSFER OF DATA SHALL BE THE USER'S RESPONSIBILITY WITHOUT LIABILITY TO THE LANDSCAPE ARCHITECT.

OWNER SHALL ASSUME RESPONSIBILITY FOR COMPLIANCE WITH ALL EASEMENTS, SETBACK REQUIREMENTS AND PROPERTY LINES. OWNER SHALL ACQUIRE ALL NECESSARY PERMITS REQUIRED TO PERFORM WORK SHOWN ON PLANS. BASE INFORMATION HAS BEEN PROVIDED BY THE OWNER. MICHAEL ARNONE LANDSCAPE ARCHITECTURE ASSUMES NO LIABILITY FOR THE ACCURACY OF SAID PROPERTY LINE BOUNDARIES, FENCE LINES OR PROPERTY CORNERS.

REVISIONS



EXISTING TREES LOCATION MAP

JOB NO. 202311

SCALE 1" = 30' - 0"

DRAWN MA SHEET

CHECK

DATE 7.1.2024 T-1.0

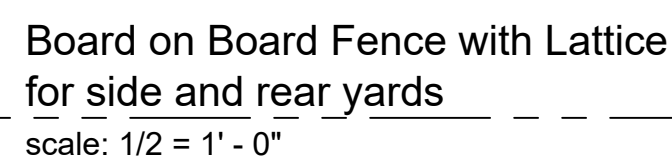
Ray Morneau, Arborist													(ISA Certified Arborist #WE-0132A) 650.964.7664												
TREE INVENTORY:730 Diana, Morgan Hill, California. ... a Dividend Homes project.													Data dates: October 18, 2023 AND April 03, 2024												
T #	Genus species /Name, Common	DSH (inches)	Circumf. (inches)	Protected ???	Av Crown Radius	Height	Vigor	Form	Overall Condition	Species' Tolerance	Age / Longevity	Keep?	Comments												
Tags #64 through #85 identify the 22 trees on this 730 Diana site on 10/18/2023.																									
Tags #86 through #110 (111) identify the 24 trees on this 750 Diana site 4/3/2024.																									
64	Juglans nigra / Walnut, Black	24.8"	77.9"	Yes, by size	15'	35'	40%	20%	30% Poor	Poor	Over-mature	Rem.	42" BOC (Back of Curb); 12' to side Property line fence. Was severely pruned (stubbed) at ~5'; only one ~15" trunk remains, declining with substantial deadwood.												
65	Ligustrum lucidum / Privet, Glossy	4.5" @ 0"	14.1" @0"	No	8'	15'	45%	30%	37% Poor	Poor	Mature	Rem.	12' BOC, four 3" trunks from ground level with weak attachments (narrow-angle crotches from base).												
66	Quercus agrifolia / Oak, Coast Live	6.5"	20.4"	Yes, native	8'	19'	66%	70%	68% Fair	Mod.	Semi-mature	Rem.	Root flare embedded in side woven wire fence.												
67	Morus alba / Mulberry	16.7"	52.50	Yes, by size	20'	25'	70%	10%	40% Poor	Good	Mature	Rem.	Stubbed at 8' and top regrown with poor structure (as locally common for these).												
68	Fraxinus species / Ash	6.4"	20.1"	No	5'	16'	5%	5%	05% V.Pr.	Poor	Semi-mature	Rem.	Too poor ... nearly dead.												
69	Pinus pinea / Pine, Italian Stone	8.1"	25.4"	No	6'	17'	40%	10%	30% Poor	Poor	Mature	Rem.	Crooked trunk under adjacent #70's foliage crown.												
70	Pinus pinea / Pine, Italian Stone	42.8" @ 6"	132.4" @6"	Yes, by size	22'	55'	60%	10%	40% Poor	Poor	Mature	Rem.	Multi-trunked at 3' with weak attachments (narrow-angle crotches).												
71	Pinus pinea / Pine, Italian Stone	5.8"	18.2"	No	8'	12'	40%	10%	25% V.Pr.	Poor	Semi-mature	Rem.	Adjacent to side property line fence; trunk leans 45° away from fence.												
72	Prunus dulcis / Almond	16.1"	50.6"	Yes, by size	7'	17'	30%	20%	25% V.Pr.	Good	Over-mature	Rem.	Major deadwood!!!												
73	Quercus agrifolia / Oak, Coast Live	4.0"	12.6"	Yes, native	8'	14'	60%	60%	60% Fair	Mod.	Semi-mature	Rem.	Trunk in woven wire fence at property line.												
74	Quercus agrifolia / Oak, Coast Live	8.0", 6.0"	37.7" @0"	Yes, native	18'	21'	65%	75%	70% Good Mod.	Mod.	Semi-mature	Rem.	Two trunks on 12" base; 4' to property line fence.												
75	Quercus agrifolia / Oak, Coast Live	12.8" @ 1'	40.2" @1'	Yes, native	18'	23'	60%	65%	63% Fair	Mod.	Mature	Rem.	at fence; 8" and 10" trunks from 1' with embedded bark (v-crotch).												
76	Quercus ilex / Oak, Holly	6.5" @ 6"	20.4" @6"	Yes, native	5'	8'	25%	20%	20% V.Pr.	Poor	Semi-mature	Rem.	Two 4" trunks from ground level.												
Diana 730 temp 411.xlsx													Page 1												

Ray Morneau, Arborist													(ISA Certified Arborist #WE-0132A) 650.964.7664												
TREE INVENTORY:730 Diana, Morgan Hill, California. ... a Dividend Homes project.													Data dates: October 18, 2023 AND April 03, 2024												
T #	Genus species /Name, Common	DSH (inches)	Circumf. (inches)	Protected ???	Av Crown Radius	Height	Vigor	Form	Overall Condition	Species' Tolerance	Age / Longevity	Keep?	Comments												
77	Olea europaea / Olive	8.5" @ 0"	26.7" @0"	No	8'	13'	30%	20%	25% V.Pr.	Good	Semi-mature	Rem.	Multi-stemmed from ground level (five 3" stems).												
78	Juglans nigra / Walnut, Black	19.4"	60.9"	Yes, by size	25'	27'	20%	20%	20% V.Pr.	Poor	Over-mature	Rem.	12' to property line fence; declining; poor structure.												
79	Juglans nigra / Walnut, Black	16.0", 9.7"	113.0" @0"	Yes, by size	20'	22'	50%	30%	40% Poor	Poor	Over-mature	Rem.	11' to property line fence on 36" base.												
80	Juglans nigra / Walnut, Black	~40" @ 0"	113.0" @0"	Yes, by size	30'	45'	45%	40%	42% Poor	Poor	Over-mature	Rem.	10' to property line fence on 36" base; two ~22" trunks at ground level.												
81	Juglans nigra / Walnut, Black	34.0" @ 3'	106.8" @3'	Yes, by size	28'	40'	35%	20%	27% Poor	Poor	Over-mature	Rem.	Declining with multi-stems at 6'.												
82	Juglans nigra / Walnut, Black	15.8"	49.6"	Yes, by size	16'	31'	40%	40%	40% Poor	Poor	Over-mature	Rem.	Declining.												
83	Juglans nigra / Walnut, Black	29.9" @ 2'	93.9" @2'	Yes, by size	38'	45'	50%	25%	35% Poor	Poor	Over-mature	Rem.	6", 10", and 11" trunks from 2'.												
84	Juglans nigra / Walnut, Black	48.9" @ 3'	153.6" @3'	Yes, by size	33'	40'	50%	40%	35% Poor	Poor	Over-mature	Rem.	Multi-trunked at 5'.												
85	Juglans nigra / Walnut, Black	9.3"	29.2"	No	29'	12'	40%	55%	37% Poor	Poor	Over-mature	Rem.	Decaying at ground level where second trunk was removed.												
86	Juglans nigra / Walnut, Black	19.1"	60.0"	Yes, by size	20'	33'	50%	20%	33% Poor	Poor	Over-mature	Rem.	14' to back fence; 34' to side property line fence with 730. Extensive decay, dieback, & breakage.												
87	Juglans nigra / Walnut, Black	22.5"	70.7"	Yes, by size	20'	32'	30%	23%	35% Poor	Poor	Over-mature	Rem.	Extensive dieback and breakage; root flare decay.												
88	Juglans nigra / Walnut, Black	14.0" @ 38"	44.0" @ 38"	Yes, by size	18'	33'	40%	40%	40% Poor	Poor	Over-mature	Rem.	Declining with decay; drought.												
89	Juglans nigra / Walnut, Black	27.5" @ 1'	86.4" @ 1'	Yes, by size	27'	33'	25%	30%	27% Poor	Poor	Over-mature	Rem.	Extensive dieback and decay for 12", 10", 10" stems.												
90	Juglans nigra / Walnut, Black	32.0" @ 1'	100.5" @ 1'	Yes, by size	28'	32'	50%	40%	45% Poor	Poor	Over-mature	Rem.	Dieback and decay for 12", 12", 10", 6" stems (4 from ground level).												
91	Juglans nigra / Walnut, Black	28.0" @ 0"	87.9" @ 0"	Yes, by size	15'	25'	1%	3%	02% DEAD Poor	Poor	Over-mature	Rem.	Extensive central decay (18", 7", 6", 6", 6") ... virtually DEAD!												
92	Juglans nigra / Walnut, Black	28.0" @ 0"	87.9" @ 0"	Yes, by size	20'	20'	0%	0%	00% DEAD Poor	Poor	Over-mature	Rem.	DEAD!												
Diana 730 temp 411.xlsx													Page 2												

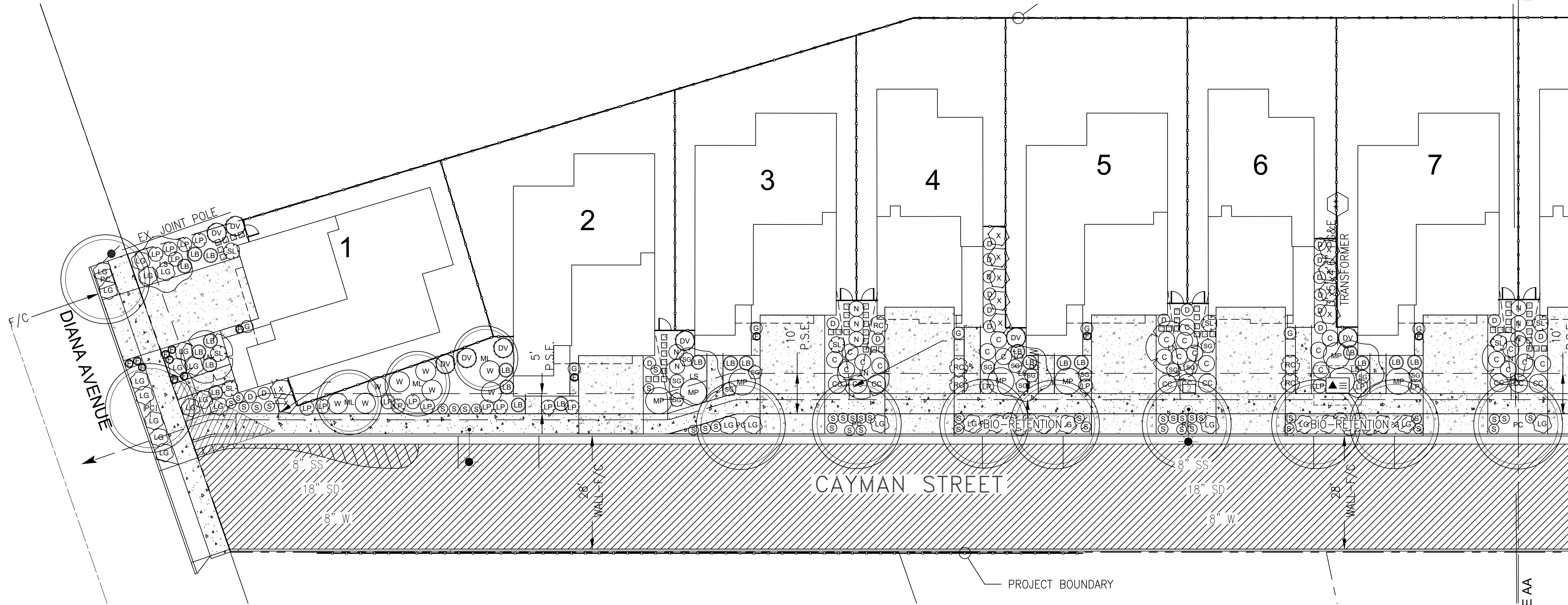
Ray Morneau, Arborist													(ISA Certified Arborist #WE-0132A) 650.964.7664												
TREE INVENTORY:730 Diana, Morgan Hill, California. ... a Dividend Homes project.													Data dates: October 18, 2023 AND April 03, 2024												
T #	Genus species /Name, Common	DSH (inches)	Circumf. (inches)	Protected ???	Av Crown Radius	Height	Vigor	Form	Overall Condition	Species' Tolerance	Age / Longevity	Keep?	Comments												
93	Juglans nigra / Walnut, Black	30.0" @ 0"	94.2" @ 0"	Yes, by size	16'	18'	30%	30%	30% Poor	Poor	Over-mature	Rem.	9", 9", 8", 7" trunks with central decay cavity -- but budding out!												
94	Juglans nigra / Walnut, Black	21.5" @ 3'	67.5" @ 3'	Yes, by size	15'	22'	5%	10%	07% V.Pr.	Poor	Over-mature	Rem.	21", 4", 3" trunks. Extensive decay and breakage.												
95	Juglans nigra / Walnut, Black	20.2" @ 1'	263.4" @ 1'	Yes, by size	17'	15'	45%	10%	25% V.Pr.	Poor	Over-mature	Rem.	Extensive dieback and decay for 8", 6", 3" stems.												
96	Juglans nigra / Walnut, Black	19.5" @ 3'	61.2" @ 3'	Yes, by size	22'	38'	58%	40%	48% Poor	Poor	Over-mature	Rem.	Root flare cavity (decay).												
97	Juglans nigra / Walnut, Black	30.3" @ 30"	95.1" @ 30"	Yes, by size	28'	34'	50%	38%	44% Poor	Poor	Over-mature	Rem.	12", 11", 10' stems from 3'.												
98	Juglans nigra / Walnut, Black	29.7" @ 30"	93.3" @ 30"	Yes, by size	33'	40'	52%	20%	24% V.Pr.	Poor	Over-mature	Rem.	Prominent root flare; thin foliage crown.												
99	Juglans nigra / Walnut, Black	28.9" @ 3'	90.7" @ 3'	Yes, by size	28'	30'	50%	30%	40% Poor	Poor	Over-mature	Rem.	17", 19" stems at 3'; foliage branch endweights with dieback and decay.												
100	Juglans nigra / Walnut, Black	36.4" @ 1'	114.3" @ 1'	Yes, by size	18'	28'	23%	30%	26% V.Pr.	Poor	Over-mature	Rem.	Extensive dieback and decay.												
101	Juglans nigra / Walnut, Black	7.2" @ 1'	22.6" @ 1'	No	10'	12'	29%	15%	22% V.Pr.	Poor	Over-mature	Rem.	Root flare decay; 4" and 6" stem at 1'.												
102	Juglans nigra / Walnut, Black	13.7" @ 1'	43.0" @ 1'	Yes, by size	4'	15'	3%	5%	04% V.Pr.	Poor	Over-mature	Rem.	4" and 2" (dead) stems with decay.												
103	Juglans nigra / Walnut, Black	41.5" @ 0"	130.3" @ 0"	Yes, by size	18'	30'	38%	30%	33% Poor	Poor	Over-mature	Rem.	Severely declining, extensive decay.												
104	Juglans nigra / Walnut, Black	11.0" @ 0"	34.5" @ 0"	No	8'	22'	0%	0%	00% DEAD	Poor	Over-mature	Rem.	Four dead stems from ground level all with loose-dead bark.												
105	Juglans nigra / Walnut, Black	29.0" @ 3'	91.1" @ 3'	Yes, by size	8"	40'	0%	0%	00% DEAD	Poor	Over-mature	Rem.	20", 14" at 9"; so stunted that this really is DEAD.												
106	Juglans nigra / Walnut, Black	34.3" @ 6"	107.7" @ 6"	Yes, by size	38'	40'	30%	30%	30% Poor	Poor	Over-mature	Rem.	Severely declining, extensive decay.												
107	Juglans nigra / Walnut, Black	10.2" @ 3'	32.0" @ 3'	No	12'	20'	0%	0%	00% DEAD	Poor	Over-mature	Rem.	8' to side fence.												
108	Juglans nigra / Walnut, Black	13.3" @ 3'	41.8" @ 3'	Yes, by size	20'	25'	28%	30%	29% V.Pr.	Poor	Over-mature	Rem.	10' to side fence; 10" & 6" stems from 4'.												

PLANNING OFFICIAL

All Aluminum Construction



DATE 7.1.2024 **L-1.0**



PLANT SCHEDULE

CODE	BOTANICAL / COMMON NAME	CONT	QTY	WATER USE
TREES				
LN	Lagerstroemia indica x fauriei 'Natchez' / Natchez Crape Myrtle	24" box	11	Low
LS	Laurus x 'Saratoga' / Saratoga Hybrid Laurel	24" box	14	Low
ML	Melaleuca linariifolia / Flaxleaf Paperbark	24" box	39	Low
PC	Pistacia chinensis / Chinese Pistache	24" box	20	Low
QA	Quercus agrifolia / Coast Live Oak	24" box	11	Very low - Low

SHRUBS

AR	Arctostaphylos hookeri 'Monterey Carpet' / Monterey Carpet Hooker's Manzanita	5 gal	34	Low
CC	Ceanothus x 'Centennial' / Centennial Wild Lilac	5 gal	84	Low
C	Cistus x hybridus / White Rockrose	1 gal	60	Low
D	Dietes bicolor / Fortnight Lily	1 gal	77	Low
DV	Dodonaea viscosa 'Green' / Green Hopseed Bush	5 gal	27	Low
LG	Lantana x 'New Gold' / New Gold Lantana	1 gal	72	Low
LP	Lavandula x intermedia 'Provence' / Provence Lavandin	5 gal	70	Low
MP	Myoporum parvifolium 'Putah Creek' / Putah Creek Myoporum	1 gal	18	Low
N	Nandina domestica / Heavenly Bamboo	5 gal	50	Low
RC	Rhaphiolepis indica 'Clara' / Clara Indian Hawthorn	5 gal	52	Low
SG	Salvia greggii / Autumn Sage	5 gal	29	Low
SL	Salvia leucantha 'Purple Velvet' / Purple Velvet Mexican Bush Sage	5 gal	32	Low
S	Sisyrinchium bellum / Blue-eyed Grass	1 gal	85	Low
W	Westringia fruticosa / Coast Rosemary	5 gal	58	Low
X	Xylosma congestum / Shiny Xylosma	5 gal	43	Low

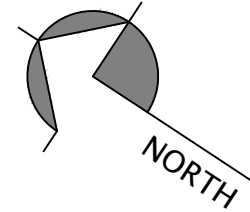
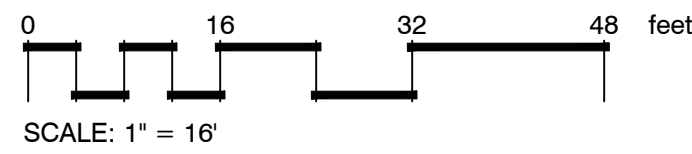
GRASSES

F	Festuca mairei / Atlas Fescue	1 gal	53	Low
LB	Lomandra x 'Platinum Beauty' / Variegated Mat Rush	1 gal	33	
M	Muhlenbergia rigens / Deer Grass	1 gal	22	Low

VINES

G	Gelsemium sempervirens / Carolina Jessamine	5 gal	24	Low
---	---	-------	----	-----

CODE	BOTANICAL / COMMON NAME	CONT	SPACING	QTY	WATER USE
GROUND COVERS					
CD	Carex divulsa / Berkeley Sedge	1 GAL	30" o.c.	64	Low



"I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plan"

Michael A. Arnone

7.1.2024



730 DIANA AVENUE
DIANA AVENUE INVESTORS LLC,
MONTEREY ROAD MORGAN HILL, CA

© Michael Arnone Landscape Architect - 2024

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE, ISSUED FOR A ONE-TIME SINGLE USE BY THE OWNER. THE ENTIRE CONTENTS OF THESE DRAWINGS IS COPYRIGHT © MICHAEL ARNONE LANDSCAPE ARCHITECT. LANDSCAPE ARCHITECT RETAINS ALL RIGHTS AND TITLE. NO PART MAY BE REPRODUCED IN ANY FASHION OR MEDIUM WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT. THE PROPER ELECTRONIC TRANSFER OF DATA SHALL BE THE USER'S RESPONSIBILITY WITHOUT LIABILITY TO THE LANDSCAPE ARCHITECT.

OWNER SHALL ASSUME RESPONSIBILITY FOR COMPLIANCE WITH ALL EASEMENTS, SETBACK REQUIREMENTS AND PROPERTY LINES. OWNER SHALL ACQUIRE ALL NECESSARY PERMITS REQUIRED TO PERFORM WORK SHOWN ON PLANS. BASE INFORMATION HAS BEEN PROVIDED BY THE OWNER. MICHAEL ARNONE LANDSCAPE ARCHITECTURE ASSUMES NO LIABILITY FOR THE ACCURACY OF SAID PROPERTY LINE BOUNDARIES, FENCE LINES OR PROPERTY CORNERS.

REVISIONS



PLANTING PLAN
WEST

JOB NO. 202311

SCALE 1/16" = 1' - 0"

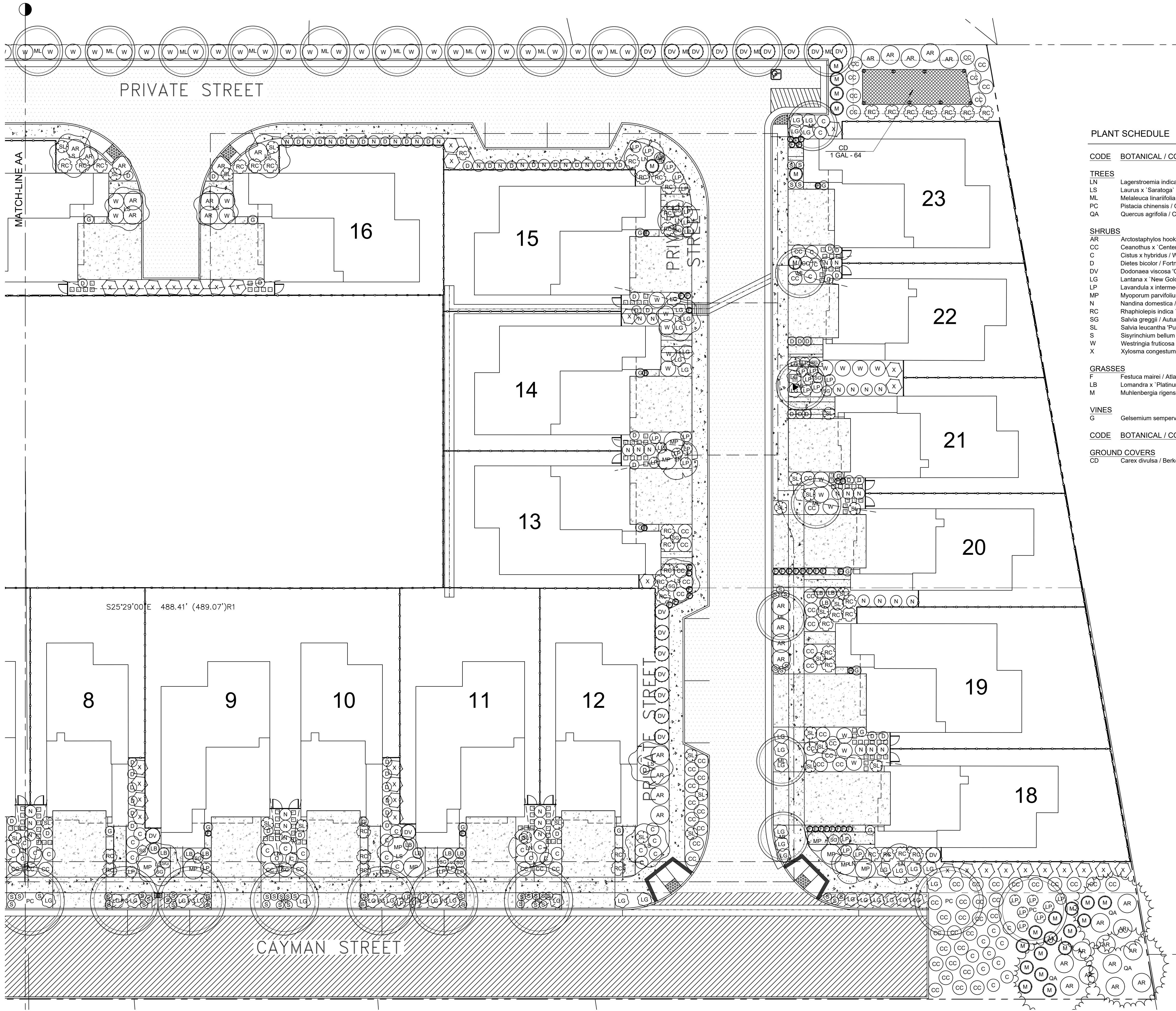
DRAWN MA

CHECK

DATE 7.1.2024

SHEET

L-2.0



PLANT SCHEDULE

CODE	BOTANICAL / COMMON NAME	CONT	QTY	WATER USE	
TREES					
LN	Lagerstroemia indica x fauriei 'Natchez' / Natchez Crape Myrtle	24" box	11	Low	
LS	Laurus x 'Saratoga' / Saratoga Hybrid Laurel	24" box	14	Low	
ML	Melaleuca linariifolia / Flaxleaf Paperbark	24" box	39	Low	
PC	Pistacia chinensis / Chinese Pistache	24" box	20	Low	
QA	Quercus agrifolia / Coast Live Oak	24" box	11	Very low - Low	
SHRUBS					
AR	Arctostaphylos hookeri 'Monterey Carpet' / Monterey Carpet Hooker's Manzanita	5 gal	34	Low	
CC	Ceanothus x 'Centennial' / Centennial Wild Lilac	5 gal	84	Low	
C	Cistus x hybridus / White Rockrose	1 gal	60	Low	
D	Dietes bicolor / Fortnight Lily	1 gal	77	Low	
DV	Dodonaea viscosa 'Green' / Green Hopseed Bush	5 gal	27	Low	
LG	Lantana x 'New Gold' / New Gold Lantana	1 gal	72	Low	
LP	Lavandula x intermedia 'Provence' / Provence Lavender	5 gal	70	Low	
MP	Myoporum parvifolium 'Putah Creek' / Putah Creek Myoporum	1 gal	18	Low	
N	Nandina domestica / Heavenly Bamboo	5 gal	50	Low	
RC	Rhaphiolepis indica 'Clara' / Clara Indian Hawthorn	5 gal	52	Low	
SG	Salvia greggii / Autumn Sage	5 gal	29	Low	
SL	Salvia leucantha 'Purple Velvet' / Purple Velvet Mexican Bush Sage	5 gal	32	Low	
S	Sisyrinchium bellum / Blue-eyed Grass	1 gal	85	Low	
W	Westringia fruticosa / Coast Rosemary	5 gal	58	Low	
X	Xylosma congestum / Shiny Xylosma	5 gal	43	Low	
GRASSES					
F	Festuca mairei / Atlas Fescue	1 gal	53	Low	
LB	Lomandra x 'Platinum Beauty' / Variegated Mat Rush	1 gal	33		
M	Muhlenbergia rigens / Deer Grass	1 gal	22	Low	
VINES					
G	Gelsemium sempervirens / Carolina Jessamine	5 gal	24	Low	
CODE	BOTANICAL / COMMON NAME	CONT	SPACING	QTY	WATER USE
GROUND COVERS					
CD	Carex divulsa / Berkeley Sedge	1 GAL	30" o.c.	64	Low

2024-07-01 11:50



730 DIANA AVENUE
DIANA AVENUE INVESTORS LLC,
MONTEREY ROAD MORGAN HILL, CA

© Michael Arnone Landscape Architect - 2024

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE, ISSUED FOR A ONE-TIME SINGLE USE BY THE OWNER. THE ENTIRE CONTENTS OF THESE DRAWINGS IS COPYRIGHT © MICHAEL ARNONE LANDSCAPE ARCHITECT. LANDSCAPE ARCHITECT RETAINS ALL RIGHTS AND TITLE. NO PART MAY BE REPRODUCED IN ANY FASHION OR MEDIUM WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT. THE PROPER ELECTRONIC TRANSFER OF DATA SHALL BE THE USER'S RESPONSIBILITY WITHOUT LIABILITY TO THE LANDSCAPE ARCHITECT.

OWNER SHALL ASSUME RESPONSIBILITY FOR COMPLIANCE WITH ALL EASEMENTS, SETBACK REQUIREMENTS AND PROPERTY LINES. OWNER SHALL ACQUIRE ALL NECESSARY PERMITS REQUIRED TO PERFORM WORK SHOWN ON PLANS. BASE INFORMATION HAS BEEN PROVIDED BY THE OWNER. MICHAEL ARNONE LANDSCAPE ARCHITECTURE ASSUMES NO LIABILITY FOR THE ACCURACY OF SAID PROPERTY LINE BOUNDARIES, FENCE LINES OR PROPERTY CORNERS.

REVISIONS



CITY OF MORGAN HILL
PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 3/7/2025

SR2024-0004

FILE NUMBER
Roshni Saxena
Assistant Planner

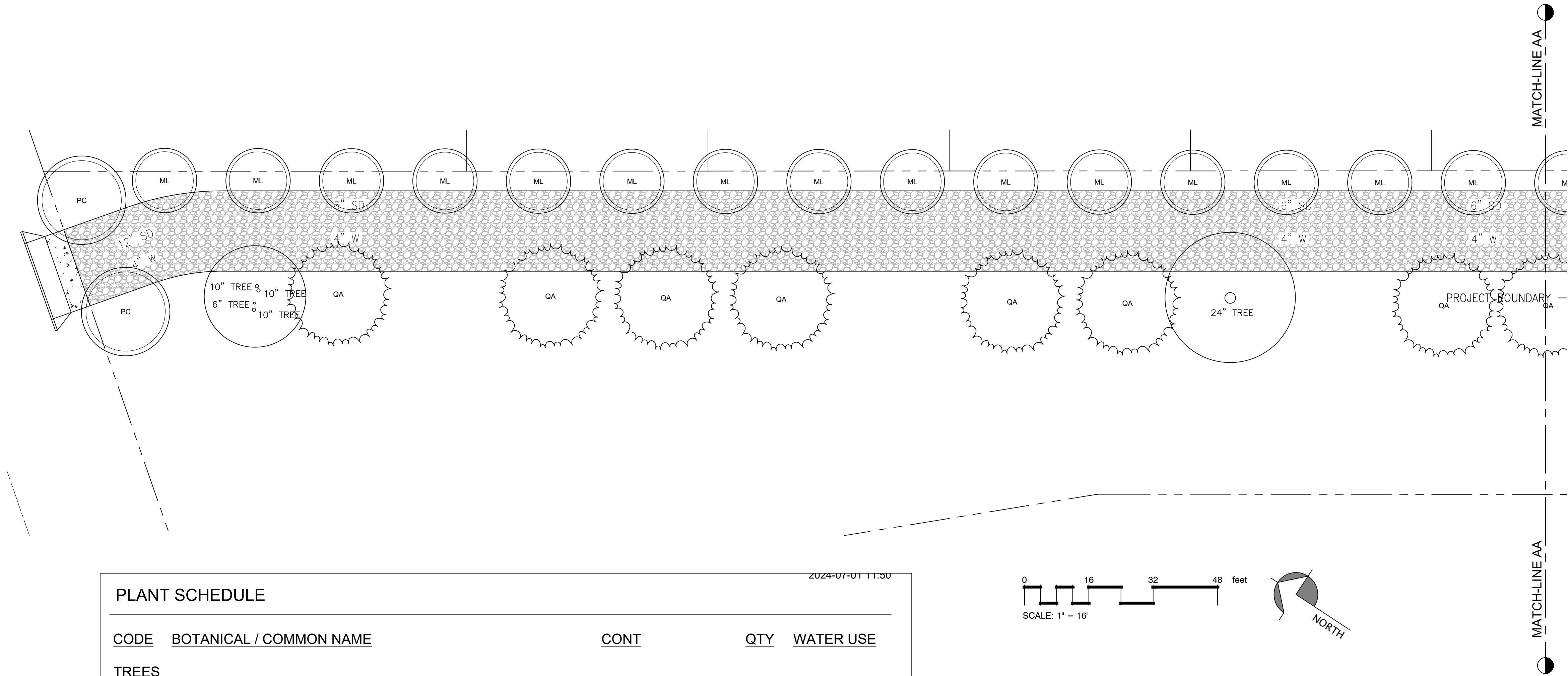
PLANNING OFFICIAL

PLANTING PLAN
SOUTH

JOB NO. 202311
SCALE 1/16" = 1' - 0"
DRAWN MA SHEET
CHECK
DATE 7.1.2024 L-2.1

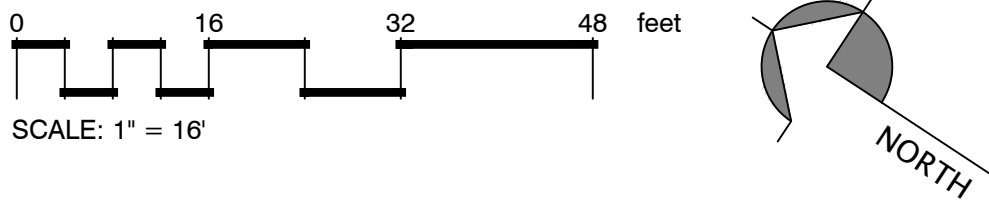
"I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plan"

Michael A. Arnone date 7.1.2024



2024-07-01 11:50

PLANT SCHEDULE					
CODE	BOTANICAL / COMMON NAME	CONT	QTY	WATER USE	
TREES					
LN	Lagerstroemia indica x fauriei 'Natchez' / Natchez Crape Myrtle	24" box	11	Low	
LS	Laurus x `Saratoga` / Saratoga Hybrid Laurel	24" box	14	Low	
ML	Melaleuca linariifolia / Flaxleaf Paperbark	24" box	39	Low	
PC	Pistacia chinensis / Chinese Pistache	24" box	20	Low	
QA	Quercus agrifolia / Coast Live Oak	24" box	11	Very low - Low	
SHRUBS					
AR	Arctostaphylos hookeri 'Monterey Carpet' / Monterey Carpet Hooker's Manzanita	5 gal	34	Low	
CC	Ceanothus x `Centennial` / Centennial Wild Lilac	5 gal	84	Low	
C	Cistus x hybridus / White Rockrose	1 gal	60	Low	
D	Dietes bicolor / Fortnight Lily	1 gal	77	Low	
DV	Dodonaea viscosa 'Green' / Green Hopseed Bush	5 gal	27	Low	
LG	Lantana x `New Gold` / New Gold Lantana	1 gal	72	Low	
LP	Lavandula x intermedia `Provence` / Provence Lavandin	5 gal	70	Low	
MP	Myoporum parvifolium `Putah Creek` / Putah Creek Myoporum	1 gal	18	Low	
N	Nandina domestica / Heavenly Bamboo	5 gal	50	Low	
RC	Rhaphiolepis indica `Clara` / Clara Indian Hawthorn	5 gal	52	Low	
SG	Salvia greggii / Autumn Sage	5 gal	29	Low	
SL	Salvia leucantha 'Purple Velvet' / Purple Velvet Mexican Bush Sage	5 gal	32	Low	
S	Sisyrinchium bellum / Blue-eyed Grass	1 gal	85	Low	
W	Westringia fruticosa / Coast Rosemary	5 gal	58	Low	
X	Xylosma congestum / Shiny Xylosma	5 gal	43	Low	
GRASSES					
F	Festuca mairei / Atlas Fescue	1 gal	53	Low	
LB	Lomandra x `Platinum Beauty` / Variegated Mat Rush	1 gal	33	Low	
M	Muhlenbergia rigens / Deer Grass	1 gal	22	Low	
VINES					
G	Gelsemium sempervirens / Carolina Jessamine	5 gal	24	Low	
CODE	BOTANICAL / COMMON NAME	CONT	SPACING	QTY	WATER USE
GROUND COVERS					
CD	Carex divulsa / Berkeley Sedge	1 GAL	30" o.c.	64	Low



730 DIANA AVENUE
DIANA AVENUE INVESTORS LLC,
MONTEREY ROAD MORGAN HILL, CA

© Michael Arnone Landscape Architect - 2024

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE, ISSUED FOR A ONE-TIME SINGLE USE BY THE OWNER. THE ENTIRE CONTENTS OF THESE DRAWINGS IS COPYRIGHT © MICHAEL ARNONE LANDSCAPE ARCHITECT. LANDSCAPE ARCHITECT RETAINS ALL RIGHTS AND TITLE. NO PART MAY BE REPRODUCED IN ANY FASHION OR MEDIUM WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT. THE PROPER ELECTRONIC TRANSFER OF DATA SHALL BE THE USER'S RESPONSIBILITY WITHOUT LIABILITY TO THE LANDSCAPE ARCHITECT.

OWNER SHALL ASSUME RESPONSIBILITY FOR COMPLIANCE WITH ALL EASEMENTS, SETBACK REQUIREMENTS AND PROPERTY LINES. OWNER SHALL ACQUIRE ALL NECESSARY PERMITS REQUIRED TO PERFORM WORK SHOWN ON PLANS. BASE INFORMATION HAS BEEN PROVIDED BY THE OWNER. MICHAEL ARNONE LANDSCAPE ARCHITECTURE ASSUMES NO LIABILITY FOR THE ACCURACY OF SAID PROPERTY LINE BOUNDARIES, FENCE LINES OR PROPERTY CORNERS.

REVISIONS



PLANTING PLAN
EAST

JOB NO. 202311

SCALE 1/16" = 1' - 0"

DRAWN MA SHEET

CHECK

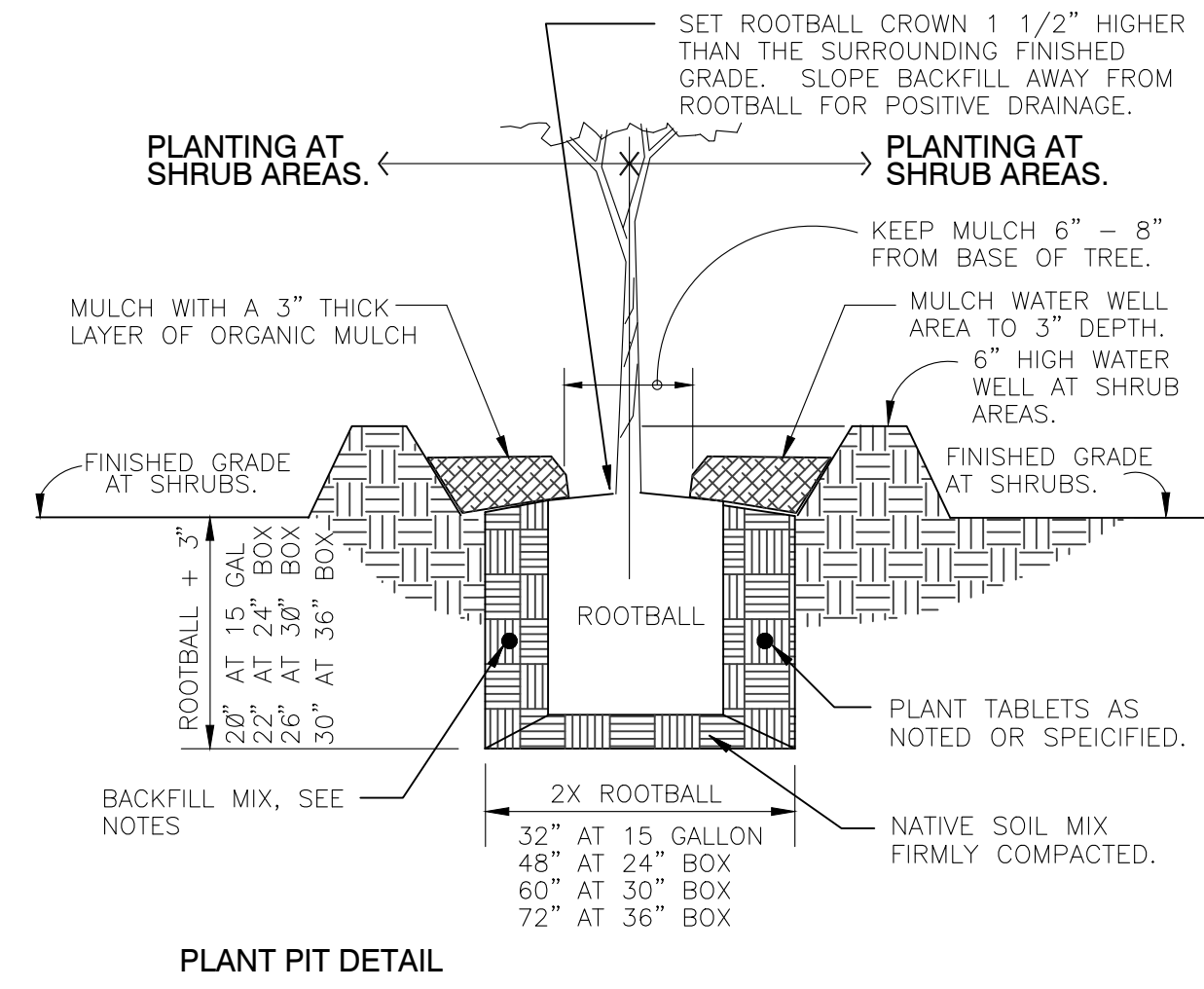
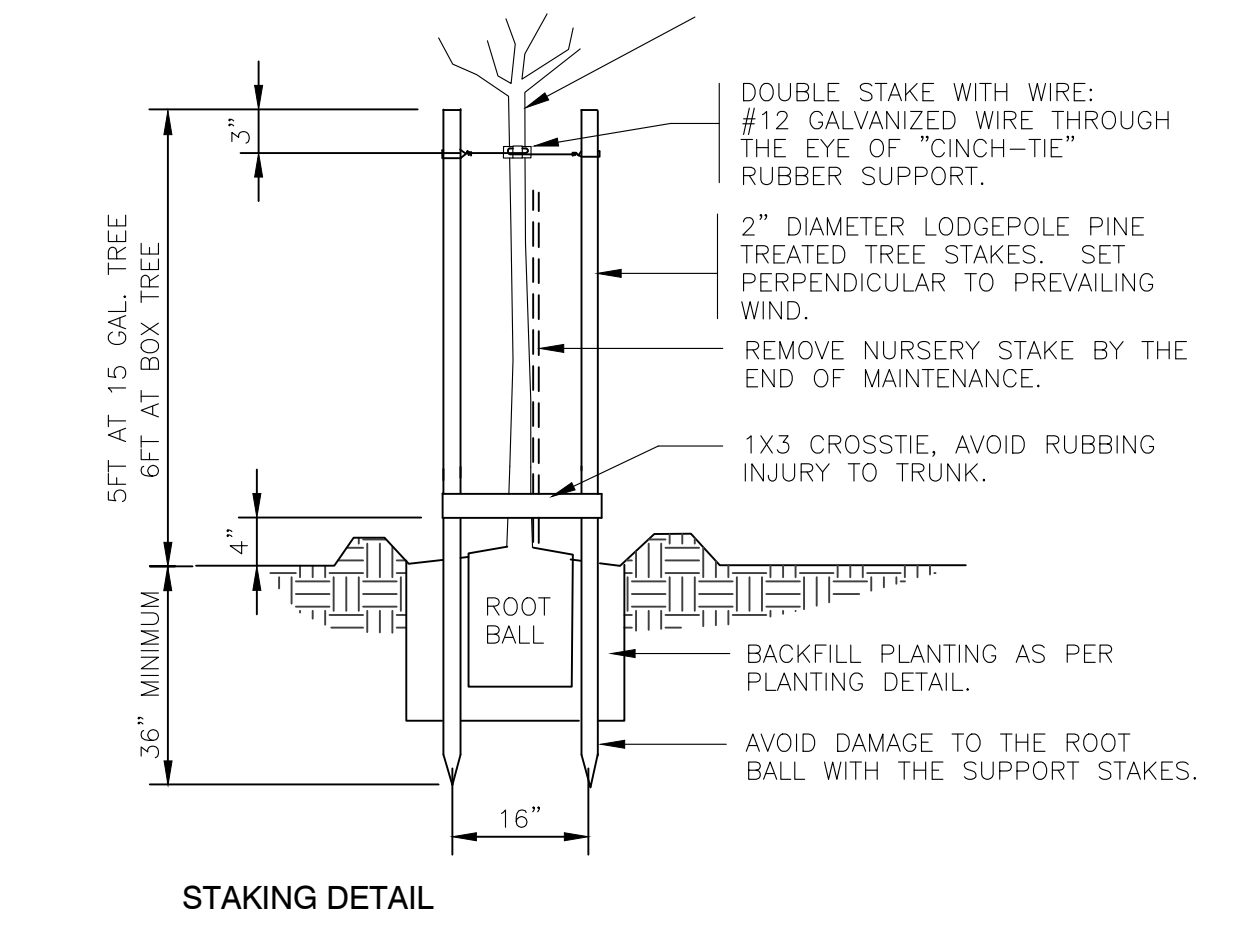
DATE 7.1.2024

L-2.2

"I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plan"

Michael A. Arnone

date 7.1.2024



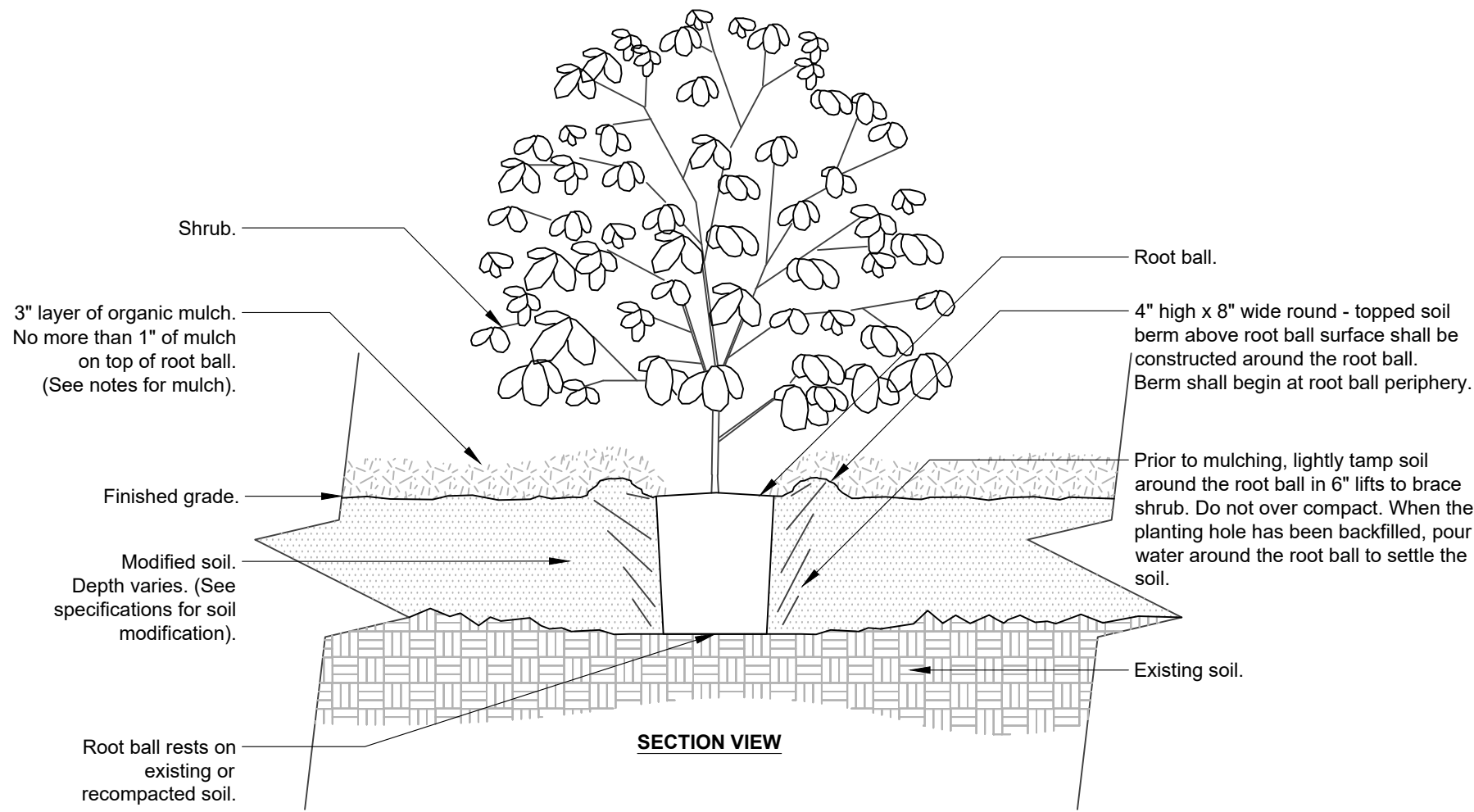
1 TREE PLANTING DOUBLE STAKE

1" = 1'-0" FX-PL-FX-TREE-10

PLANTING NOTES

- All existing trees, shrubs and ground covers to remain shall be protected. Any damage caused by Contractor's work shall be repaired or replaced at the Contractor's expense and be approved by the Landscape Architect.
- For landscape installations, compost at a rate of a minimum of four cubic yards per one thousand square feet of permeable area shall be incorporated to a depth of six inches into the soil. Soils with greater than six percent organic matter in the top six inches of soil are exempt from adding compost and tilling.
- Contractor shall review the preliminary soils report below. Pre-planting should consist of adding the following fertilizer materials per 1000 sq ft of bed area:
Gypsum 30.0 lbs
Magnesium Sulfate (10% Mg) (Epsom Salt) 20.0 lbs.
Soil Sulfur (90% S) 15.0 lbs

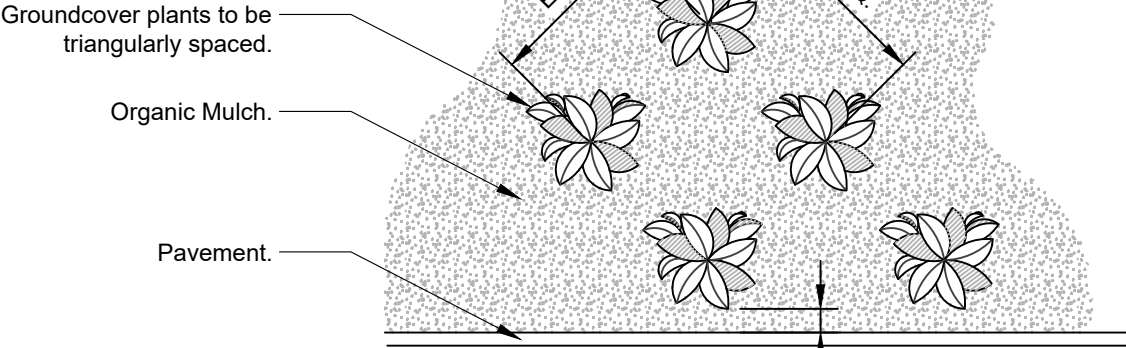
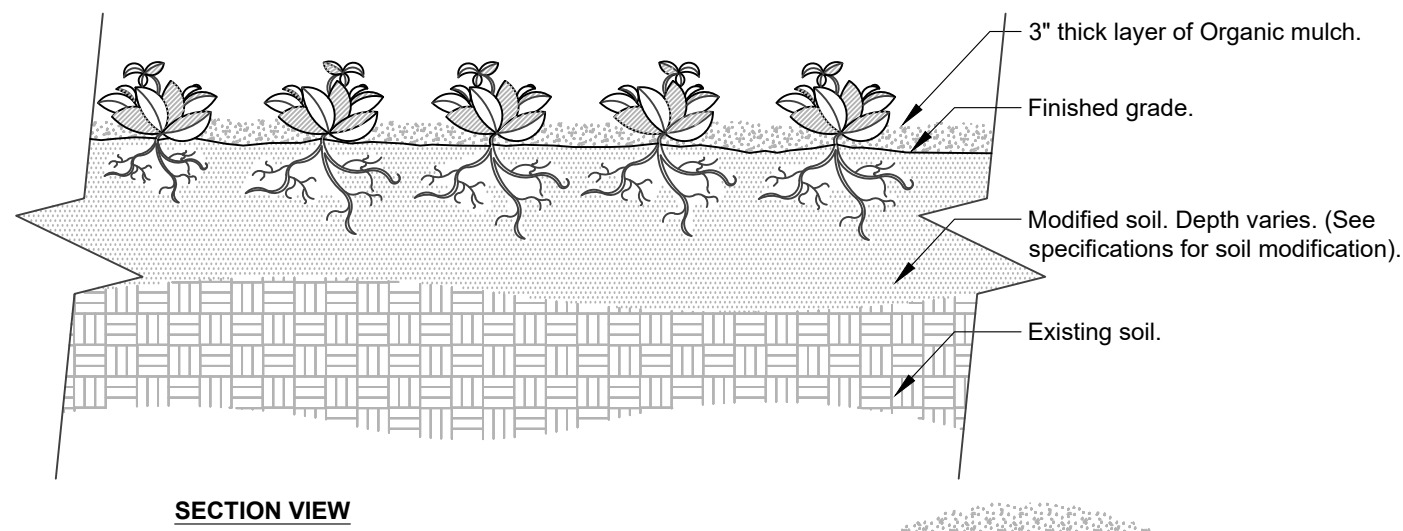
- The above amendments should be thoroughly incorporated into the upper 6-8" of the soil profile.
- Landscape contractor shall provide at his/her expense a soils test prior to amending the planting areas. Sample shall be taken from at least four separate areas of the site. Soils report and recommendations should be submitted to Landscape Architect for review. The updated recommendations shall supercede the preliminary report above.
 - After amending soil, grade all areas smooth with no localized depressions exceeding .5 inch. All areas shall surface drain with 1.5 percent minimum slope away from all buildings, paving or other structures.
 - Quantities are for aiding in bidding only. Contractor shall verify all quantities.
 - Contractor shall lay out plant material as per plan and receive approval from Landscape Architect prior to installation.
 - Use Root Barriers for all trees within 4' of paving. Contractor shall submit cut sheet of product for approval by landscape architect or owner's representative prior to installation of trees.
 - No plants shall be planted with root balls or new pits in a dry condition.
 - Plant all plants as per planting details in square pits with sides and bottoms thoroughly scarified. Do not amend backfill mix beyond initial topsoil amending unless noted.
 - A minimum three-inch layer of organic mulch shall be applied on all exposed soil surfaces of planting areas except in turf areas, creeping or rooting ground covers or direct seeding applications where mulch is contraindicated. To provide habitat for beneficial insects and other wildlife, up to five percent of the landscape area may be left without mulch. Designate insect habitat must be included in the landscape design plan as such. Organic mulch as specified by city of Morgan Hill must be used exclusively. Organic mulch includes tree trimmings, coarse compost /compost mulch and pallet mulch. The organic mulch must be approved by Landscape Architect prior to application.
 - Contractor shall use Best Tabs 20-10-5 Controlled Release Fertilizer Tablets in planting pits as per the following:
1 gallon plant 1 tablet
5 gallon plant 3 tables
15 gallon plant 9 tablets
24" box trees 12 tablets
 - All newly planted material shall be watered by deep soaking within 3 hours of planting.
 - Contractor shall be responsible for irrigating all new plant material until the entire project as been approved and accepted by Owner.
 - Thirty days after planting Contractor shall re-stake and straighten all trees as necessary to be approved by Landscape Architect.
 - Trees planted within 4' of paving shall have a root barrier installed as per manufacturer's specifications.
 - Contractor shall comply with all guidelines and requirements set forth in the the City's Water Conserving Landscape Ordinance Checklist.



- Notes:
- Shrubs shall be of quality prescribed in the root observations detail and specifications.
 - See specifications for further requirements related to this detail.

2 SHRUB - MODIFIED SOIL

3/4" = 1'-0" FX-PL-FX-SHRB-03



- Notes:
- See planting legend for groundcover species, size, and spacing dimension.
 - Small roots (1/4" or less) that grow around, up, or down the root ball periphery are considered a normal condition in container production and are acceptable however they should be eliminated at the time of planting. Roots on the periphery can be removed at the time of planting. (See root ball shaving container detail).
 - Settle soil around root ball of each groundcover prior to mulching.

4 GROUNDCOVER

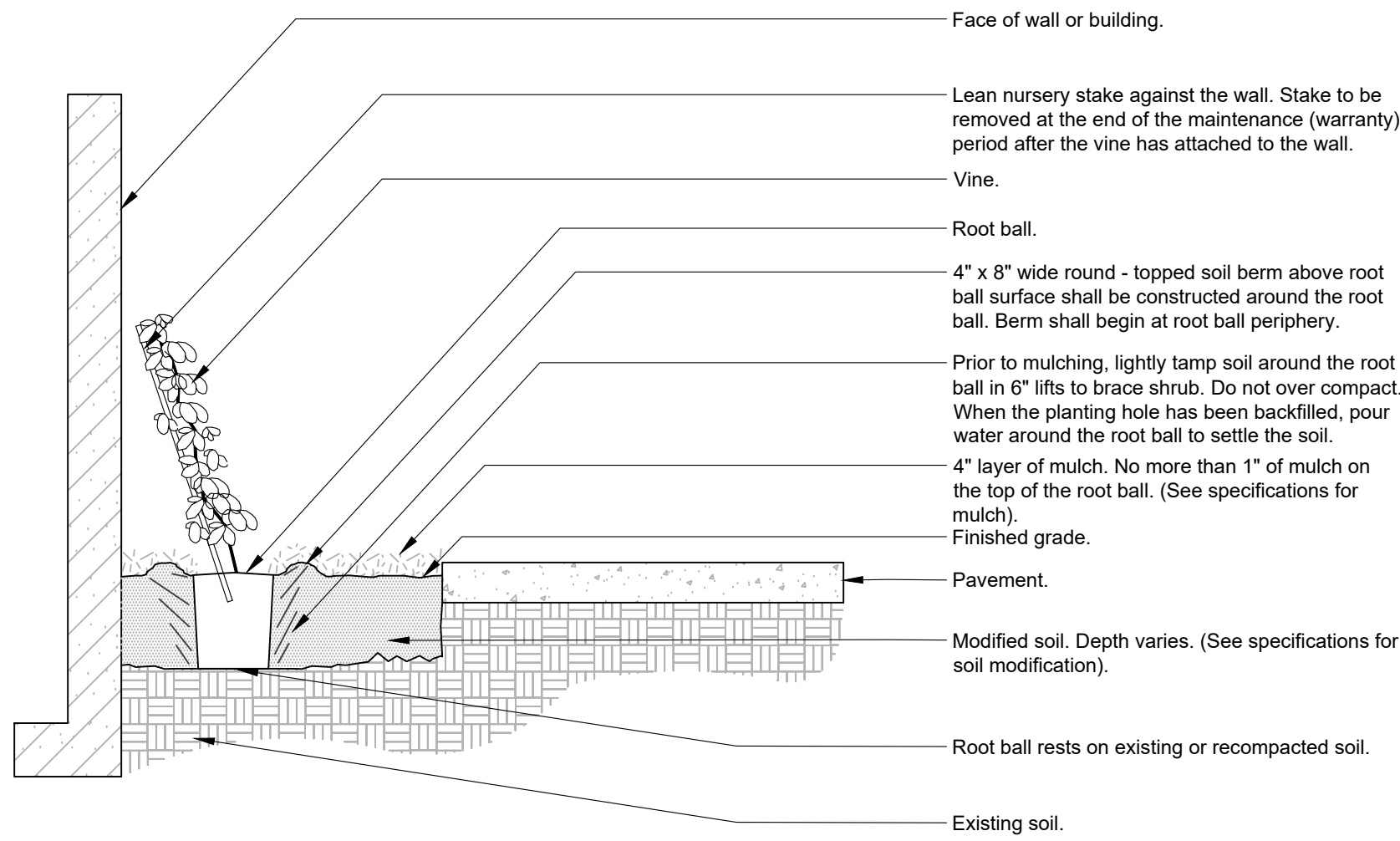
3/4" = 1'-0" FX-PL-FX-GROU-01

NOTE:
THE DEVELOPER WILL SUBMIT RECEIPTS AND/OR INVOICES FOR ALL COMPOST AND MULCH PURCHASES TO ENVIRONMENTAL SERVICES DIVISION AFTER FINAL CONSTRUCTION

"I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plan"

Michael A. Arnone

date 7.1.2024



- Notes:
- Vines shall be of quality as prescribed in the root observations detail and specifications.
 - See specifications for further requirements related to this detail.

3 VINE - MODIFIED SOIL

1/2" = 1'-0" FX-PL-FX-SHRB-06



PERRY LABORATORY

HORTICULTURAL ADVISING AND TESTING

Michael Arnone
3370 Samuel Pl.
Santa Cruz, CA 95062

424 AIRPORT BOULEVARD
WATSONVILLE, CA 95076
Telephone 831/722-7606
Fax 831/722-5053

October 19, 2023

Soil Analyses

Chemical analyses on samples received:

October 11, 2023

Sample Identification	pH saturated paste	Electrical Conductivity dS/m	Nitrate Nitrogen (N)	Ammonium Nitrogen (N)	Phosphorus (P)	Potassium (K)	Calcium (Ca)	Magnesium (Mg)	Sulfate (SO4)	Boron (B)	Zinc (Zn)	Copper (Cu)	Manganese (Mn)	Iron (Fe)	SP - Sodium Adsorption Potential	Calcium Sodium Ratio	Sodium (Na)	Chloride (Cl)	SAR Sodium Adsorption Ratio	ESP Exchangeable Sodium Percentage	Cation Exchange Capacity
		Saturated paste extract														milliequivalents per liter in extract					Meq/100 grams
General Guidelines- South African, Australian & California Native Plants	4.5- 5.5	1.0- 3.0	15- 65	15- 50	5- 10	150- 300	2000- 4000	300- 500	25- 500	0.5- 1.0	2.5- 5.0	1.0- 3.0	10- 25	50- 100		>6.0	<3.0	<3.0	<8.0	<9.0	
O'Neill, Las Animas Rd., Gilroy	7.2	1.4	36	11	48	300	5505	581	60	0.2	8.7	4.2	56	44	38	12.9	2.6	1.1	1.0	1.1	31
Optimum Values	>5.0		<3.0				Sand			Silt			Clay			Texture		Infiltration Rate inches/ hour			
	6.7		0.0				63			21			17			Sandy Loam		1.00			



PERRY LABORATORY

HORTICULTURAL ADVISING AND TESTING

Michael Arnone
Morgan Hill Soils 10/19/23
Page 2

Diana Avenue, Morgan Hill:

The pH value of this soil is moderately acid in reaction and is slightly higher than ideal for California Native plants. The low electrical conductivity reading shows the levels of soluble salt are safely low. The fertility analysis shows excellent nitrogen, potassium, phosphorus, and sulfate levels but calcium and magnesium concentrations are slightly low. The micronutrient analysis shows high zinc and iron levels.

The sodium and chloride concentrations safely are low and will not cause toxicity issues. The amount of boron in this soil is low and should not be of concern. The low SAR and ESP value shows the sodium that is present will not cause a hazard to the soil structure. The cation exchange capacity of this soil is low suggesting more frequent fertilizer applications may be necessary.

The organic matter content is in a good range. The free lime content in this soil is safely low. The mechanical analysis indicates this is a sandy loam textured soil. A sandy loam soil generally has a good infiltration rate of 1.00 inches per hour.

Preplanting will require the following per 1000 sq ft of bed area:

Gypsum	30.0 lbs
Magnesium Sulfate (10% Mg) (Epsom Salt)	20.0 lbs
Soil sulfur (90% S)	15.0 lbs

The above materials should be incorporated into the upper 6-8" of the soil profile.

The post planting fertilizer program should include an application of Down To Earth Feather Meal (12-0-0) applied 3 months after planting at a rate of 5.0 lbs per 1000 sq ft of bed area. If you have any questions, please give me a call.

Respectfully submitted,

John A. Jackson

424 AIRPORT BLVD WATSONVILLE, CA 95076 TELEPHONE 831/722-7606 FAX 831/722-5053
www.perrylaboratory.com

Michael Arnone + Associates
LANDSCAPE ARCHITECTURE

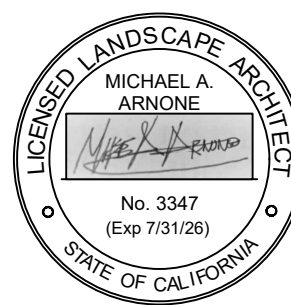
730 DIANA AVENUE
DIANA AVENUE INVESTORS LLC,
MONTEREY ROAD MORGAN HILL, CA

© Michael Arnone Landscape Architect - 2024

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE, ISSUED FOR A ONE-TIME SINGLE USE BY THE OWNER. THE ENTIRE CONTENTS OF THESE DRAWINGS IS COPYRIGHT © MICHAEL ARNONE LANDSCAPE ARCHITECT. LANDSCAPE ARCHITECT RETAINS ALL RIGHTS AND TITLE. NO PART MAY BE REPRODUCED IN ANY FASHION OR MEDIUM WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT. THE PROPER ELECTRONIC TRANSFER OF DATA SHALL BE THE USER'S RESPONSIBILITY WITHOUT LIABILITY TO THE LANDSCAPE ARCHITECT.

OWNER SHALL ASSUME RESPONSIBILITY FOR COMPLIANCE WITH ALL EASEMENTS, SETBACK REQUIREMENTS AND PROPERTY LINES. OWNER SHALL ACQUIRE ALL NECESSARY PERMITS REQUIRED TO PERFORM WORK SHOWN ON PLANS. BASE INFORMATION HAS BEEN PROVIDED BY THE OWNER. MICHAEL ARNONE LANDSCAPE ARCHITECTURE ASSUMES NO LIABILITY FOR THE ACCURACY OF SAID PROPERTY LINE BOUNDARIES, FENCE LINES OR PROPERTY CORNERS.

REVISIONS



PLANTING DETAILS & NOTES

JOB NO. 202311

SCALE as noted

DRAWN MA SHEET

CHECK

DATE 7.1.2024 L-2.3

TREES



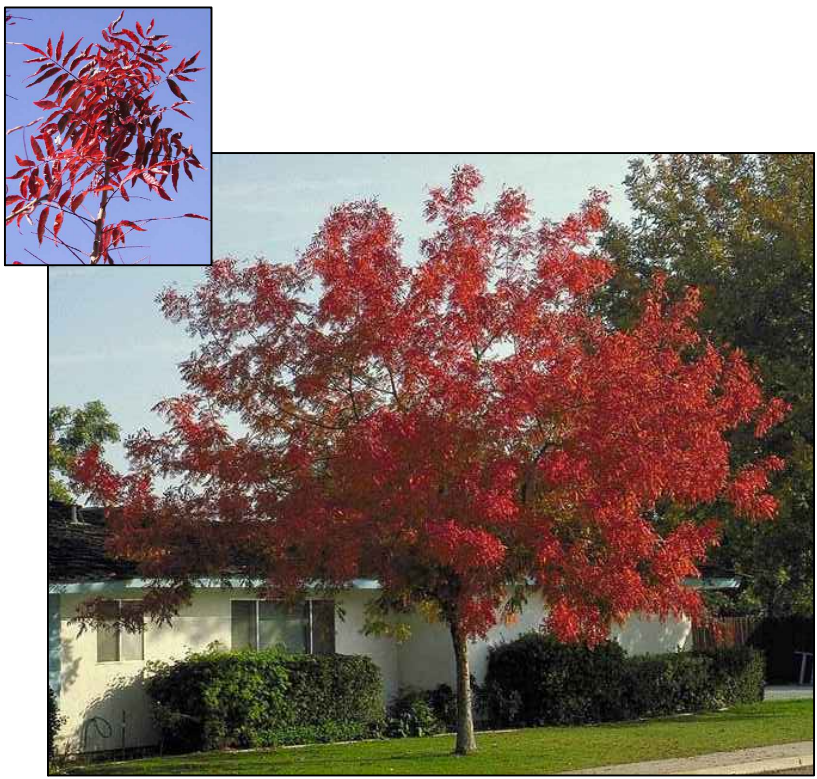
Lagerstroemia indica x fauriei 'Natchez'
Natchez Crape Myrtle



Laurus nobilis 'Saratoga'
Sweet Bay



Melaleuca linarifolia
Flaxleaf Paperbark



Pistacia chinensis
Chinese Pistache



Quercus agrifolia
Coast Live Oak

SHRUBS



Arctostaphylos hookeri 'Monterey Carpet'
Monterey Carpet Hooker's Manzanita



Ceanothus x 'Centennial'
Centennial Wild Lilac



Cistus hybridus
White Rockrose



Diets bicolor
Fortnight Lily



Dodonea viscosa 'Green'
Green Hopseed Bush



Lantana x 'New Gold'
New Gold Lantana



Lavandula x intermedia 'Provence'
Provence Lavender



Myoporum parvifolium 'Putah Creek'
Putah Creek Myoporum



Nandina domestica
Heavenly Bamboo



Podocarpus macrophyllus 'Maki'
Maki Podocarpus



Raphiolepis indica 'Clara'
Clara Indian Hawthorn



Salvia leucantha 'Purple Velvet'
Purple Velvet Mexican Bush Sage



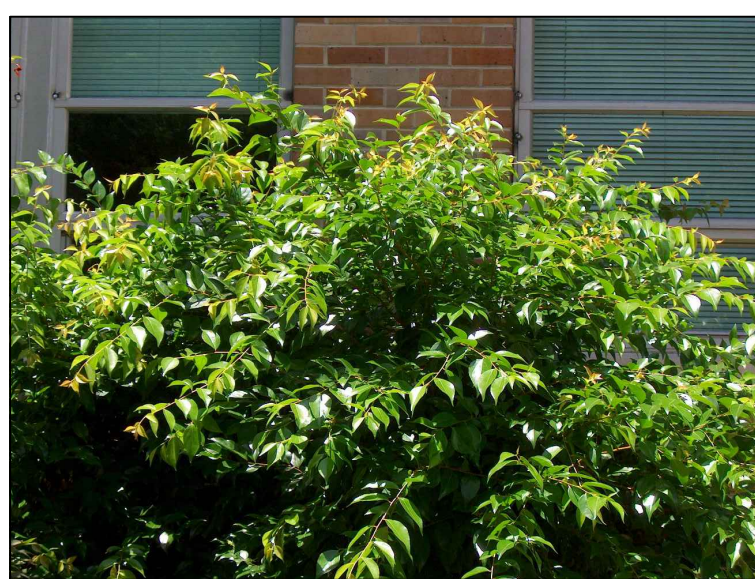
Salvia greggii
Autumn Sage



Sisyrinchium bellum
Blue-eyed Grass



Westringia fruticosa
Coast Rosemary



Xylosma congestum
Shiny Xylosma

VINES



Gelsemium sempervirens
Carolina Jessamine

RETENTION BASIN



Carex divulsa
Berkeley Sedge

ORNAMENTAL GRASSES



Festuca mairei
Atlas Fescue Grass



Lomandra longifolia 'Platinum Beauty'
Variegated Mat Rush



Muhlenbergia rigens
Deer Grass



730 DIANA AVENUE
DIANA AVENUE INVESTORS LLC,
MONTEREY ROAD MORGAN HILL, CA

© Michael Arnone Landscape Architect - 2024

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE, ISSUED FOR A ONE-TIME SINGLE USE BY THE OWNER. THE ENTIRE CONTENTS OF THESE DRAWINGS IS COPYRIGHT © MICHAEL ARNONE LANDSCAPE ARCHITECT. LANDSCAPE ARCHITECT RETAINS ALL RIGHTS AND TITLE. NO PART MAY BE REPRODUCED IN ANY FASHION OR MEDIUM WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT. THE PROPER ELECTRONIC TRANSFER OF DATA SHALL BE THE USER'S RESPONSIBILITY WITHOUT LIABILITY TO THE LANDSCAPE ARCHITECT.

OWNER SHALL ASSUME RESPONSIBILITY FOR COMPLIANCE WITH ALL EASEMENTS, SETBACK REQUIREMENTS AND PROPERTY LINES. OWNER SHALL ACQUIRE ALL NECESSARY PERMITS REQUIRED TO PERFORM WORK SHOWN ON PLANS. BASE INFORMATION HAS BEEN PROVIDED BY THE OWNER. MICHAEL ARNONE LANDSCAPE ARCHITECTURE ASSUMES NO LIABILITY FOR THE ACCURACY OF SAID PROPERTY LINE BOUNDARIES, FENCE LINES OR PROPERTY CORNERS.

REVISIONS



PLANT IMAGES

JOB NO. 202311

SCALE no scale

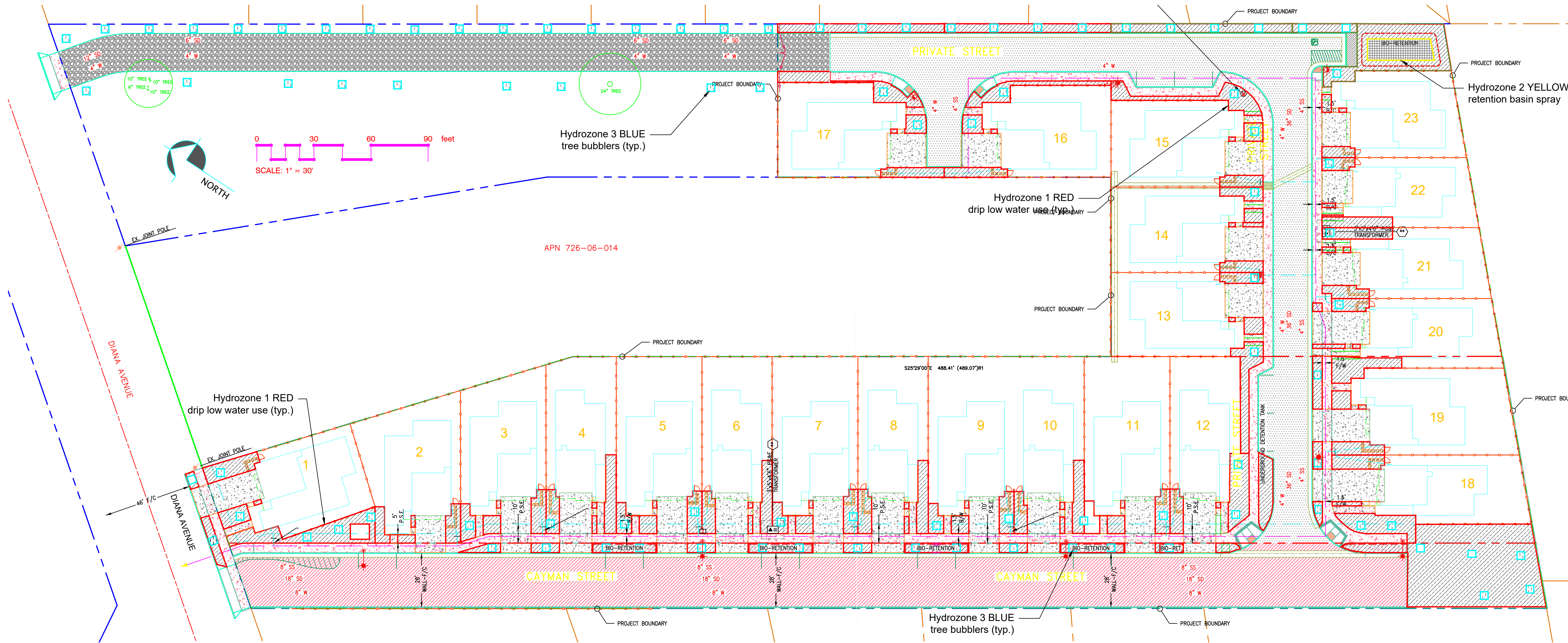
DRAWN MA

CHECK

DATE 7.1.2024

SHEET

L-2.4



730 DIANA AVENUE
DIANA AVENUE INVESTORS LLC,
MONTEREY ROAD MORGAN HILL, CA

MAWA CALCULATIONS

Maximum Applied Water Allowance Calculations for New and Rehabilitated Residential Landscapes

Messages and Warnings

Click on the blue cell on right to Pick City Name

ETo of City from Appendix A

Morgan Hill

Name of City

49.50ETo (inches/year)

384Overhead Landscape Area (ft2)

18149Drip Landscape Area (ft2)

0SLA (ft2)

Total Landscape Area

18,533.00

Results:

(ETo) x (0.62) x [(0.55 x LA) + (1.0 - 0.55) X SLA]]

312,827.77Gallons

41,819.13Cubic Feet

418.19HCF

0.96Acre-feet

0.31Millions of Gallons

MAWA calculation incorporating Effective Precipitation (Optional)
Precipitation (Optional)

ETo of City from Appendix A

Total Landscape Area

18,533.00LA (ft2)

Special Landscape Area

0.00SLA (ft2)

Total annual precipitation (inches/year)

Enter Effective Precipitation

0.00Eppt (in/yr)(25% of total annual precipitation)

Results:

MAWA = [(ETo - Eppt) x (0.62)] x [(0.55 x LA) + ((1.0 - 0.55) x SLA)]

Gallons

Cubic Feet

HCF

Acre-feet

Millions of Gallons

ETWU CALCULATIONS

Estimated Total Water Use

Equation: ETWU = ETo x 0.62 x [((PF x HA)/IE) + SLA]; Considering precipitation ETWA =(ETo-Eppt) x 0.62 x [((PF x HA)/IE) +SLA]

Messages and Warnings

Irrigation Efficiency Default Value for overhead 0.75 and drip 0.81.

Plant Water Use Type

Plant Factor

Very Low

0 - 0.1

Low

0.2 - 0.3

Medium

0.4 - 0.6

High

0.7 - 1.0

SLA

1

Select System

From the

Dropdown List

click on cell below

Plant Water Use

Type (s) (low,

medium, high)

Plant Factor

(PF)

Hydrozone Area

(HA) (ft2) Without

SLA

Irrigation

Efficiency

(IE)

(PF x HA (ft2))/IE

Hydrozone

Zone 1

Zone 2

Zone 3

Drip

Overhead Spray

Drip

Low

High

Low

0.30

0.70

0.30

16,743

3 84

1,406

0.81

0.75

0.81

6,201

358

521

7,080

0

Results

MAWA =

312,828

ETWU=

217,293Gallons

29,048Cubic Feet

290HCF

1Acre-feet

0Millions of Gallons

ETWU complies with MAWA

HYDROZONE MAP LEGEND

SYMBOL	DESCRIPTION	QTY
1	DRIP LOW LOW WATER USE	16,743 s.f.
2	RETENTION BASINS SPRAY MODERATE WATER USE	384 s.f.
3	TREE BUBBLER	1,406 s.f.
TOTAL LANDSCAPE AREA		18,533 s.f.

© Michael Arnone Landscape Architect - 2024

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE, ISSUED FOR A ONE-TIME SINGLE USE BY THE OWNER. THE ENTIRE CONTENTS OF THESE DRAWINGS IS COPYRIGHT © MICHAEL ARNONE LANDSCAPE ARCHITECT. LANDSCAPE ARCHITECT RETAINS ALL RIGHTS AND TITLE. NO PART MAY BE REPRODUCED IN ANY FASHION OR MEDIUM WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT. THE PROPER ELECTRONIC TRANSFER OF DATA SHALL BE THE USER'S RESPONSIBILITY WITHOUT LIABILITY TO THE LANDSCAPE ARCHITECT.

OWNER SHALL ASSUME RESPONSIBILITY FOR COMPLIANCE WITH ALL EASEMENTS, SETBACK REQUIREMENTS AND PROPERTY LINES. OWNER SHALL ACQUIRE ALL NECESSARY PERMITS REQUIRED TO PERFORM WORK SHOWN ON PLANS. BASE INFORMATION HAS BEEN PROVIDED BY THE OWNER. MICHAEL ARNONE LANDSCAPE ARCHITECTURE ASSUMES NO LIABILITY FOR THE ACCURACY OF SAID PROPERTY LINE BOUNDARIES, FENCE LINES OR PROPERTY CORNERS.

REVISIONS



HYDROZONE MAP
WATER USE
CALCULATIONS

JOB NO. 202311

SCALE 1" = 30' - 0"

DRAWN MA SHEET

CHECK

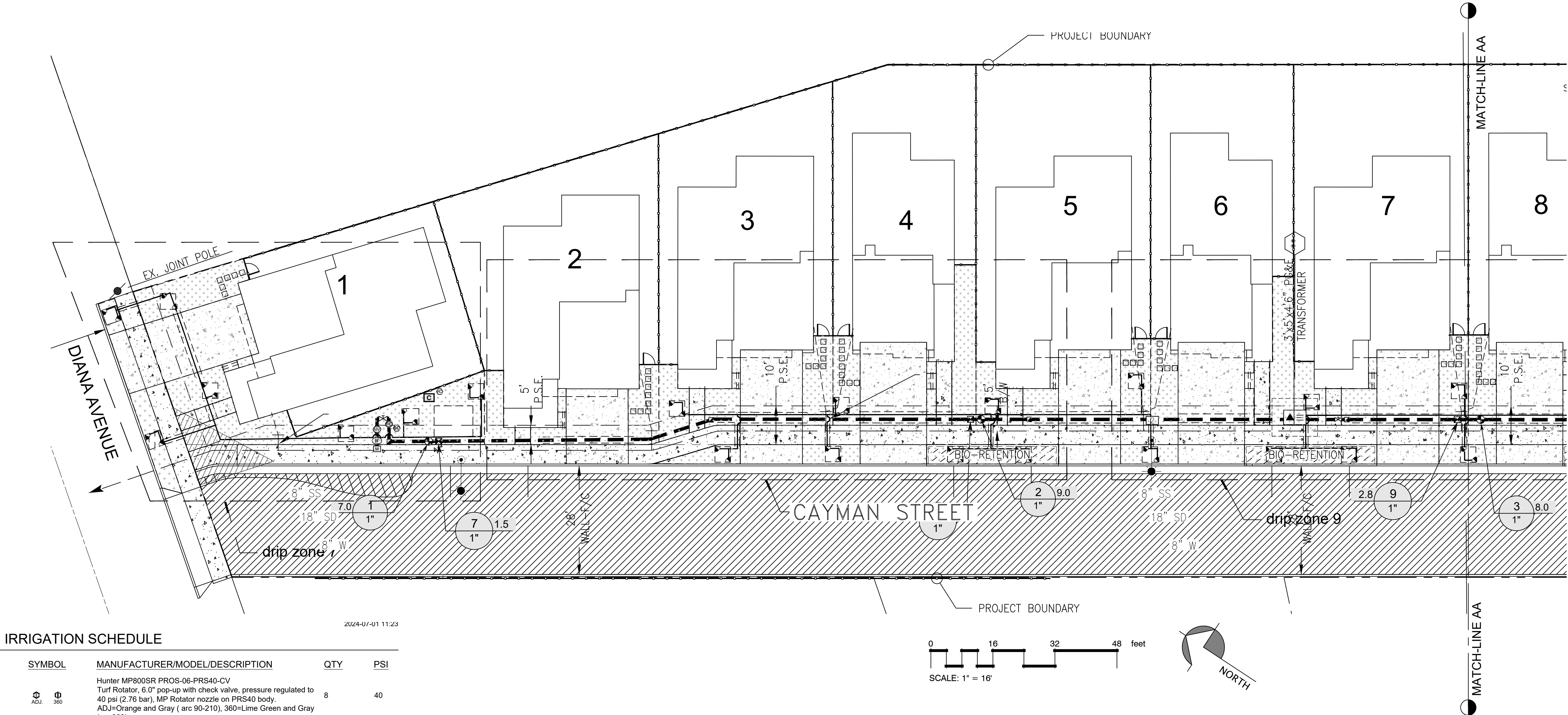
DATE 7.1.2024

L-3.0

"I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plan"

Michael A. Arnone

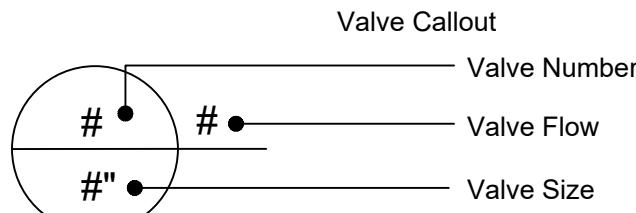
date 7.1.2024



IRRIGATION SCHEDULE

2024-01-01 11:23

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	Hunter MP800SR PROS-06-PRS40-CV Turf Rotator, 6.0" pop-up with check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PRS40 body. ADJ=Orange and Gray (arc 90-210), 360=Lime Green and Gray (arc 360)	8	40
	Hunter MSBN-50Q Multi-Stream Bubbler Nozzle, pressure-compensating, 0.50 GPM, 90 Degree, female thread	190	15
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	Hunter ICZ-101-25 Drip Control Zone Kit, 1" ICV Globe Valve with 1" HY100 filter system, Pressure Regulation: 25psi, Flow Range: 2 GPM to 20 GPM, 150 mesh stainless steel screen.	12	
	Area to Receive Drip Emitters Rain Bird XB-PC (2) Single Outlet, Pressure Compensating Drip Emitters. Flow rates of 0.5gph=blue, 1.0gph=black, and 2.0gph=red. Comes with a self-piercing barb inlet x barb outlet. Emitter Notes: 0.5 GPH emitters (2 assigned to each 1 gal plant) 1.0 GPH emitters (2 assigned to each 5 gal plant) 2.0 GPH emitters (4 assigned to each 15 gal plant)	16,543 s.f.	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	Hunter IBV-BSP-FS 1in., 1-1/2in., 2in., and 3in. Brass Electric Remote Control Valve, Globe Configuration, with BSP Threaded Inlet/Outlet, for Commercial/Municipal Use. With Filter Sentry Factory Installed Option.	13	
	Rain Bird 44-LRC 1" Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Locking Thermoplastic Rubber Cover, and 2-Piece Body.	19	
	Landscape Products Inc. BBV 1/2in., 3/4in., 1in., 1-1/4in., 1-1/2in., 2in., 2-1/2in., 3in. Full Port Brass Ball Valve. Suitable for a full range of liquids and gases in residential and commercial applications.	2	
	Rain Bird EFB-CP-PRS-D 1-1/2" 1", 1-1/4", 1-1/2", 2" Brass Master Valve, that is Contamination Proof w/Self-Flushing Filter Screen, Globe Configuration, Reclaimed Water Compatible, and Purple Handle Cover. Designates Non-Potable Water Use. With Pressure Regulator.	1	
	Febo 825V 1-1/2" Reduced Pressure Backflow Preventer	1	
	Hunter HCC-3200-MICC-PED-SS (2) 32 Station Outdoor Wi-Fi enabled, full-functioning controller with touchscreen & three ICM-800 Module, Commercial Use, Stainless Steel Pedestal.	1	
	Hunter SOIL-CLIK The Soil-Click probe uses proven technology to measure moisture within the root zone. When the probe senses that the soil has reached its desired moisture level, it will shut down irrigation, preventing water waste.	1	
	Hunter WR-CLIK Rain Sensor, install within 1000 ft of controller, in line of sight, 22-28 VAC/VDC 100 mA power from timer transformer. Mount as noted.	1	
	Hunter FLOW-CLIK-200 (2) Flow Sensor SOV with Interface Panel, 2" Schedule 40 Sensor Body, 24 VAC, 2 amp, install Interface Panel as required.	1	
	1" IRR WATER METER	1	
	Irrigation Lateral Line: PVC Class 315 SDR 13.5	24,158 l.f.	
	Irrigation Mainline: PVC Schedule 40	2,001 l.f.	
	Pipe Sleeve: PVC Schedule 80	801.8 l.f.	



IRRIGATION NOTES

- Contractor shall notify U.S.A. (Underground Service Alert) at 811, prior to start of any excavation or trenching.
- Contractor shall review all plans and documents pertaining to the project prior to the start of work to coordinate work with other trades. Contractor shall install irrigation system in accordance with all local codes and ordinances.
- Water service for irrigation will be taken from the new landscape irrigation meter. Verify location of meter in field prior to start of work. Contractor shall tee off the service line and install the mainline, remote control valves, drip valve assemblies, quick coupler valves, and drip tubing as shown.
- Contractor shall install manual shutoff valves at locations shown for maintenance and repair.
- Bubbler valves have been designed to operate at a maximum of 9 gallons per minute at 15 p. s. i.. Drip valves have been designed to operate at a maximum of 5 gallons per minute at 20 p. s. i.. Irrigation contractor shall verify a static pressure of at least 75 p.s.i. at the point of connection prior to the installation of the irrigation system. Contractor shall read static pressure at point of connection prior to installation of irrigation system. Should the p.s.i. or the g.p.m. be insufficient to operate either system, contractor shall notify landscape architect and request review of design. In line pressure regulators or booster pumps may be required if static pressure is above or below the required dynamic pressure. Extra stations are available on both of the controllers if needed.
- All irrigation emission devices must meet the requirements set in the American National Standards Institute (ANSI) standard, 'American Society of Agricultural and Biological Engineers'/International Code Council's (ASABE/ICC) 802-2014 "Landscape Irrigation Sprinkler and Emitter Standard."
- Contractor shall install a pedestal mount controller to be located at a power source to be provided.
- All electrical connections for the controller shall be installed by a licensed electrical contractor. All work shall comply with the most current standards and codes at the time of installation.
- The Wireless solar sync rain sensors should be mounted as per manufacturer's instructions in an open area. The soil moisture sensors shall be installed as per manufacturer's instructions in a planting area adjacent to the irrigation mainline.
- Irrigation design is diagrammatic. Mainline, valves, laterals and other irrigation equipment may be shown outside of planting beds for graphic clarity. All irrigation equipment shall be located in adjacent planting beds.
- Irrigation pipe depths: Mainlines under paving shall have 24" cover over pipes. Lateral lines under paving shall have 18" cover over pipes. Mainlines in planting beds shall have 12" of cover over pipes. Laterals in planting beds shall have 12" cover over pipes.
- Sleeves shall be located as per plan and as needed to reach all planting areas to be irrigated. Irrigation contractor shall coordinate placement of all irrigation sleeves with general contractor and concrete sub contractor to be sure all areas will be accessible for irrigation lines and drip tubing.
- Lateral lines (non pressure lines) sizing guidelines shall be as follows: 3/4" O.D. - 0 to 10 GPM; 1" O.D. - 11 to 15 GPM; 1 1/4" O.D. - 16 to 25 GPM; 1 1/2" O.D. 26 to 30 GPM; 2" O.D. 31 to 55 GPM. Refer to Irrigation Legend and plan sheets for further data.
- Control wires shall be 14 gauge UF direct burial wire. Use red for control wire and white for common wire. Contractor shall run one spare common and one spare control wire to each of the end valves. All low voltage wire connections shall be made only at remote control boxes. All connections shall be made with a 2' coil of wire for service. Connections shall be made with RainBird 'Snap-Tite' connectors or equal.
- Contractor shall determine the number and location of emitters based on the plant counts and actual plant locations in the field. Contractor shall adjust all drip distribution tubing to effectively irrigate all plant material.
- Contractor shall provide a minimum of one drip end cap assembly per drip zone for ease of flushing system.
- All mainline shall be 1.5" Sch. 40 PVC. All laterals shall be 3/4" Class 315 PVC unless noted as 1".
- Irrigation shall run between 7:00pm and 9:00am.

"I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plan"

Michael A. Arnone

date 7.1.2024



730 DIANA AVENUE
DIANA AVENUE INVESTORS LLC,
MONTEREY ROAD MORGAN HILL, CA

© Michael Arnone Landscape Architect - 2024

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE, ISSUED FOR A ONE-TIME SINGLE USE BY THE OWNER. THE ENTIRE CONTENTS OF THESE DRAWINGS IS COPYRIGHT © MICHAEL ARNONE LANDSCAPE ARCHITECT. LANDSCAPE ARCHITECT RETAINS ALL RIGHTS AND TITLE. NO PART MAY BE REPRODUCED IN ANY FASHION OR MEDIUM WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT. THE PROPER ELECTRONIC TRANSFER OF DATA SHALL BE THE USER'S RESPONSIBILITY WITHOUT LIABILITY TO THE LANDSCAPE ARCHITECT.

OWNER SHALL ASSUME RESPONSIBILITY FOR COMPLIANCE WITH ALL EASEMENTS, SETBACK REQUIREMENTS AND PROPERTY LINES. OWNER SHALL ACQUIRE ALL NECESSARY PERMITS REQUIRED TO PERFORM WORK SHOWN ON PLANS. BASE INFORMATION HAS BEEN PROVIDED BY THE OWNER. MICHAEL ARNONE LANDSCAPE ARCHITECTURE ASSUMES NO LIABILITY FOR THE ACCURACY OF SAID PROPERTY LINE BOUNDARIES, FENCE LINES OR PROPERTY CORNERS.

REVISIONS



IRRIGATION PLAN
WEST

JOB NO. 202311

SCALE 1/16" = 1' - 0"

DRAWN MA

SHEET

CHECK

DATE 7.1.2024

L-3.1

CITY OF MORGAN HILL
PLAN APPROVED

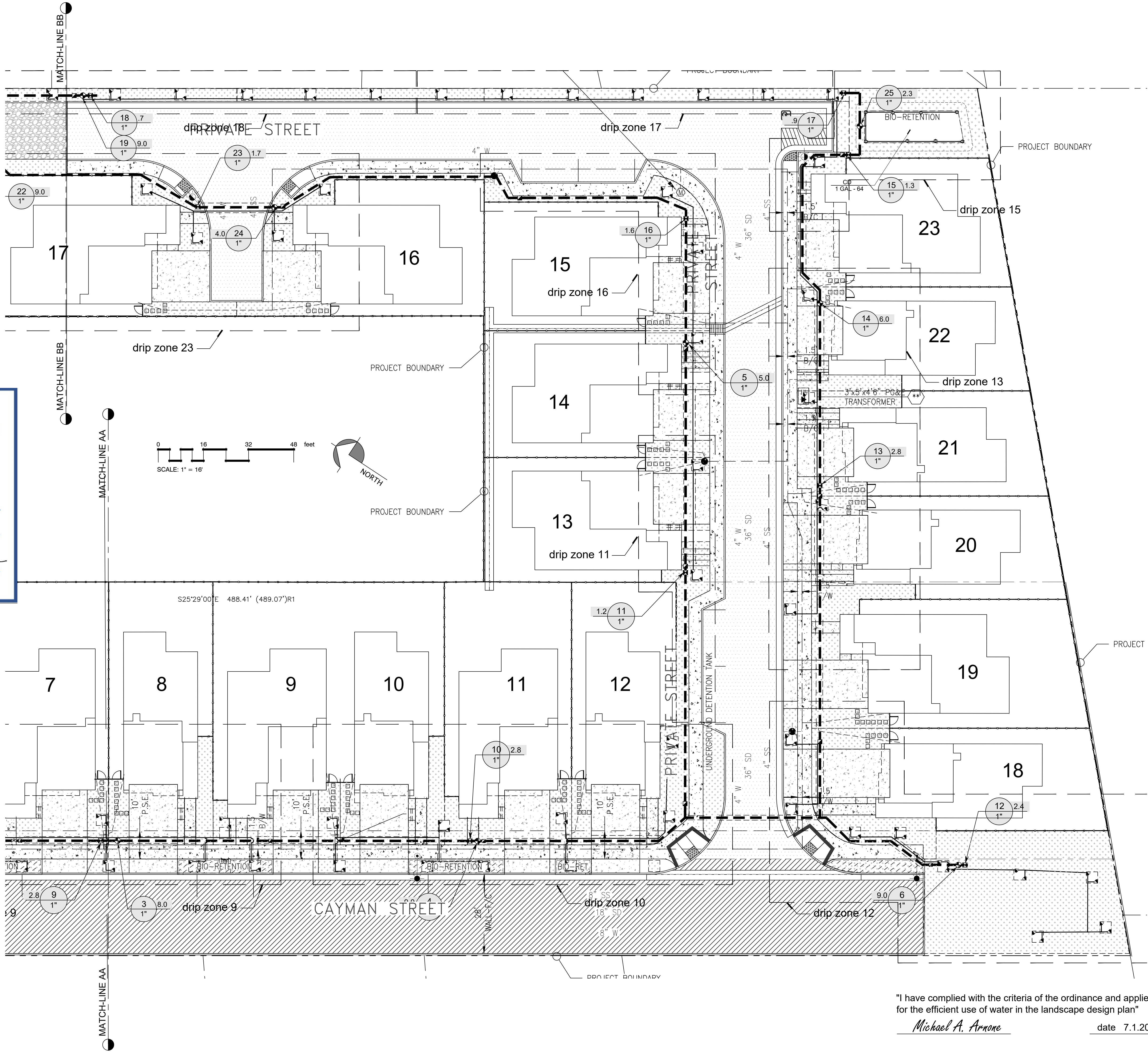
THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 3/7/2025

SR2024-0004

FILE NUMBER
Roshni Saxena
Assistant Planner

PLANNING OFFICIAL



730 DIANA AVENUE
DIANA AVENUE INVESTORS LLC,
MONTEREY ROAD MORGAN HILL, CA

© Michael Arnone Landscape Architect - 2024
THESE DRAWINGS ARE INSTRUMENTS OF SERVICE, ISSUED FOR A ONE-TIME SINGLE USE BY THE OWNER. THE ENTIRE CONTENTS OF THESE DRAWINGS IS COPYRIGHT © MICHAEL ARNONE LANDSCAPE ARCHITECT. LANDSCAPE ARCHITECT RETAINS ALL RIGHTS AND TITLE. NO PART MAY BE REPRODUCED IN ANY FASHION OR MEDIUM WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT. THE PROPER ELECTRONIC TRANSFER OF DATA SHALL BE THE USER'S RESPONSIBILITY WITHOUT LIABILITY TO THE LANDSCAPE ARCHITECT.
OWNER SHALL ASSUME RESPONSIBILITY FOR COMPLIANCE WITH ALL EASEMENTS, SETBACK REQUIREMENTS AND PROPERTY LINES. OWNER SHALL ACQUIRE ALL NECESSARY PERMITS REQUIRED TO PERFORM WORK SHOWN ON PLANS. BASE INFORMATION HAS BEEN PROVIDED BY THE OWNER. MICHAEL ARNONE LANDSCAPE ARCHITECTURE ASSUMES NO LIABILITY FOR THE ACCURACY OF SAID PROPERTY LINE BOUNDARIES, FENCE LINES OR PROPERTY CORNERS.

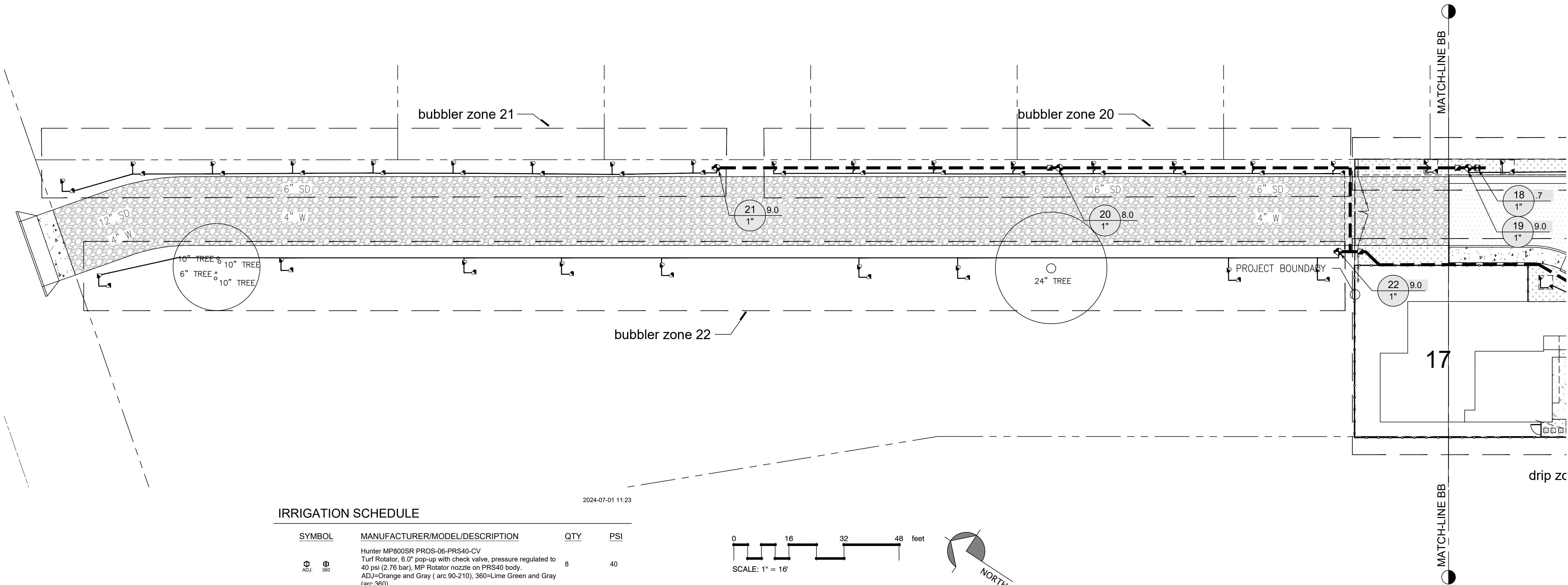
REVISIONS



IRRIGATION PLAN
SOUTH

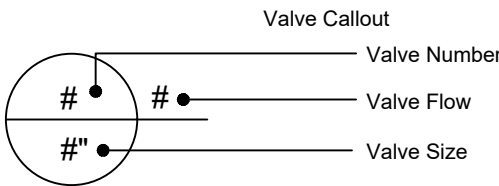
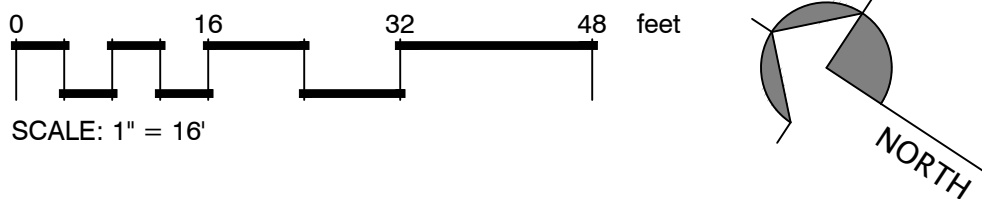
JOB NO. 202311
SCALE 1/16" = 1' - 0"
DRAWN MA SHEET
CHECK L-3.2
DATE 7.1.2024

"I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plan"
Michael A. Arnone date 7.1.2024



IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	Hunter MP800SR PROS-06-PRS40-CV Turf Rotator, 6.0" pop-up with check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PRS40 body. ADJ=Orange and Gray (arc 90-210), 360=Lime Green and Gray (arc 360)	8	40
	Hunter MSBN-50Q Multi-Stream Bubbler Nozzle, pressure-compensating, 0.50 GPM, 90 Degree, female thread	190	15
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	Hunter ICZ-101-25 Drip Control Zone Kit. 1" ICV Globe Valve with 1" HY100 filter system. Pressure Regulation: 25psi. Flow Range: 2 GPM to 20 GPM. 150 mesh stainless steel screen.	12	
	Area to Receive Drip Emitters Rain Bird XB-PC (2) Single Outlet, Pressure Compensating Drip Emitters. Flow rates of 0.5gph=blue, 1.0gph=black, and 2.0gph=red. Comes with a self-piercing barb inlet x barb outlet. Emitter Notes: 0.5 GPH emitters (2 assigned to each 1 gal plant) 1.0 GPH emitters (2 assigned to each 5 gal plant) 2.0 GPH emitters (4 assigned to each 15 gal plant)	16,543 s.f.	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	Rain Bird 44-LRC 1" Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Locking Thermoplastic Rubber Cover, and 2-Piece Body.	19	
	Landscape Products Inc. BBV 1/2in., 3/4in., 1in., 1-1/4in., 1-1/2in., 2in., 2-1/2in., 3in. Full Port Brass Ball Valve. Suitable for a full range of liquids and gases in residential and commercial applications.	2	
	Rain Bird EFB-CP-PRS-D 1-1/2" 1", 1-1/4", 1-1/2", 2" Brass Master Valve, that is Contamination Proof w/Self-Flushing Filter Screen. Globe Configuration, Reclaimed Water Compatible, and Purple Handle Cover Designates Non-Potable Water Use. With Pressure Regulator.	1	
	Fibco 825Y 1-1/2" Reduced Pressure Backflow Preventer	1	
	Hunter HCC-3200-M/ICC-PED-SS (2) 32 Station Outdoor Wi-Fi enabled, full-functioning controller with touchscreen & three ICM-800 Module. Commercial Use. Stainless Steel Pedestal.	1	
	Hunter SOIL-CLIK The Soil-Clk probe uses proven technology to measure moisture within the root zone. When the probe senses that the soil has reached its desired moisture level, it will shut down irrigation, preventing water waste.	1	
	Hunter WR-CLIK Rain Sensor, install within 1000 ft of controller, in line of sight. 22-28 VAC/VDC 100 mA power from timer transformer. Mount as noted.	1	
	Hunter FLOW-CLIK-200 (2) Flow Sensor SOV with Interface Panel, 2" Schedule 40 Sensor Body, 24 VAC, 2 amp, install Interface Panel as required.	1	
	1" IRR WATER METER	1	
	Irrigation Lateral Line: PVC Class 315 SDR 13.5	24,158 l.f.	
	Irrigation Mainline: PVC Schedule 40	2,001 l.f.	
	Pipe Sleeve: PVC Schedule 80	801.8 l.f.	



CITY OF MORGAN HILL

PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 3/7/2025

SR2024-0004

FILE NUMBER

Roshni Saxena
Assistant Planner

PLANNING OFFICIAL



730 DIANA AVENUE
DIANA AVENUE INVESTORS LLC,
MONTEREY ROAD MORGAN HILL, CA

© Michael Arnone Landscape Architect - 2024

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE. ISSUED FOR A ONE-TIME SINGLE USE BY THE OWNER. THE ENTIRE CONTENTS OF THESE DRAWINGS IS COPYRIGHT © MICHAEL ARNONE LANDSCAPE ARCHITECT. LANDSCAPE ARCHITECT RETAINS ALL RIGHTS AND TITLE. NO PART MAY BE REPRODUCED IN ANY FASHION OR MEDIUM WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT. THE PROPER ELECTRONIC TRANSFER OF DATA SHALL BE THE USER'S RESPONSIBILITY WITHOUT LIABILITY TO THE LANDSCAPE ARCHITECT.

OWNER SHALL ASSUME RESPONSIBILITY FOR COMPLIANCE WITH ALL EASEMENTS, SETBACK REQUIREMENTS AND PROPERTY LINES. OWNER SHALL ACQUIRE ALL NECESSARY PERMITS REQUIRED TO PERFORM WORK SHOWN ON PLANS. BASE INFORMATION HAS BEEN PROVIDED BY THE OWNER. MICHAEL ARNONE LANDSCAPE ARCHITECTURE ASSUMES NO LIABILITY FOR THE ACCURACY OF SAID PROPERTY LINE BOUNDARIES, FENCE LINES OR PROPERTY CORNERS.

REVISIONS



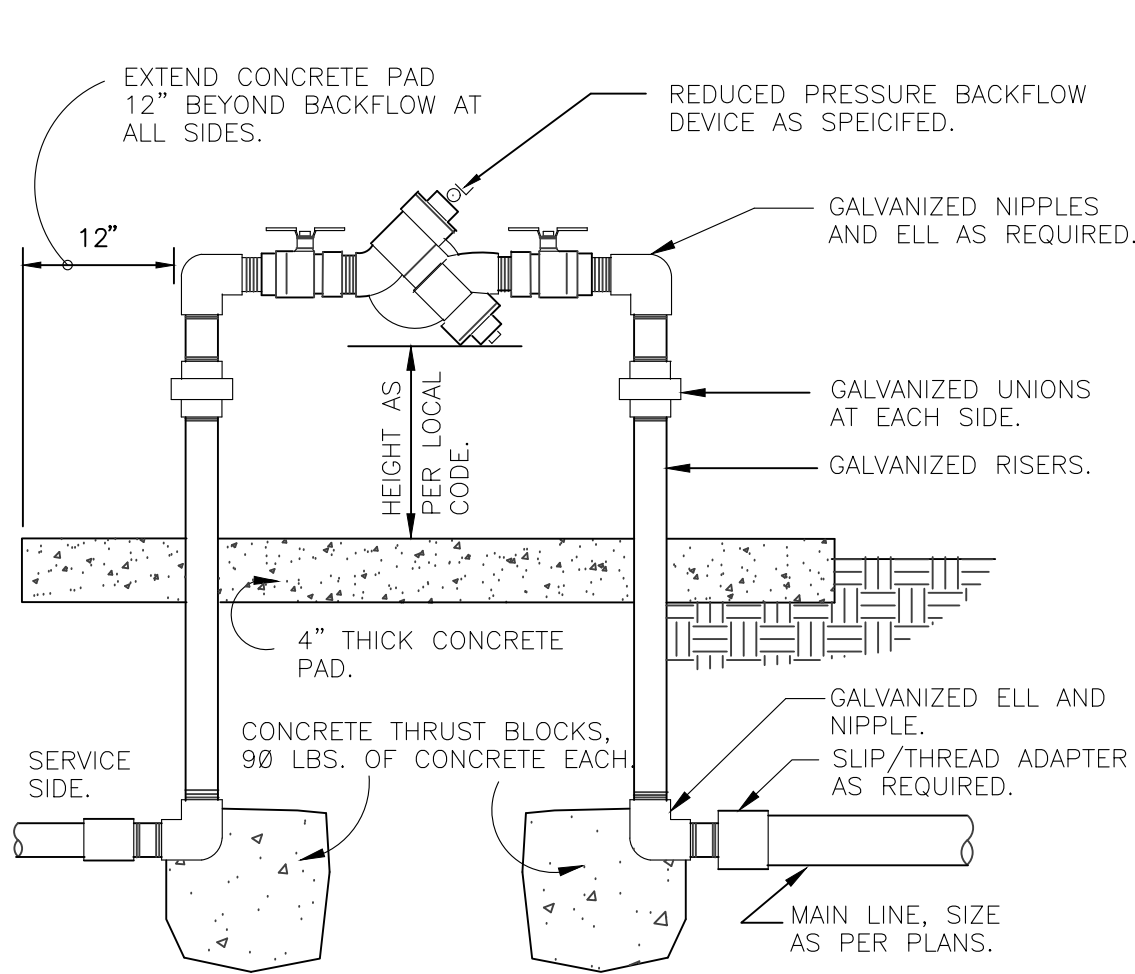
IRRIGATION PLAN
EAST

JOB NO. 202311
SCALE 1/16" = 1' - 0"
DRAWN MA SHEET
CHECK
DATE 7.1.2024 L-3.3

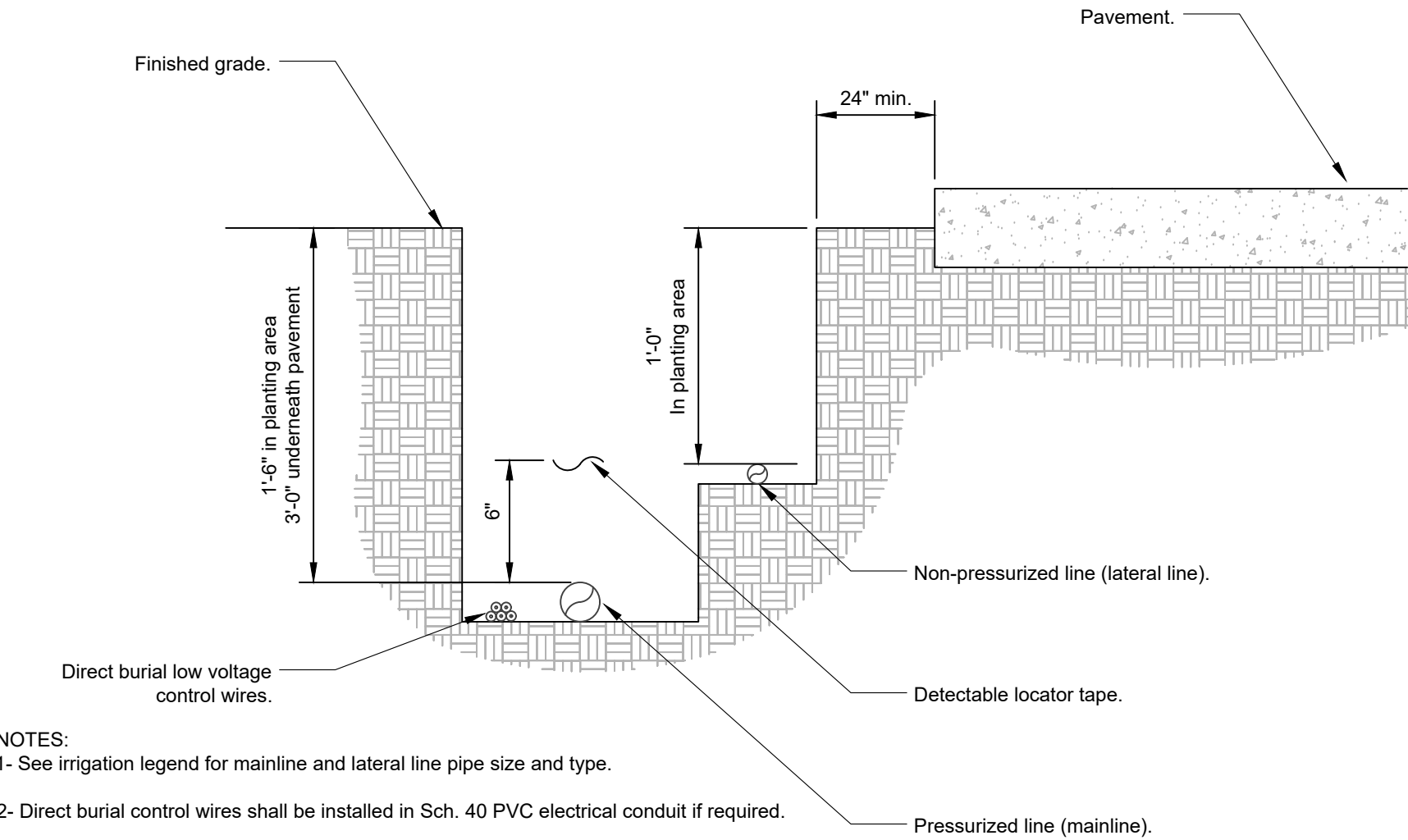
"I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plan"

Michael A. Arnone

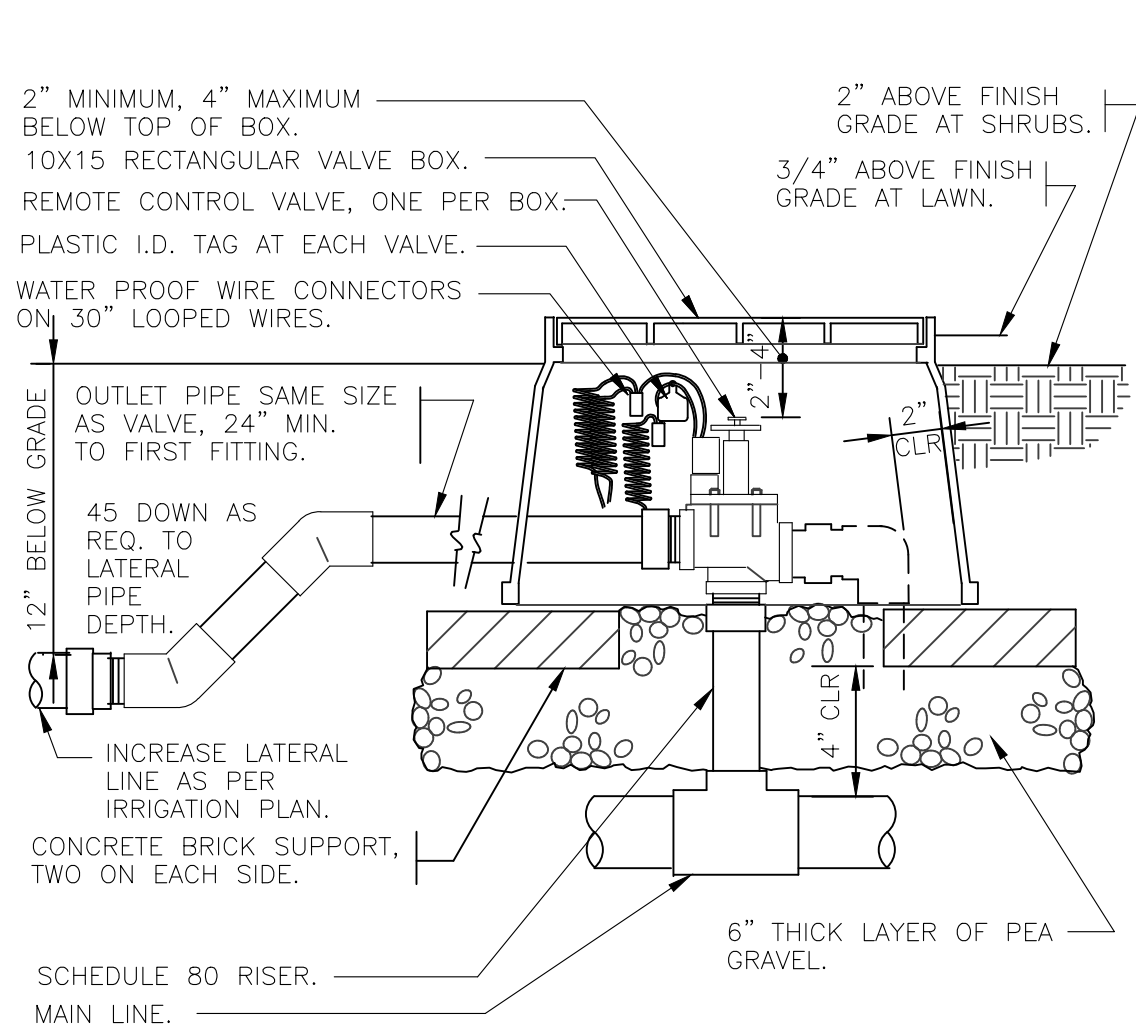
date 7.1.2024



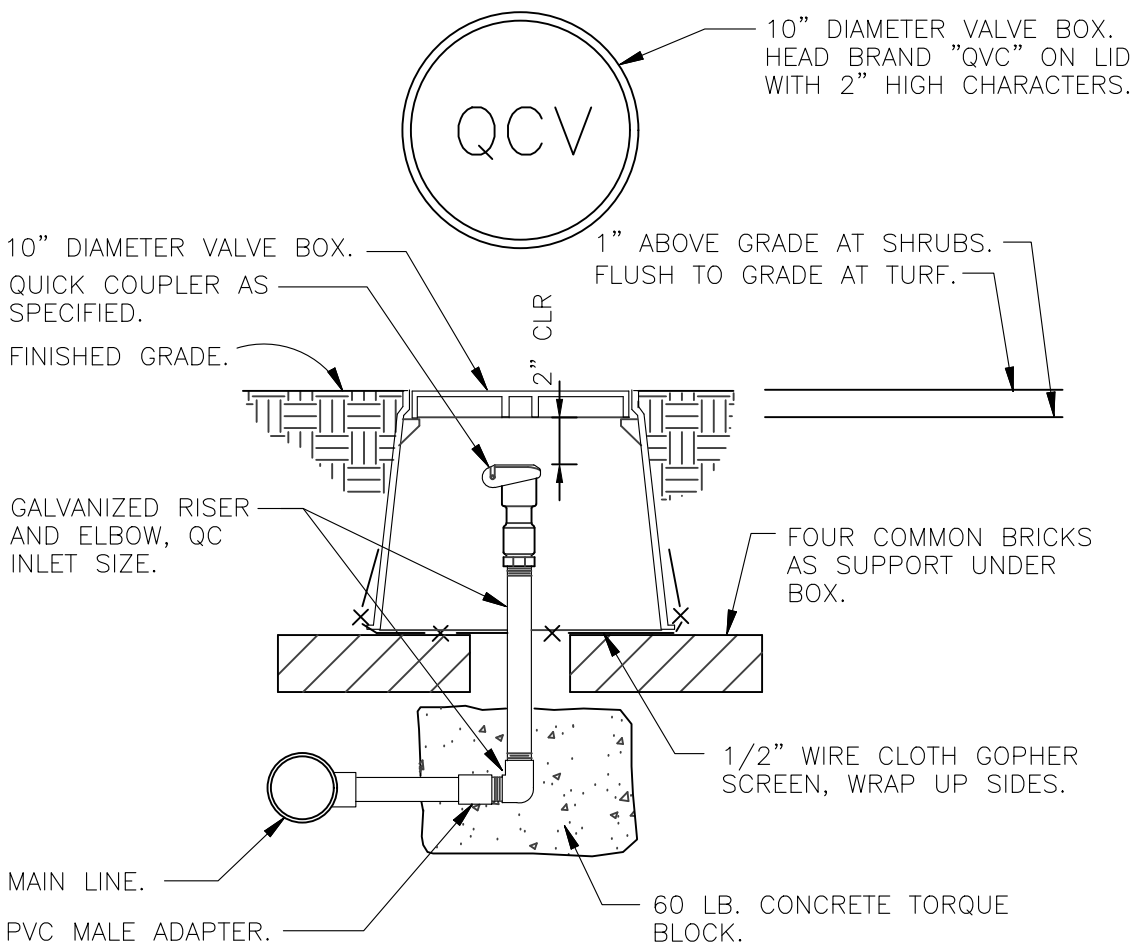
1 REDUCED PRESSURE BACKFLOW
1 1/2" = 1'-0" FX-IR-FX-BACK-04



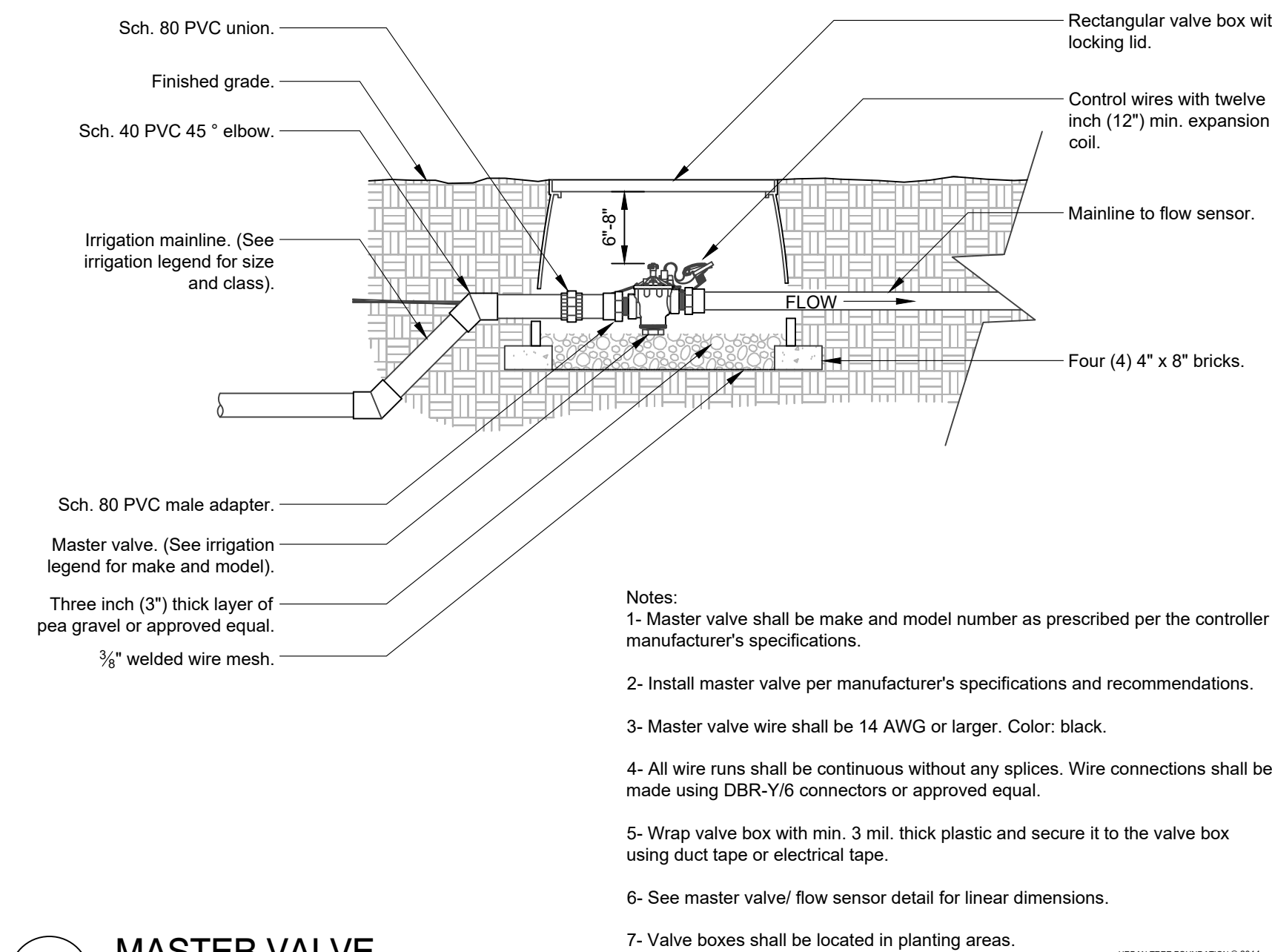
2 IRRIGATION TRENCHING
1 1/2" = 1'-0" FX-IR-FX-AUXEQ-08



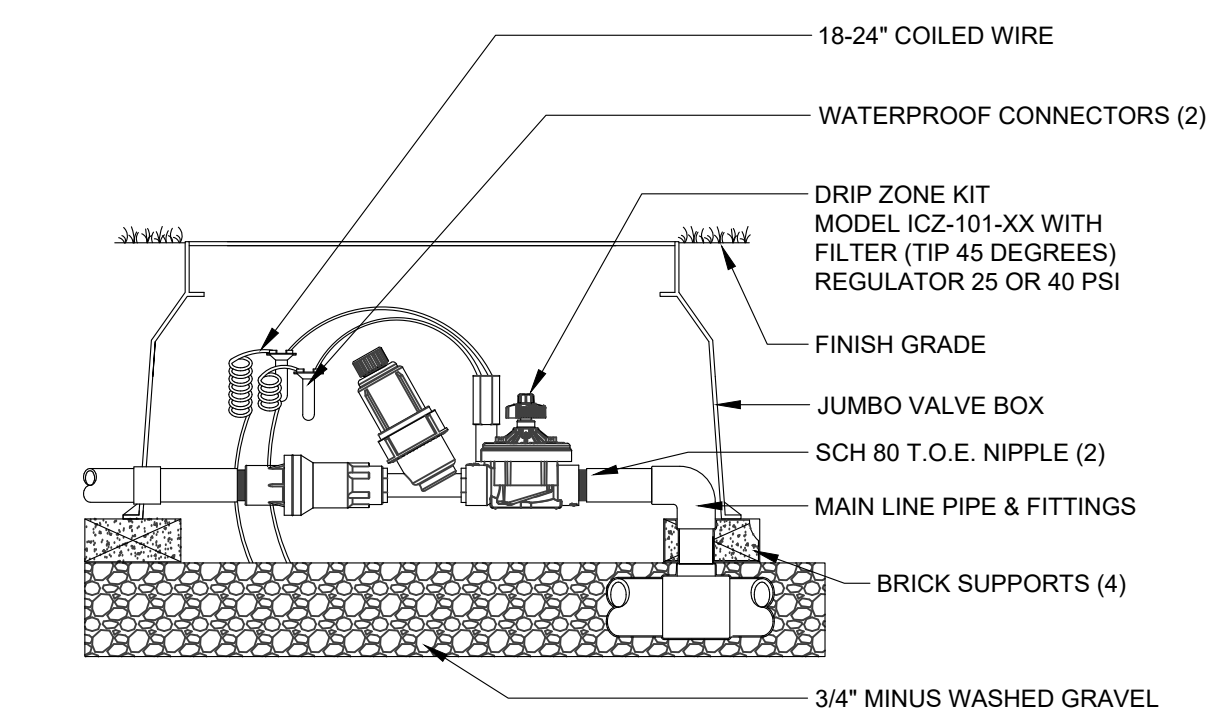
3 ELECTRIC REMOTE CONTROL VALVE
1 1/2" = 1'-0" FX-IR-FX-RCV-04



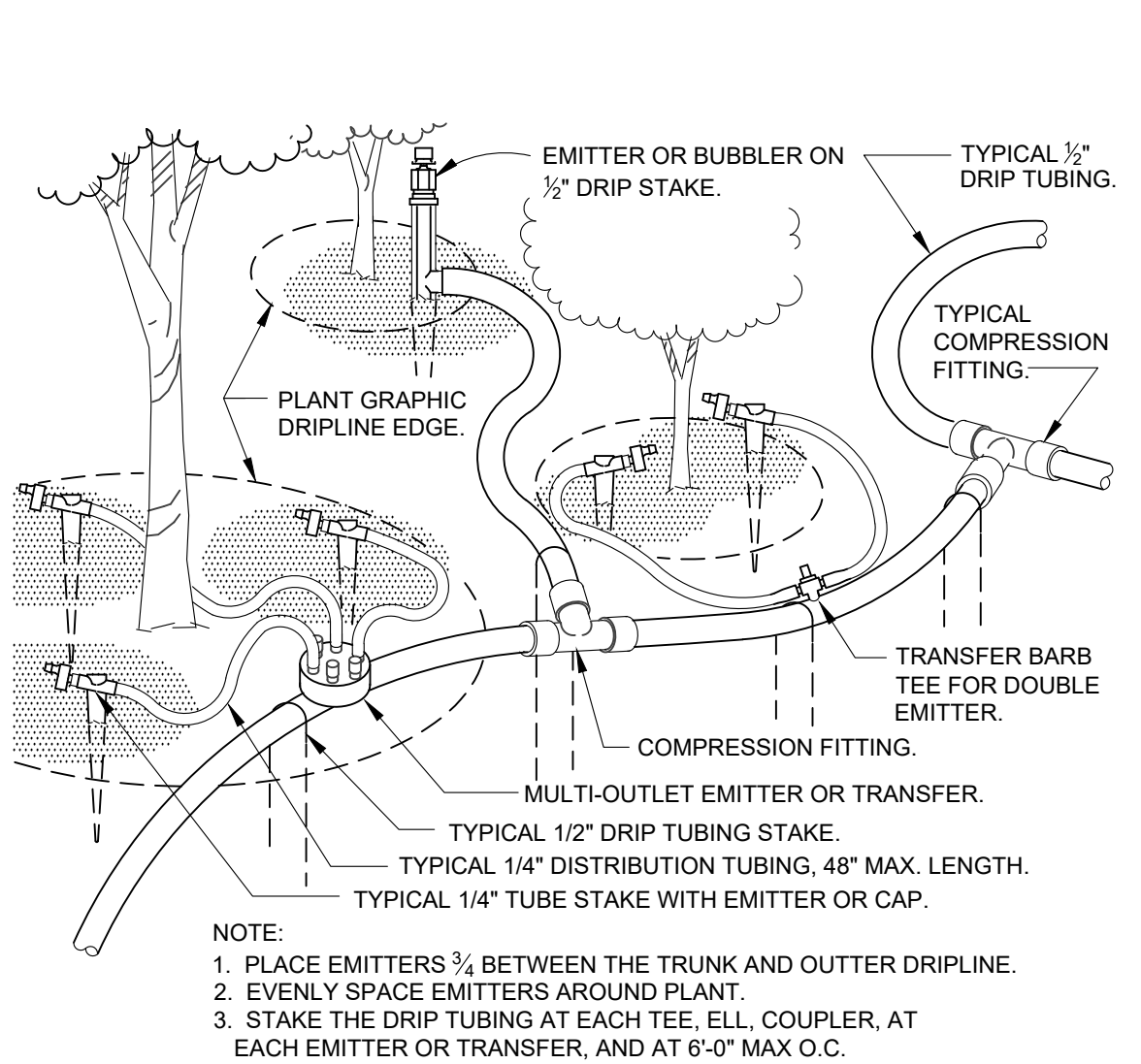
4 QUICK COUPLING VALVE IN BOX
1 1/2" = 1'-0" FX-IR-FX-QUIC-04



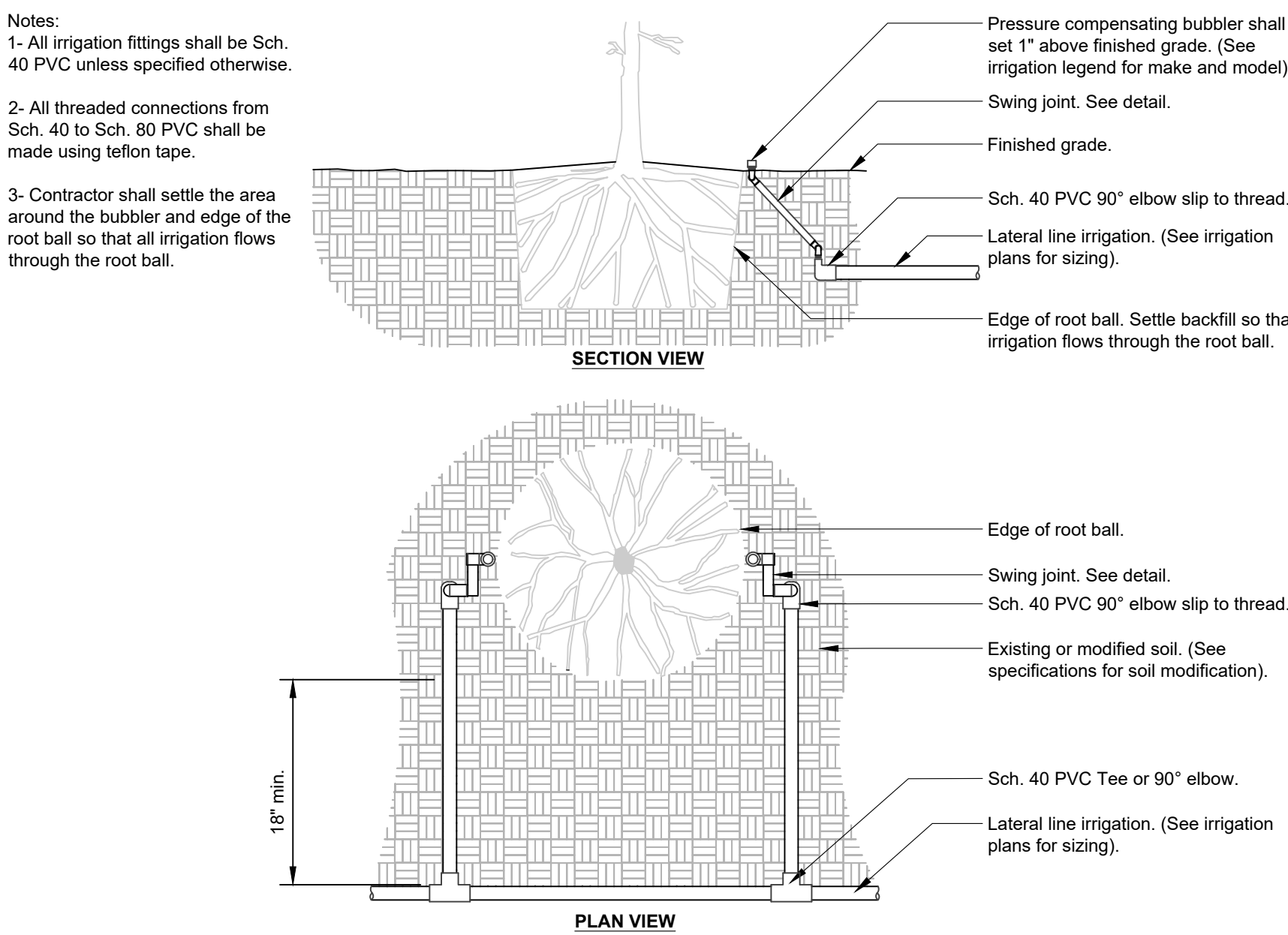
5 MASTER VALVE
1" = 1'-0" FX-IR-FX-MAST-06



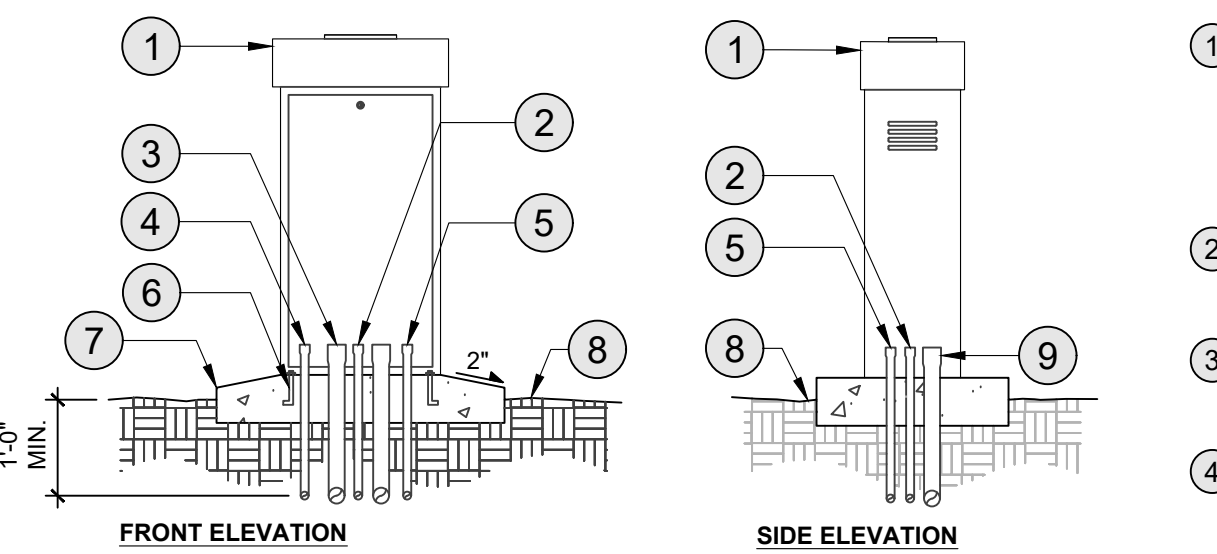
6 ICZ-101 DRIP CONTROL ZONE
1 1/2" = 1'-0" FX-IR-HUNT-DRIP-18



7 TYPICAL DRIP TUBING
1 1/2" = 1'-0" FX-IR-FX-DRIP-01



8 IRRIGATION BUBBLER (2) W/ LAYOUT
3/4" = 1'-0" FX-IR-FX-BUBB-01



9 PEDESTAL MOUNTED CONTROLLER
1/2" = 1'-0" FX-IR-FX-CONT-04

"I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plan"

Michael A. Arnone

date 7.1.2024

Michael Arnone + Associates
LANDSCAPE ARCHITECTURE

730 DIANA AVENUE
DIANA AVENUE INVESTORS LLC,
MONTEREY ROAD MORGAN HILL, CA

CITY OF MORGAN HILL
PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 3/7/2025

SR2024-0004

FILE NUMBER
Roshni Saxena
Assistant Planner

PLANNING OFFICIAL

© Michael Arnone Landscape Architect - 2024

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE, ISSUED FOR A ONE-TIME SINGLE USE BY THE OWNER. THE ENTIRE CONTENTS OF THESE DRAWINGS IS COPYRIGHT © MICHAEL ARNONE LANDSCAPE ARCHITECT. LANDSCAPE ARCHITECT RETAINS ALL RIGHTS AND TITLE. NO PART MAY BE REPRODUCED IN ANY FASHION OR MEDIUM WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT. THE PROPER ELECTRONIC TRANSFER OF DATA SHALL BE THE USER'S RESPONSIBILITY WITHOUT LIABILITY TO THE LANDSCAPE ARCHITECT.

OWNER SHALL ASSUME RESPONSIBILITY FOR COMPLIANCE WITH ALL EASEMENTS, SETBACK REQUIREMENTS AND PROPERTY LINES. OWNER SHALL ACQUIRE ALL NECESSARY PERMITS REQUIRED TO PERFORM WORK SHOWN ON PLANS. BASE INFORMATION HAS BEEN PROVIDED BY THE OWNER. MICHAEL ARNONE LANDSCAPE ARCHITECTURE ASSUMES NO LIABILITY FOR THE ACCURACY OF SAID PROPERTY LINE BOUNDARIES, FENCE LINES OR PROPERTY CORNERS.

REVISIONS



IRRIGATION DETAILS

JOB NO. 202311

SCALE as noted

DRAWN MA

CHECK

DATE 7.1.2024

SHEET

L-3.4

PLANNING OFFICIAL

A vicinity map showing the project location. The map includes streets such as F. MAIN AVE, CALLE MARITIMA, DIANA AVE, DEPT ST, MONTEREY RD, BUTTERFIELD BLVD, SAN PEDRO AVE, and CHURCH ST. A shaded area labeled "PROJECT SITE" is located near the intersection of DIANA AVE and BUTTERFIELD BLVD. A north arrow is present in the lower-left corner. The map is titled "VICINITY MAP" and "NOT TO SCALE".

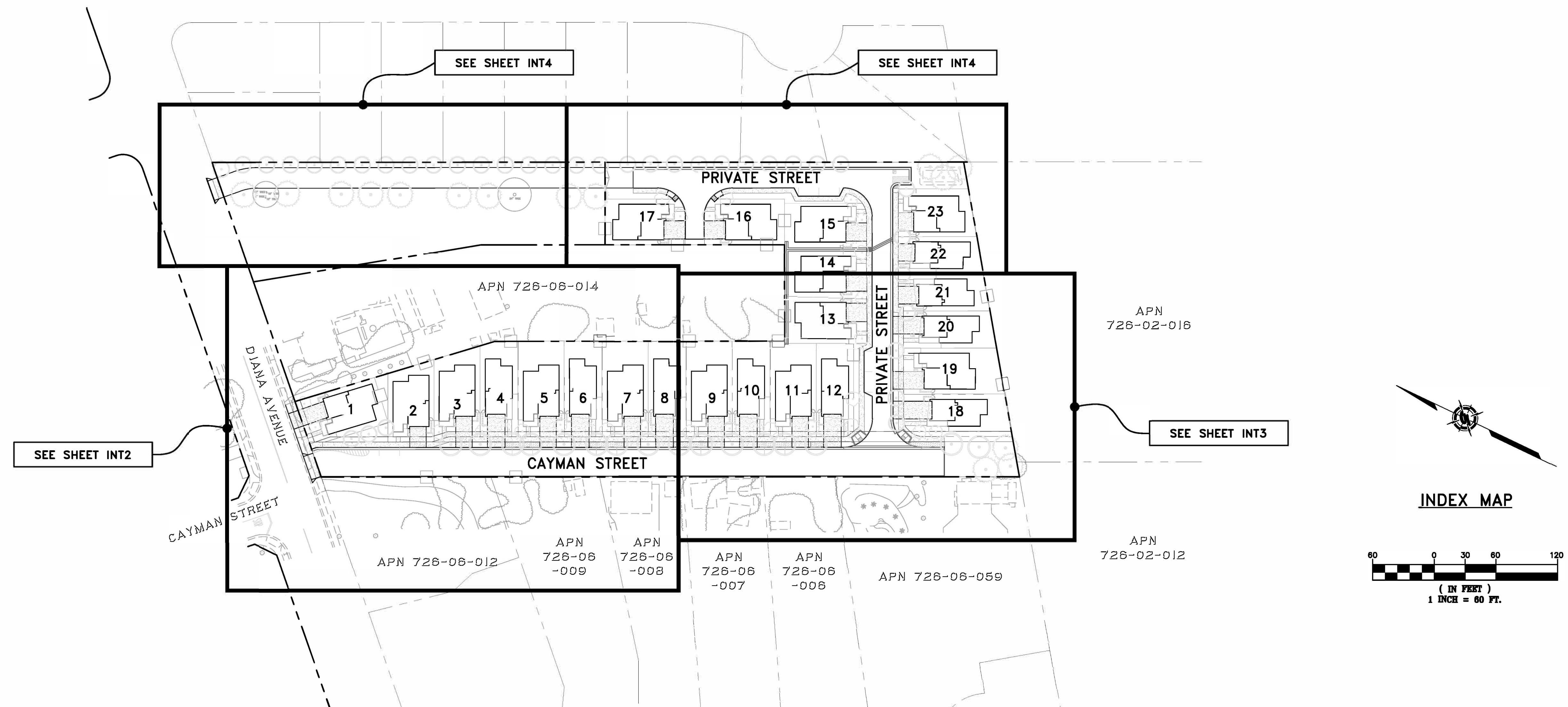
[illegible]

GIACALONE
DESIGN SERVICES, INC.

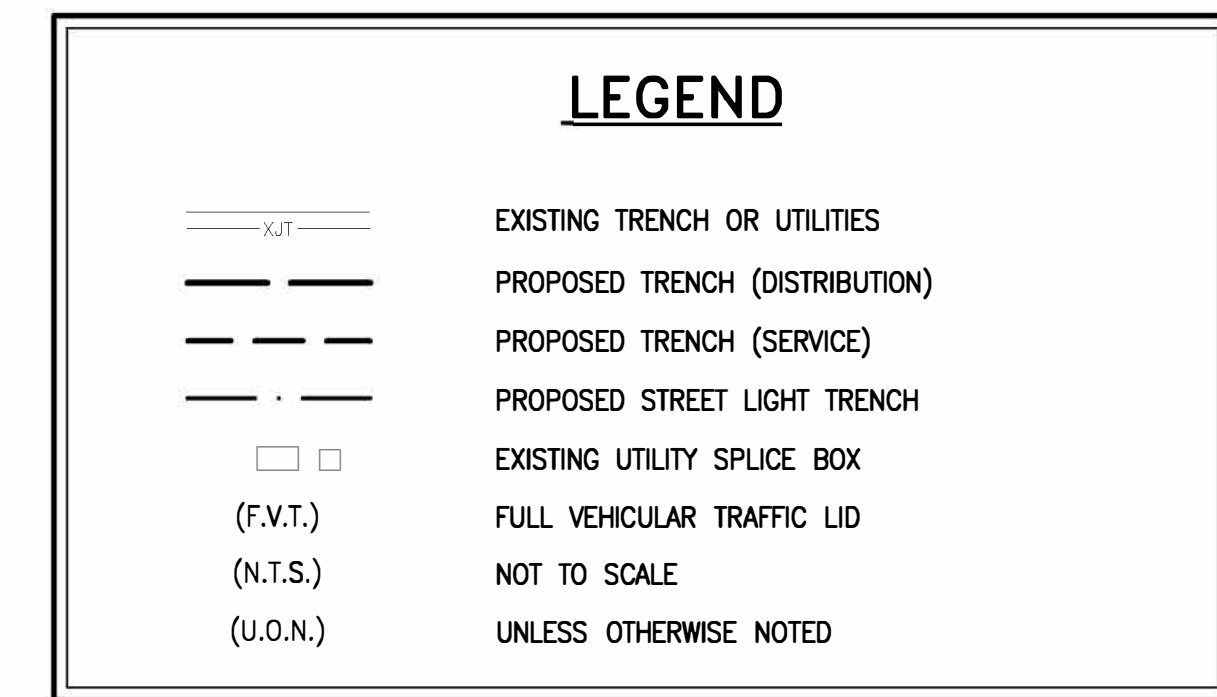
5820 STONERIDGE WALL RD., #345 | PLEASANTON, CA 94588
925.467.1740 | WWW.GIACALONEDSIGN.COM

MORGAN HILL
CALIFORNIA


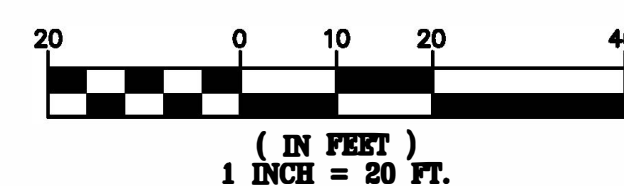
OF 4 SHEETS



PROJECT TEAM CONTACTS				PG&E PM NO.	LATEST FILES RECEIVED				PROJECT DESCRIPTION & SCOPE				SHEET INDEX				M. MORFIN
COMPANY:	CONTACT:	EMAIL:	PHONE:	ELECTRIC:	DESCRIPTION:	BY:	DATE:	STATUS:	<ul style="list-style-type: none">NEW SERVICE TO 15 SFD'S (ELEC., GAS, TELE & CATV)APPLICANT DESIGN/APPLICANT INSTALL				SHEET	DESCRIPTION			CHECKED BY: D. CROWFOOT, P.E.
DIVIDEND HOMES	JOSH VROTSOS	jvrotsos@dividendhomes.com	858 682-9062	RULE 15:	GAS DESIGN	GDSI							INT1	JOINT TRENCH INTENT TITLE SHEET <th>SCALE: 1"=60'</th>			SCALE: 1"=60'
BFK ENGINEERS	CHRISTIAN ANZELDE	canzelde@bfk.com	408-467-9102	RULE 16:	ELECTRIC DESIGN	GDSI							INT2-INT4	JOINT TRENCH INTENT <th>JOB NUMBER: 23-185</th>			JOB NUMBER: 23-185
				RULE 20:	TELEPHONE LAYOUT								EXH	CITY BROADBAND EXHIBIT <th>DATE LAST MODIFIED: 07-01-24</th>			DATE LAST MODIFIED: 07-01-24
				RELOC:	CATV LAYOUT								PRSL1	PRIVATE STREET LIGHTING TITLE SHEET <th>SHEET</th>			SHEET
				AFS:	STREET LIGHT PLANS - PUBLIC								PRSL2	PRIVATE STREET LIGHTING SITE PLAN <th>INT1</th>			INT1
				GAS:	STREET LIGHT PLANS - PRIVATE								PUSL1	PUBLIC STREET LIGHTING TITLE SHEET <th>OF</th>			OF
MICHAEL ARNONE + ASSOCIATES	MICHAEL ARNONE	RKNOWN1@hotmail.com	831-462-4988	RULE 15:	IMPROVEMENT PLANS (ELECTRONIC FILE)	BKF	07-01-24	-	PUSL2	PUBLIC STREET LIGHTING SITE PLAN <th>4</th>			4				
GIACALONE DESIGN SERVICES, INC.	B. FULLINGTON	brettg@dryutilitydesign.com	925-467-1740	RELOC:	A=Approved • ANS=Approved Not Signed • NA=Not Approved • F=First Submittal • SS=Second Submittal								SHEETS				



PLANNING OFFICIAL



TWO DAYS BEFORE YOU DIG
CALL USA TOLL FREE
811
CALL BEFORE YOU DIG

REVISIONS		
SYMBOL	DATE	DESCRIPTION
		APPROVED

 **GIACALONE**
DESIGN SERVICES, INC.

5820 STONERIDGE WALL RD., #345 | PLEASANTON, CA 94588
925-457-1740 | WWW.GIACALONEDSIGN.COM

JOINT TRENCH INTENT

**DIVIDEND HOMES
730 DIANA AVENUE**

MORGAN HILL

PROJECT MANAGER:

DRAWN BY:
M. MOREIN

CHECKED BY:
D. CROWFOOT, P.E.

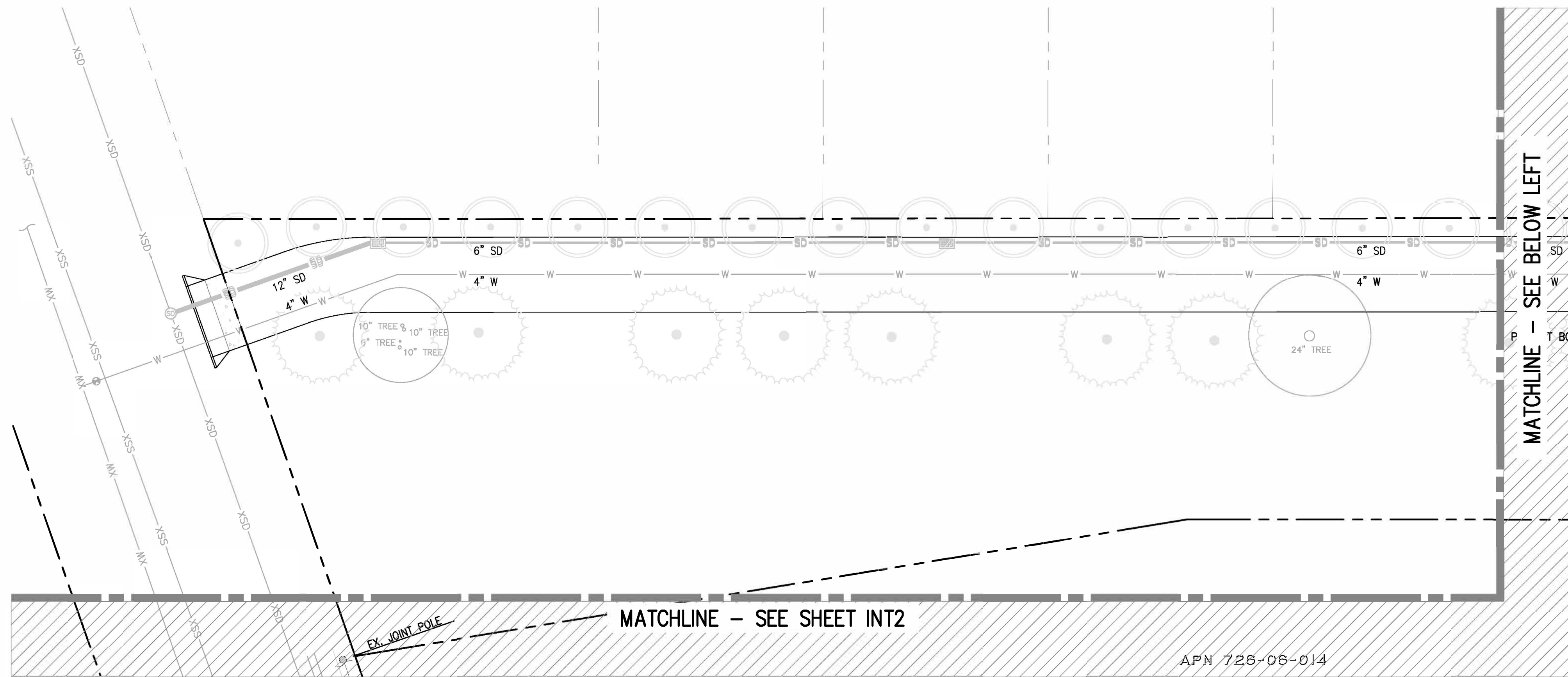
SCALE:
1"=20'

JOB NUMBER:
23-185

DATE LAST MODIFIED:
07-01-24

SHEET

INT3



LEGEND

	EXISTING TRENCH OR UTILITIES
	PROPOSED TRENCH (DISTRIBUTION)
	PROPOSED TRENCH (SERVICE)
	PROPOSED STREET LIGHT TRENCH
	EXISTING UTILITY SPLICE BOX
	FULL VEHICULAR TRAFFIC LID
(F.V.T.)	FULL VEHICULAR TRAFFIC LID
(N.T.S.)	NOT TO SCALE
(U.O.N.)	UNLESS OTHERWISE NOTED

CITY OF MORGAN HILL
PLAN APPROVED

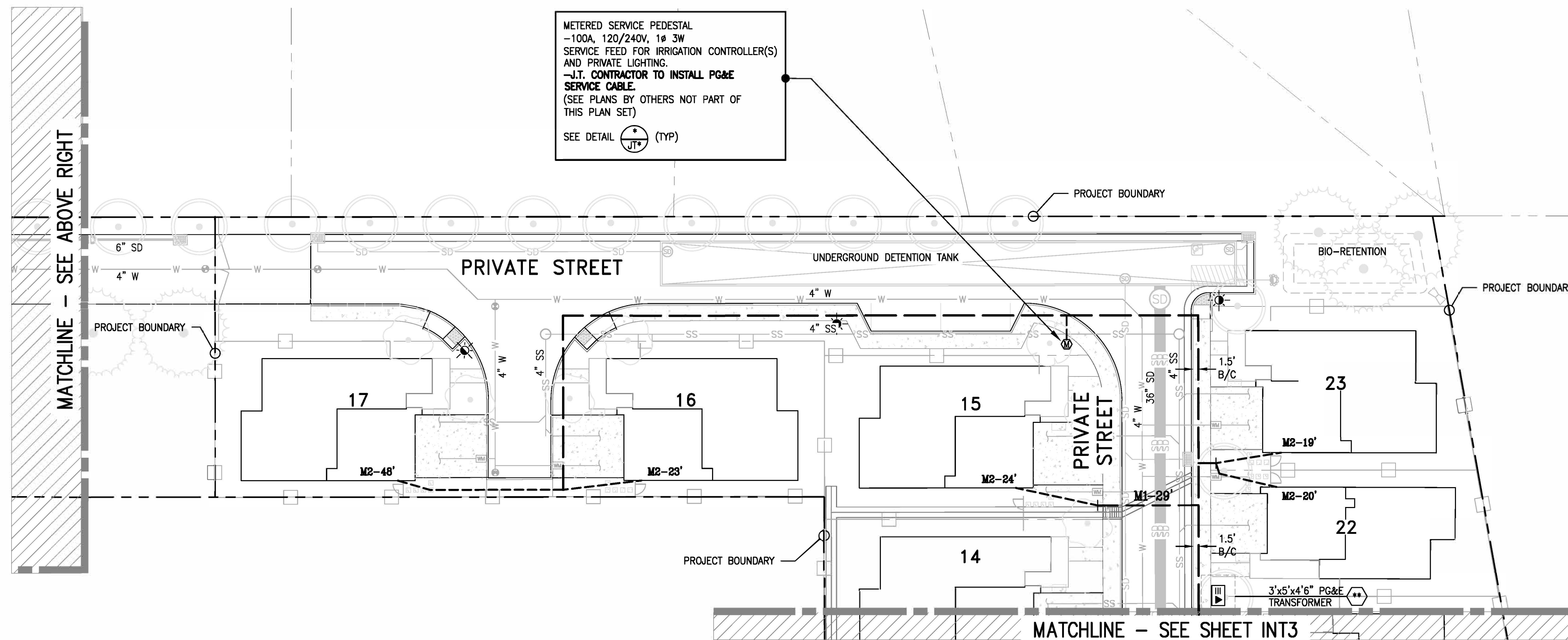
THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 3/7/2025

SR2024-0004

FILE NUMBER
Roshni Saxena
Assistant Planner

PLANNING OFFICIAL



INDEX MAP

20 0 10 20 40

(IN FEET)
1 INCH = 20 FT.

R/W, P.U.E. & P.S.E. ACQUISITION NOTE:
CONTRACTOR TO VERIFY RIGHT OF WAY, PUBLIC UTILITY EASEMENT
AND/OR PUBLIC SERVICE EASEMENT ACQUISITION WITH THE
APPLICANT PRIOR TO CONSTRUCTION WITHIN AREAS OF QUESTION.

TWO DAYS BEFORE YOU DIG
CALL USA TOLL FREE
811

CALL BEFORE YOU DIG

REVISIONS	
SYMBOL	DATE

GIACALONE
DESIGN SERVICES, INC.
5820 STONEMORE AVE. DR. #548 | RILEYTON, CA 94588
925.467.1740 | WWW.GIACALONEDSG.COM

JOINT TRENCH INTENT
DIVIDEND HOMES
730 DIANA AVENUE
MORGAN HILL
CALIFORNIA

PROJECT MANAGER:
B. FULLINGTON

DRAWN BY:
M. MORFIN

CHECKED BY:
D. CROWFOOT, P.E.

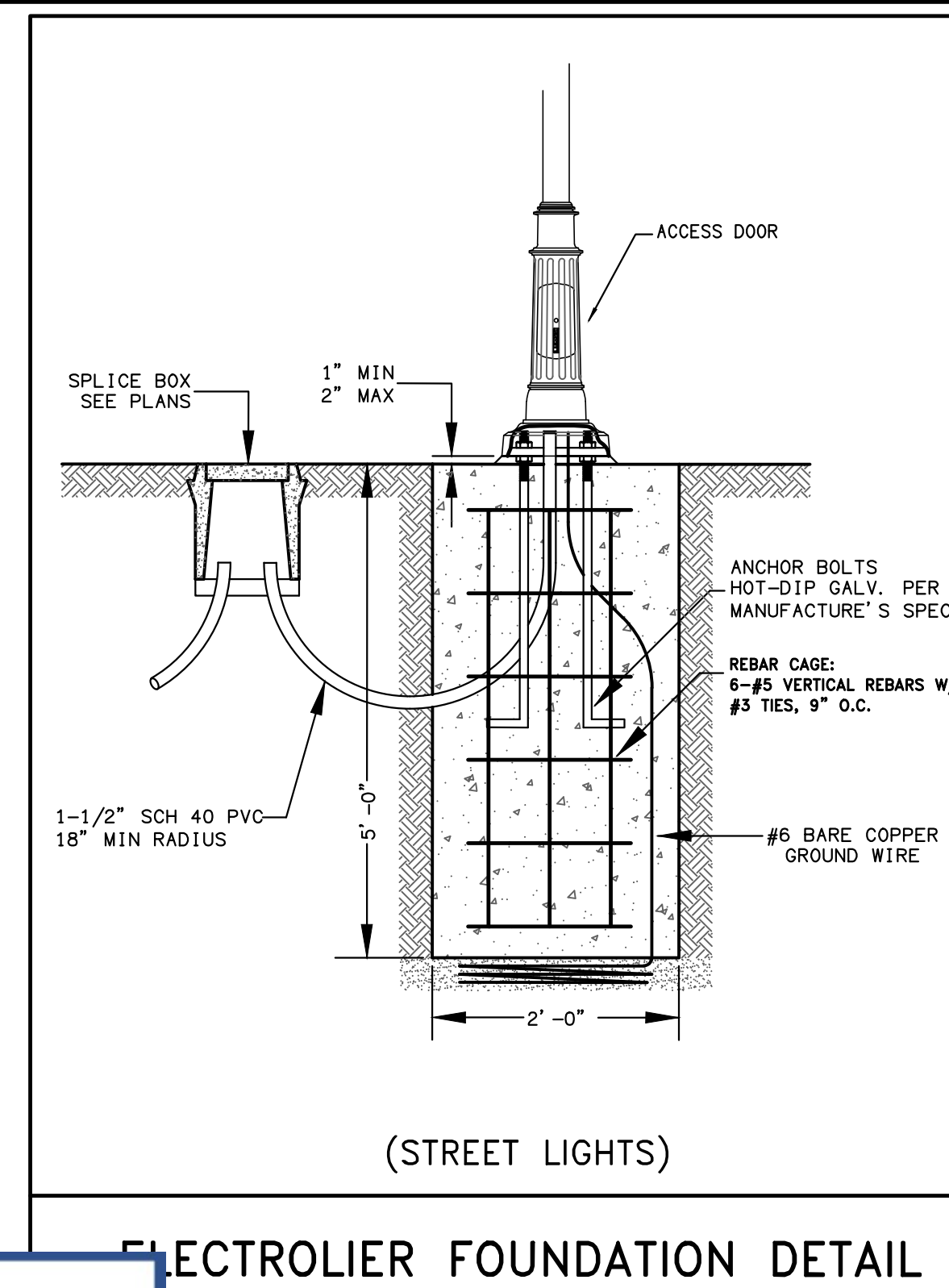
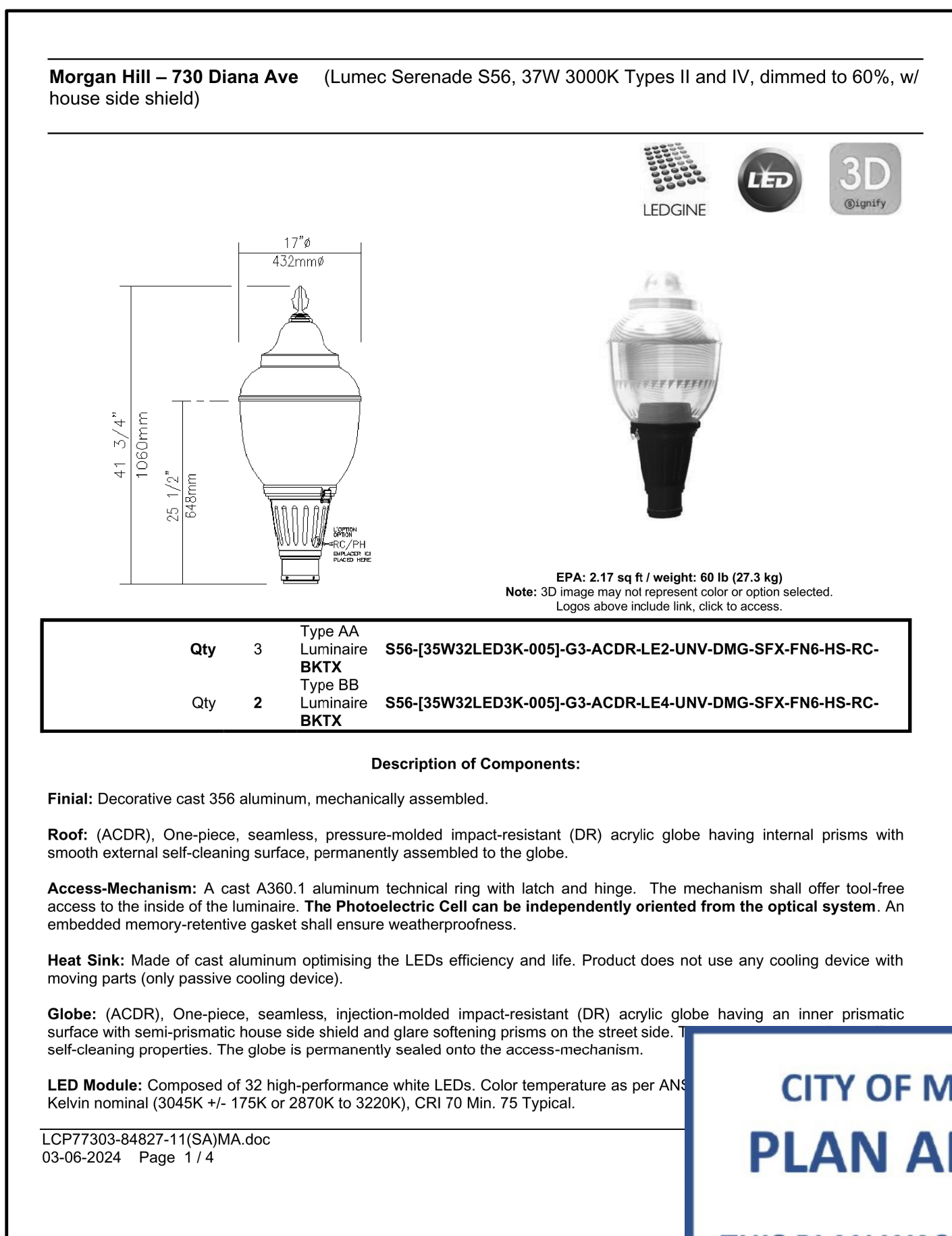
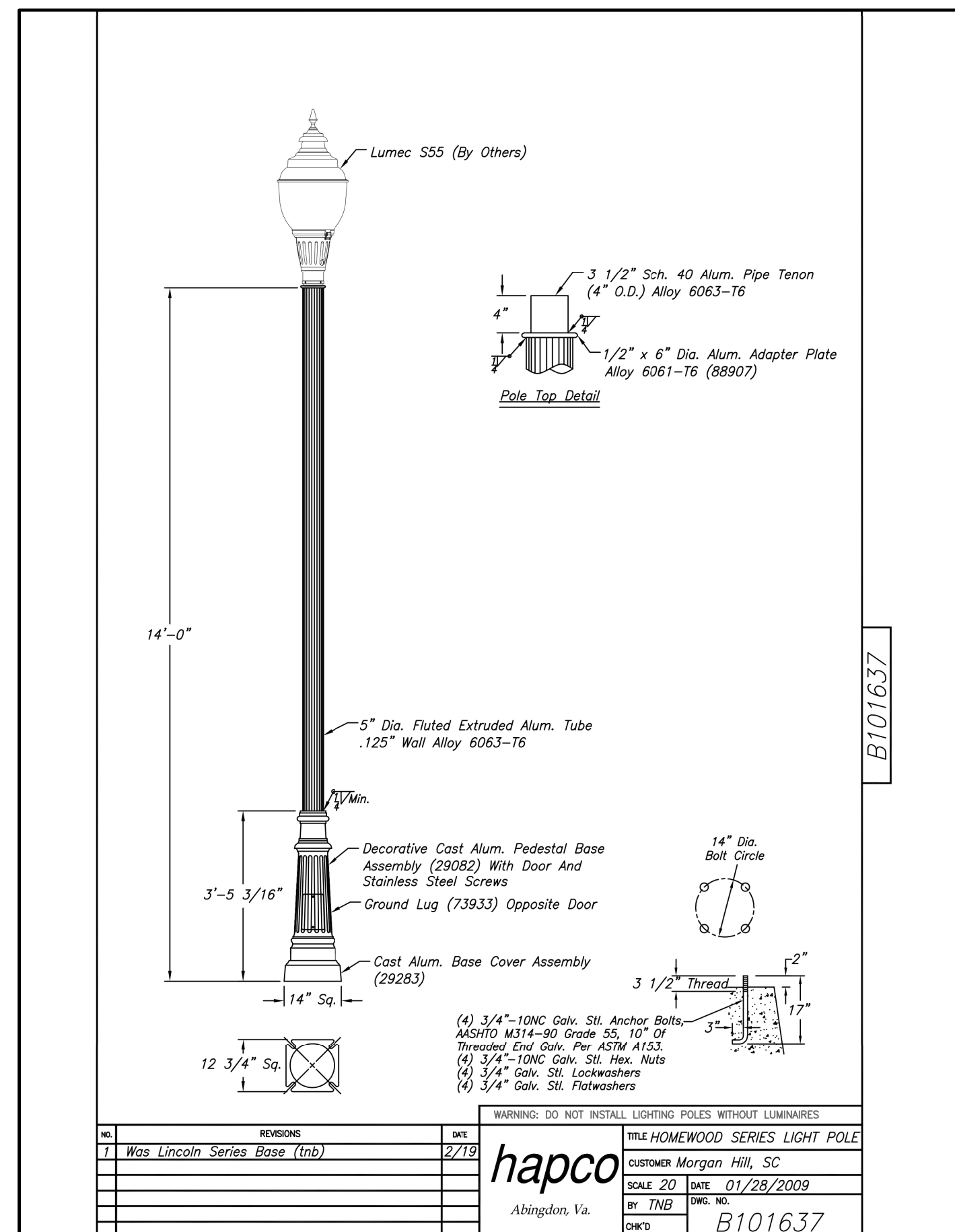
SCALE:
1"=20'

JOB NUMBER:
23-185

DATE LAST MODIFIED:
07-01-24

SHEET
INT4
OF 4 SHEETS

BORELLO PHASE 4 - PRIVATE STREET LIGHTING



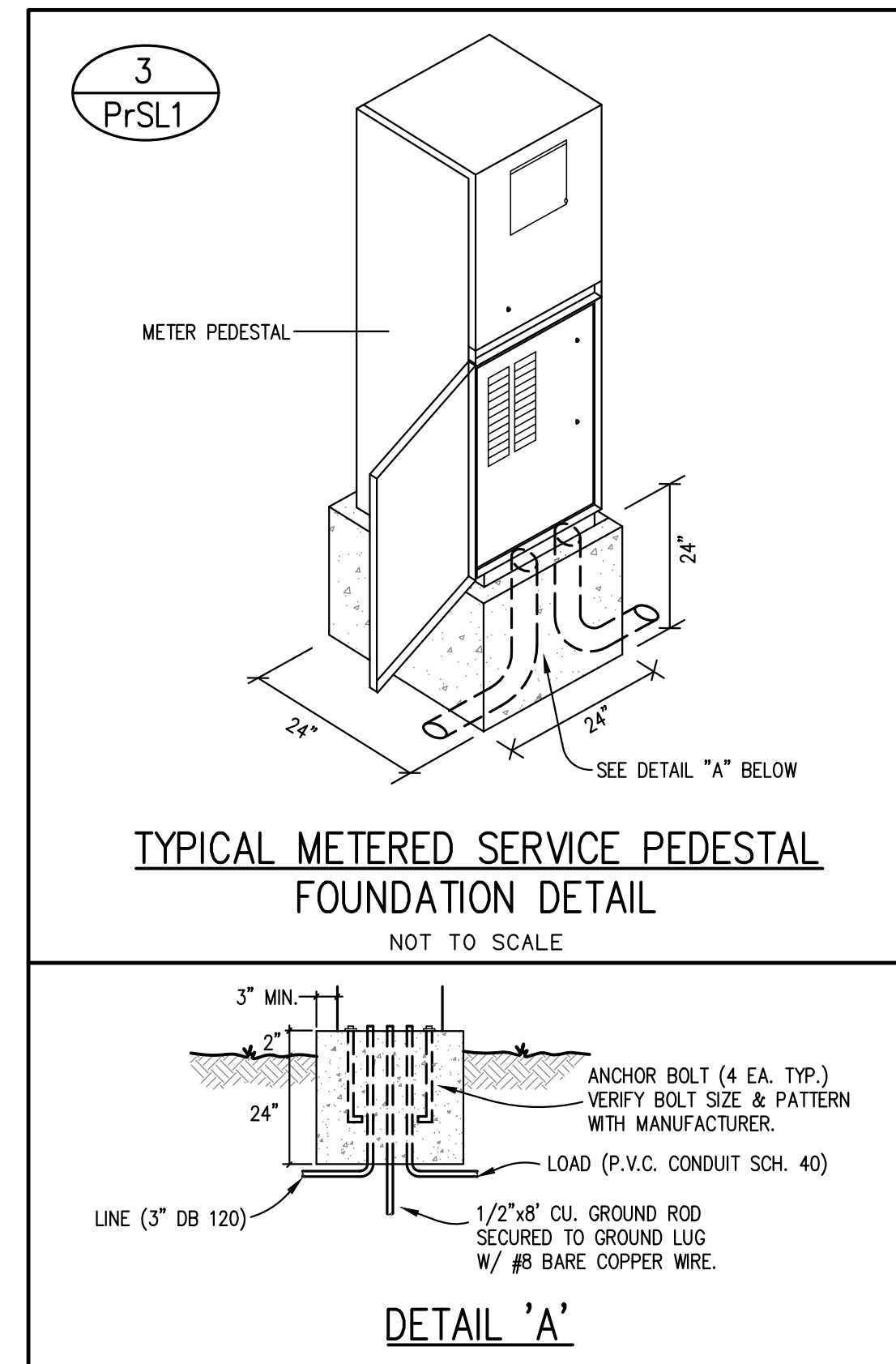
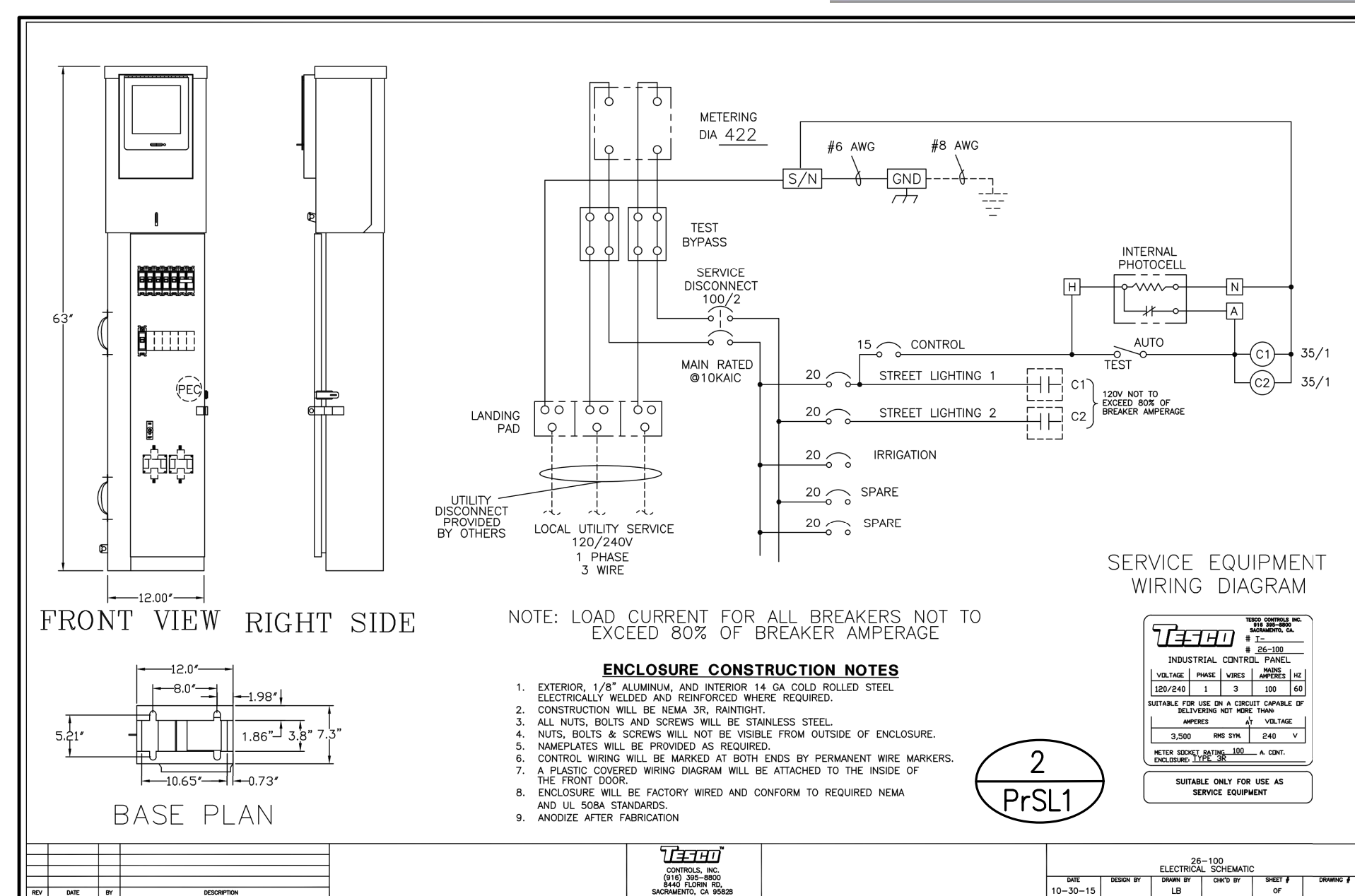
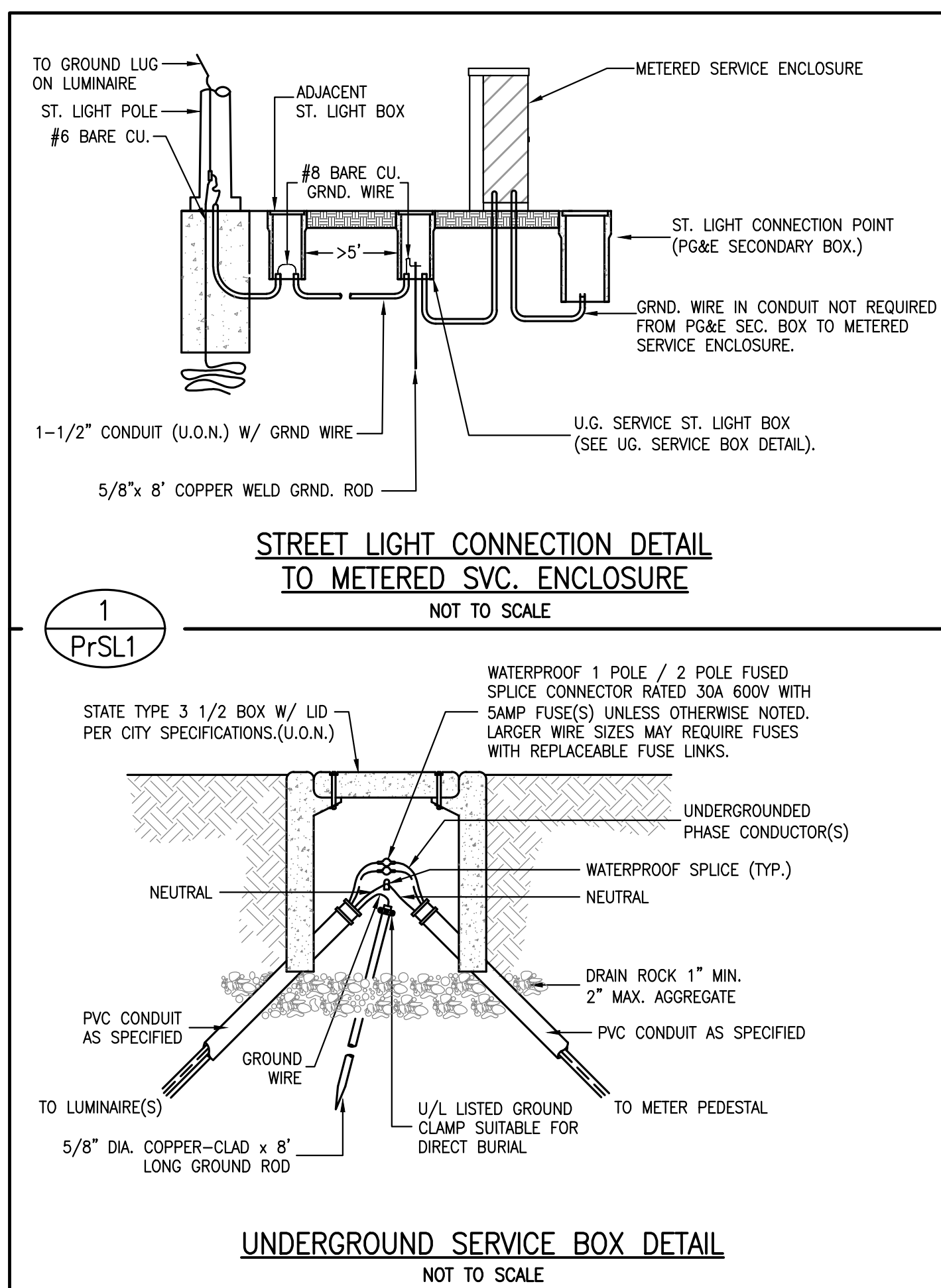
- ## PRIVATE LIGHTING CONTRACTORS NOTES
1. CONDUIT AND FITTINGS: ALL CONDUIT AND FITTINGS SHALL BE U.L. APPROVED. UNLESS OTHERWISE NOTED OR REQUIRED, S PROVIDE PULL ROPE IN ALL EMPTY CONDUITS.
 2. CONDUIT DEPTH: 24" UNDER SIDEWALK; 24" UNDER PLANTER STRIP; 36" UNDER PAVEMENT.
 3. CABLE: CABLE SHALL BE U.L. LISTED, TYPE THW OR THWN WITH MINIMUM OF 3/64" (46 MIL) POLYVINYL CHLORIDE INSULATION, UNLESS OTHERWISE NOTED. U.L. LISTED 600 VOLT, NO. 10 IN POLE MAY BE USED.
 4. SPLICE BOXES: SPLICE BOXES SHALL NOT BE MORE THAN 200 FEET APART ON LONG RUNS. (PER CALTRANS DETAIL ES-8A).
 5. FUSES: EACH STREET LIGHT SHALL BE FUSED WITH WATERPROOF IN-LINE FUSE HOLDERS (BUSHMAN HEB SERIES) AT EACH ADJACENT SPLICE BOX WITH 5 AMP FUSE.
 6. SPLICING: ALL SPLICES SHALL BE MADE IN LIGHT BOXES ONLY. SPLICES SHALL BE IN ACCORDANCE WITH CALTRANS STANDARD METHOD 'B'. (PER CALTRANS DETAIL ES-13A).

- ## PRIVATE LIGHTING GENERAL NOTES
1. ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE STATE FIRE MARSHALL, FEDERAL AND ALL APPLICABLE CITY, COUNTY, STATE AND LOCAL UTILITY COMPANY REGULATIONS; N.E.C., AND THE LATEST APPROVED STANDARDS OF I.E.E.C., A.S.A, N.E.M.A., U.L AND OSHA WHERE APPLICABLE. NOTHING IN THESE PLANS OR SPECIFICATIONS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE ABOVE. ALSO, ALL SECTIONS OF STATE OF CALIFORNIA PUC G.O. 95 SHALL APPLY.
 2. MATERIALS FURNISHED UNDER THIS SECTION OF THESE SPECIFICATIONS FOR WHICH UL STANDARDS HAVE BEEN ESTABLISHED SHALL BE LISTED AND BEAR THE LABEL OF UNDERWRITER'S LABORATORIES, INC.
 3. WHERE REQUIREMENTS OF APPLICABLE CODES AND STANDARDS CONFLICT WITH THE DRAWINGS OR THESE SPECIFICATIONS, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
 4. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT FIRST NOTIFYING & OBTAINING APPROVAL FROM CITY/COUNTY AGENCY & GACALONE DESIGN SERVICES, INC.
 5. CONTRACTOR TO INSTALL CIRCUIT GROUNDING AND GROUND WIRE IN CONDUIT PER N.E.C. STANDARDS AND LOCAL GOVERNING AGENCIES REQUIREMENTS.
 6. A LIST OF ALL MATERIALS & SUPPLIERS SHOULD BE PROVIDED TO AUTHORITY HAVING JURISDICTION FOR APPROVAL.
 7. GROUNDING & BONDING SHALL PROPERLY INTERCONNECT ALL METAL PARTS OF THE SYSTEM.
 8. ALL CONNECTIONS SHALL BE SECURED WITH LOCK NUTS AND INSULATED BUSHINGS.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING A COMPLETE OPERATING SYSTEM.
 10. GACALONE DESIGN SERVICES, INC. ASSUMES NO RESPONSIBILITY FOR ANY VARIANCE BETWEEN THESE PLANS AND THE ACTUAL FIELD CONDITIONS. CONTRACTOR SHOULD REVIEW PROJECT SITE PRIOR TO SUBMITTING ITS BID.
 11. ANY CHANGES OR MODIFICATIONS TO PROPOSED LIGHT LOCATIONS SHALL BE APPROVED, IN WRITING, BY THE CITY/COUNTY AGENCY PRIOR TO INSTALLATION.
 12. AS-BUILT DRAWINGS SHALL BE SUBMITTED TO THE STREET LIGHT ADMINISTRATION DEPT. OF THE CITY/COUNTY PRIOR TO ACCEPTANCE OF THE PRIVATE LIGHTING SYSTEM.

[illegible]

GIACALONE
DESIGN SERVICES, INC.

58620 STONERIDGE MALL RD., #345 | PLEASANTON, CA 94588
925.467.1740 | WWW.GIACALONEDSIGN.COM



CAUTION:
CONTACT U.S.A. (811) (2) FULL WORKING DAYS PRIOR TO STARTING WORK IF EXISTING UTILITIES CONFLICT WITH POLE LOCATION, FIELD ADJUST TO CLEAR EXISTING UTILITIES A MINIMUM OF 3'-0".

*NOTE: CONTRACTOR TO VERIFY ALL QUANTITIES AND SPECIFICATIONS PRIOR TO ORDERING

LUMINAIRE SCHEDULE								
TYPE	LUMINAIRE	DIST.	MTG. HT.	ARM	POLE HT.	COLOR	MATERIAL	QUANTITY
"AA" ✱ DECORATIVE POST TOP	37W, 32LED, 120V	TYPE LE2	16'-1"±	-	14'-0"	BKTX	ALUMINUM	3
"BB" ✱ DECORATIVE POST TOP	37W, 32LED, 120V	TYPE LE4	16'-1"±	-	14'-0"	BKTX	ALUMINUM	2

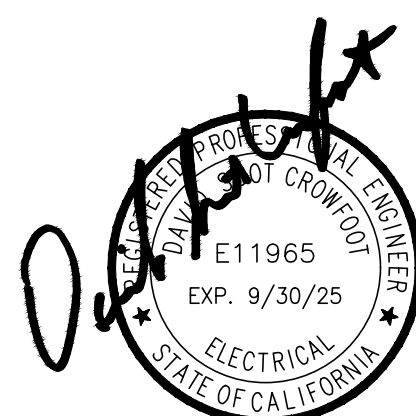
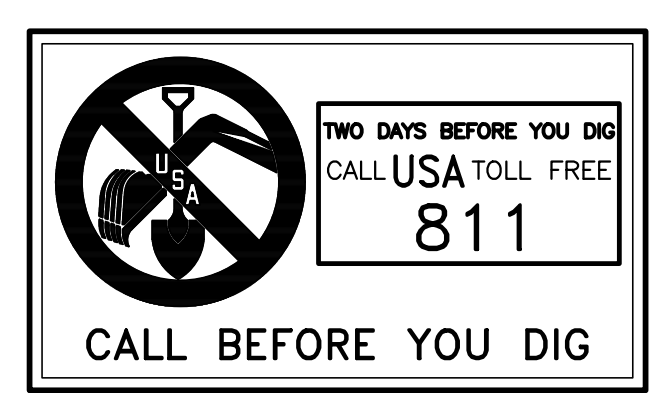
PUBLIC/PRIVATE LIGHTING: PRIVATE

PG&E RATE SCHEDULE: METERED

INSTALL IN JOINT TRENCH: _____

INSTALL IN SEPARATE TRENCH: ✓

CITY PERMIT REQUIRED: ✓

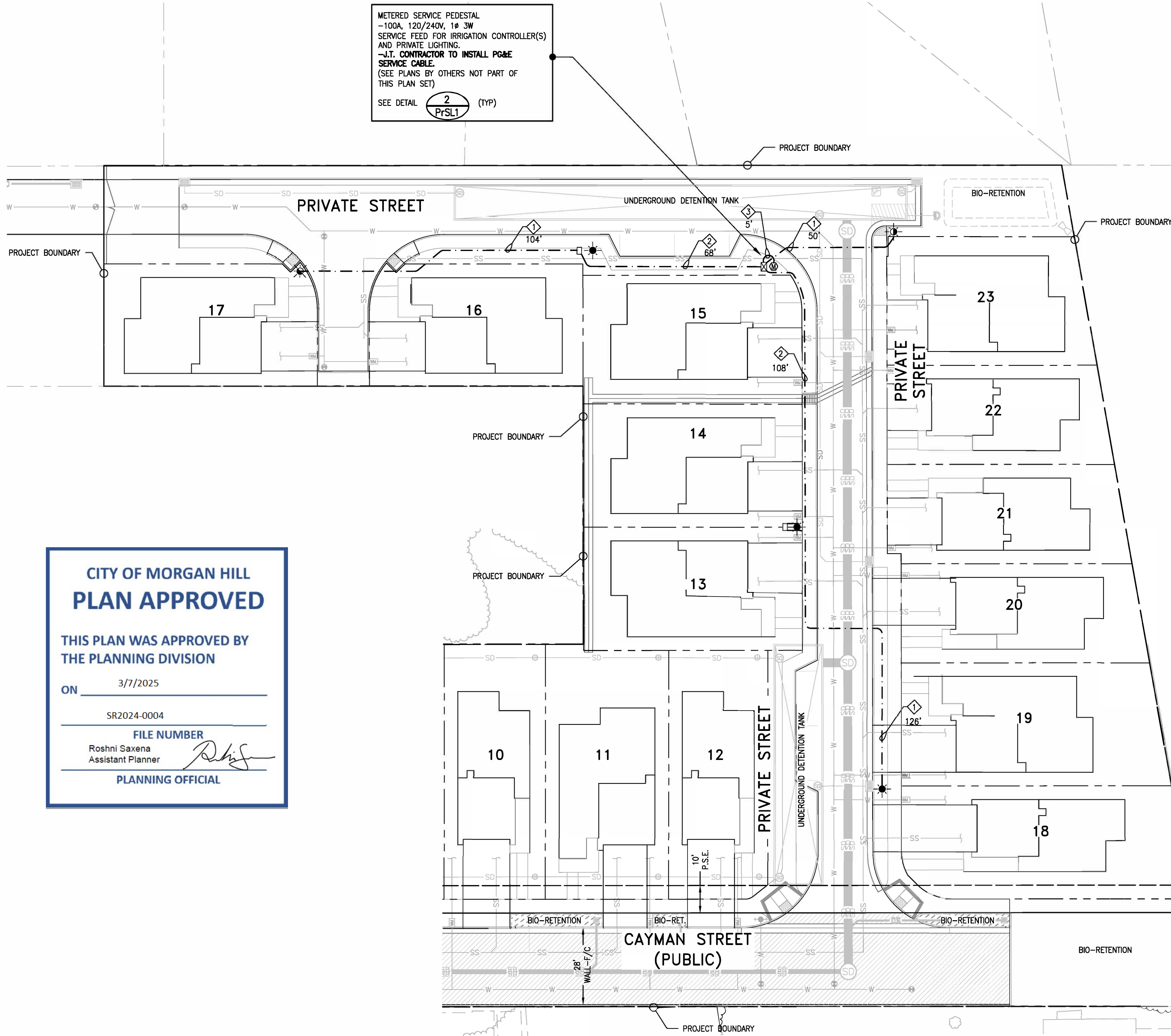


PRIVATE STREET LIGHTING TITLE SHEET

TOLL BROTHERS, INC.
BORELLO PHASE 4

MORGAN HILL CALIFORNIA

PROJECT MANAGER: B. FULLINGTON
DRAWN BY: H. GALLARDO
CHECKED BY: CCP
SCALE: NONE
JOB NUMBER: 23-185
DATE LAST MODIFIED: 07-01-234
SHEET PrSL1
OF 2 SHEETS



METERED SERVICE PEDESTAL
-100A, 120/240V, 1Ø 3W
SERVICE FEED FOR IRRIGATION CONTROLLER(S)
AND PRIVATE LIGHTING.
-J.T. CONTRACTOR TO INSTALL PG&E
SERVICE CABLE.
(SEE PLANS BY OTHERS NOT PART OF
THIS PLAN SET)
SEE DETAIL **2**
PrSL1 (TYP)

LEGEND	
	EXISTING TRENCH OR UTILITIES
	PROPOSED 1 1/2" SCH. 40 PVC CONDUIT
	PROPOSED POST TOP STREET LIGHT (37W)
	PROPOSED POST TOP STREET LIGHT (37W)
	STREET LIGHT BOX (STATE TYPE 3 1/2)
	STREET LIGHT BOX (STATE TYPE 5)
	METERED SERVICE PEDESTAL

AWG OR CABLE		RUN NUMBER				NUMBER OF CONDUCTORS			
		1	2	3	4	5	6	7	8
#4									
#6	GND								
#8	GND	2	4	4					
#10	IRRIG.			2					
#10	GND	1	1						
#12	IRRIG. GND			1					
CONDUIT SIZE		1 1/2"	1 1/2"	1 1/2"					

CITY OF MORGAN HILL
PLAN APPROVED

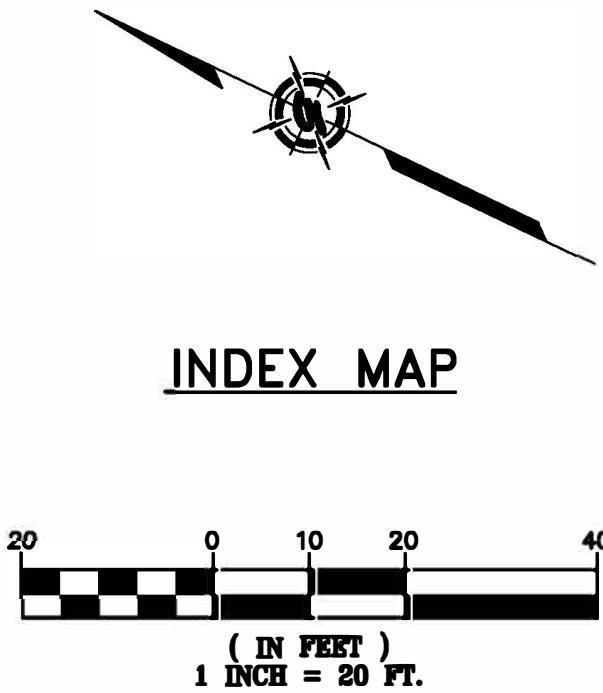
THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 3/7/2025

SR2024-0004

FILE NUMBER
Roshni Saxena
Assistant Planner

PLANNING OFFICIAL

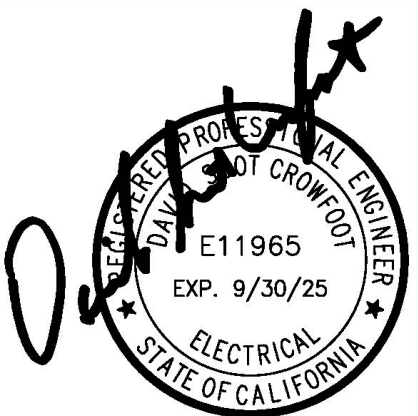


CAUTION:
CONTACT U.S.A. (811) (2) FULL WORKING DAYS PRIOR
TO STARTING WORK IF EXISTING UTILITIES CONFLICT WITH
POLE LOCATION, FIELD ADJUST TO CLEAR EXISTING
UTILITIES A MINIMUM OF 3'-0".

NOTE:
CONDUIT SHOWN SCHEMATICALLY. REFER TO JOINT TRENCH
COMPOSITE PLAN FOR EXACT TRENCH AND BOX LOCATIONS.

TWO DAYS BEFORE YOU DIG
CALL USA TOLL FREE
811

CALL BEFORE YOU DIG



REVISIONS

SYMBOL	DATE	DESCRIPTION

GIACALONE
DESIGN SERVICES, INC.
5920 STONYBROOK AVE., #548 | RILEY, CA 94588
925.467.1740 | WWW.GIACALONEDESIGN.COM

PRIVATE STREET LIGHTING SITE PLAN

DIVIDEND HOMES
730 DIANA AVENUE

MORGAN HILL
CALIFORNIA

PROJECT MANAGER:
B. FULLINGTON

DRAWN BY:
H. GALLARDO

CHECKED BY:
CCP

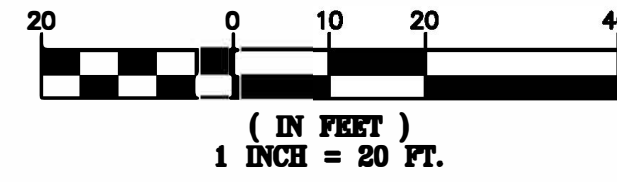
SCALE:
1"=20'

JOB NUMBER:
23-185

DATE LAST MODIFIED:
07-01-24







SHEET
PrSL2
OF 2 SHEETS

INDEX MAP



CONDUCTOR AND CONDUIT SCHEDULE						
AWG OR CABLE	RUN NUMBER					
	NUMBER OF CONDUCTORS					
	1	2	3			
#4						
#6	GND					
#8		2	4	4		
	GND					
#10						
	GND	1	1			
#12						
	GND					
CONDUIT SIZE	1½"	1½"	1½"			

LEGEND

	EXISTING TRENCH OR UTILITIES
	PROPOSED 1-1/2 " SCH. 40 PVC CONDUIT
	PROPOSED SINGLE ARM STREET LIGHT (66W)
	STREET LIGHT BOX (STATE TYPE 3 1/2)
	ELECTRIC SERVICE POINT (SECONDARY BOX)
	STREET LIGHT POLE NUMBER

[illegible]

GIACALONE
DESIGN SERVICES, INC.

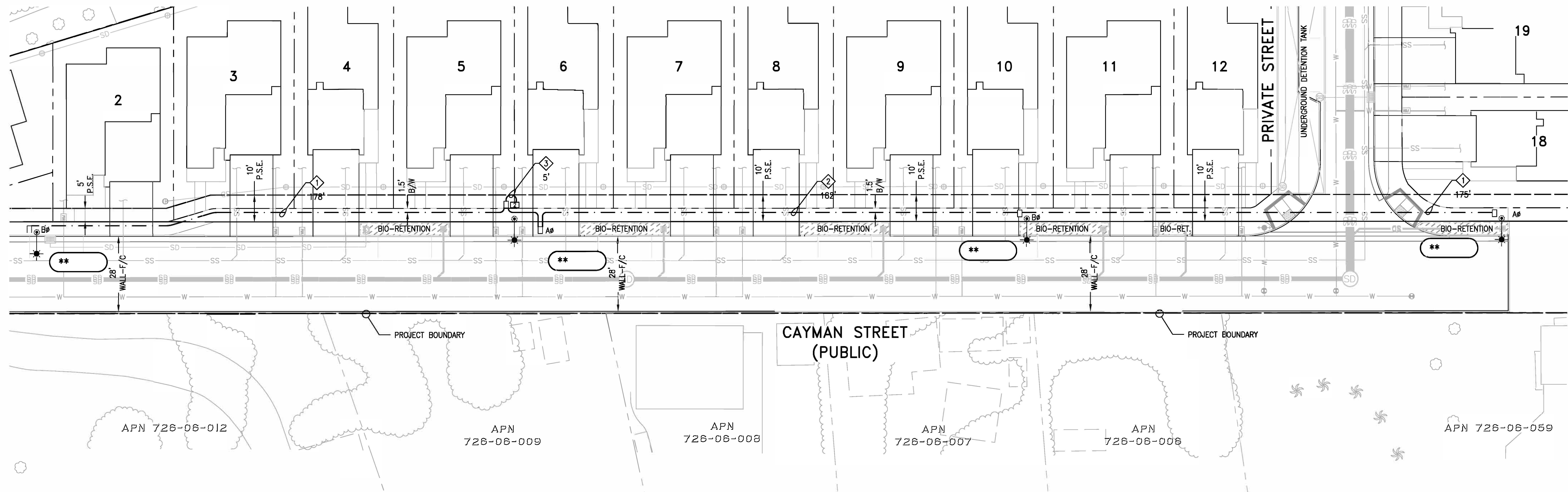
5820 STONERIDGE MALL RD., #345 | PLEASANTON, CA 94588
925.487.1740 | WWW.GIACALONEDSIGN.COM

PUBLIC STREET LIGHTING SITE PLAN

DIVIDEND HOMES
730 DIANA AVENUE

MORGAN HILL CALIFORNIA

PROJECT MANAGER: B. FULLINGTON
DRAWN BY: H. GALLARDO
CHECKED BY: CCP
SCALE: 1"=20'
JOB NUMBER: 23-185
DATE LAST MODIFIED: 07-01-24
SHEET PuSL2 OF 2 SHEETS



CITY OF MORGAN HILL
PLAN APPROVED

**THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION**

ON 3/7/2025

SR2024-0004

FILE NUMBER

Roshni Saxena
Assistant Planner

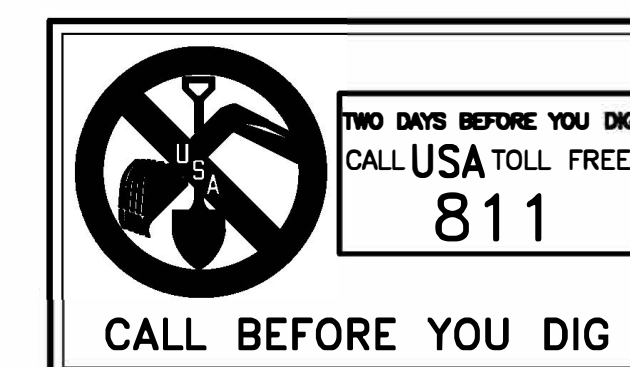
PLANNING OFFICIAL

CAUTION:

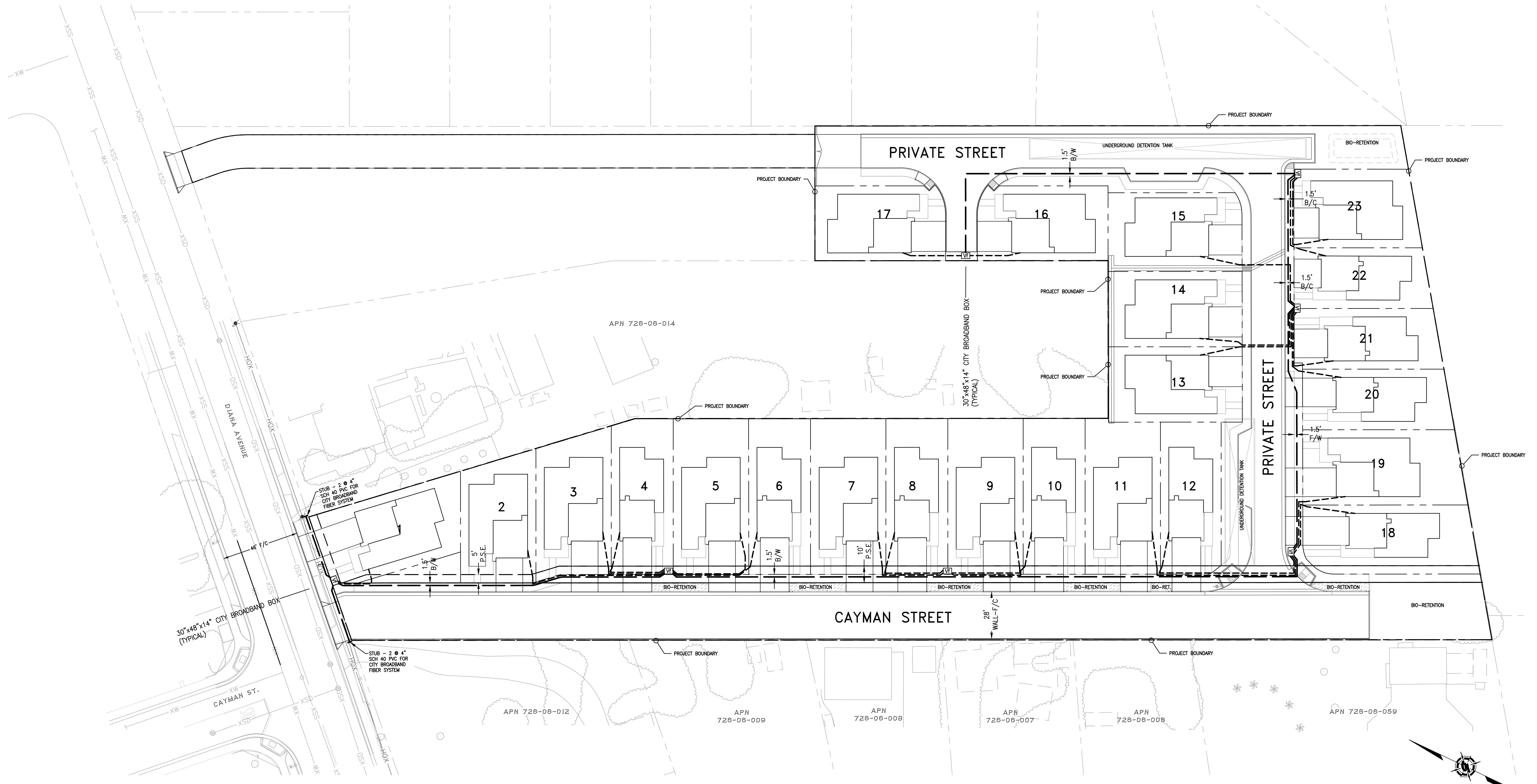
CONTACT U.S.A. (811) (2) FULL WORKING DAYS PRIOR TO STARTING WORK IF EXISTING UTILITIES CONFLICT WITH POLE LOCATION, FIELD ADJUST TO CLEAR EXISTING UTILITIES A MINIMUM OF 3'-0".

NOTE:

CONDUIT SHOWN SCHEMATICALLY. REFER TO JOINT TRENCH COMPOSITE PLAN FOR EXACT TRENCH AND BOX LOCATIONS.



CITY BROADBAND FIBER EXHIBIT- THIS IS A SCHEMATIC DRAWING. ALL CITY BROADBAND CONDUITS WILL BE INSTALLED IN THE JOINT TRENCH



**CITY OF MORGAN HILL
PLAN APPROVED**

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 3/7/2025

SR2024-0004

FILE NUMBER
Roshni Saxena
Assistant Planner

PLANNING OFFICIAL

LEGEND

- EXISTING TRENCH OR UTILITIES
- 2 @ 4" SCH. 40 PVC CONDUIT (CITY BROADBAND DISTRIBUTION CONDUIT)
- 1 @ 2" SCH. 40 PVC CONDUIT (CITY BROADBAND SERVICE CONDUIT)
- EXISTING UTILITY SPLICE BOX
- 30"x48"x14" CITY BROADBAND BOX (NO. 8 PULLBOX)
- PROPOSED STREET LIGHT
- EXISTING UTILITY POLE
- EXISTING UTILITY POLE GUY ANCHOR

R/W, P.U.E. & P.S.E. ACQUISITION NOTE:
CONTRACTOR TO VERIFY RIGHT OF WAY, PUBLIC UTILITY EASEMENT AND/OR PUBLIC SERVICE EASEMENT ACQUISITION WITH THE APPLICANT PRIOR TO CONSTRUCTION WITHIN AREAS OF QUESTION.

INDEX MAP

30 0 15 30 60
(IN FEET)
1 INCH = 30 FT.

CALL BEFORE YOU DIG
TWO DAYS BEFORE YOU DIG
CALL USA TOLL FREE
811

REVISIONS	
SYMBOL	DATE

GIACALONE
DESIGN SERVICES, INC.
5520 STONERIDGE MALL RD., #345 | PLEASANTON, CA 94588
925.467.1740 | WWW.GIACALONEDSIGN.COM

CITY BROADBAND FIBER EXHIBIT
DIVIDEND HOMES
730 DIANA AVENUE
MORGAN HILL
CALIFORNIA

PROJECT MANAGER:
B. FULLINGTON

DRAWN BY:
B. FULLINGTON

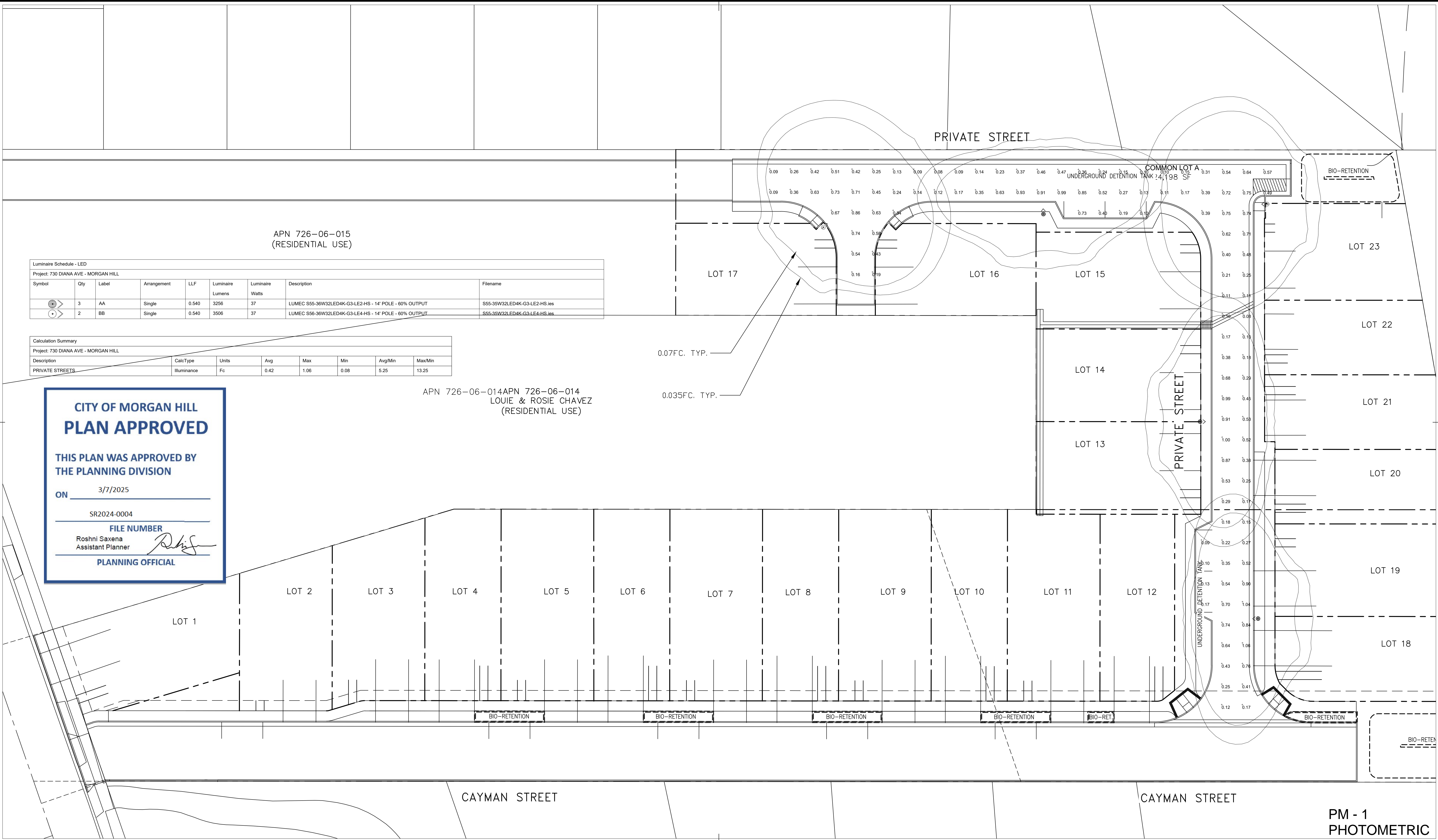
CHECKED BY:
D. CROWFOOT, P.E.

SCALE:
1"=30'

JOB NUMBER:
23-185

DATE LAST MODIFIED:
07-01-24

SHEET
EXH



APN 726-06-015
(RESIDENTIAL USE)

Luminaire Schedule - LED								
Project: 730 DIANA AVE - MORGAN HILL								
Symbol	Qty	Label	Arrangement	LLF	Luminaire Lumens	Luminaire Watts	Description	Filename
	3	AA	Single	0.540	3256	37	LUMEC S55-36W32LED4K-G3-LE2-HS - 14' POLE - 60% OUTPUT	S55-36W32LED4K-G3-LE2-HS.ies
	2	BB	Single	0.540	3506	37	LUMEC S56-36W32LED4K-G3-LE4-HS - 14' POLE - 60% OUTPUT	S55-36W32LED4K-G3-LE4-HS.ies

Calculation Summary								
Project: 730 DIANA AVE - MORGAN HILL								
Description	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
PRIVATE STREETS	Illuminance	Fc	0.42	1.06	0.08	5.25	13.25	

CITY OF MORGAN HILL
PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 3/7/2025

SR2024-0004

FILE NUMBER

Roshni Saxena
Assistant Planner

PLANNING OFFICIAL

APN 726-06-014APN 726-06-014
LOUIE & ROSIE CHAVEZ
(RESIDENTIAL USE)

0.07FC. TYP.

0.035FC. TYP.

ALL VALUES SHOWN ARE MAINTAINED HORIZONTAL FOOTCANDLES AT GRADE

PHOTOMETRIC DATA USED AS INPUT FOR THESE CALCULATIONS
IS BASED ON ESTABLISHED IES PROCEDURES AND PUBLISHED
LAMP RATINGS. FIELD PERFORMANCE WILL DEPEND ON ACTUAL
LAMP, BALLAST, ELECTRICAL, AND SITE CHARACTERISTICS.

Calculations have been performed according to IES standards and good practice.
Some differences between measured values and calculated results may occur due to
tolerances in calculation methods, testing procedures, component performance,
measurement techniques and field conditions such as voltage and temperature
variations. Input data used to generate the attached calculations such as room
dimensions, reflectances, furniture and architectural elements significantly affect the
lighting calculations. If the real environment conditions do not match the input data,
differences will occur between measured values and calculated values.

Associated Lighting Representatives, Inc.

ASSOCIATED LIGHTING REPRESENTATIVES, INC
7777 PARDEE LANE
P.O. BOX 2265
OAKLAND, CA 94621
PHONE: (510) 638-0158 - FAX (510) 638-2908

REPORT FOR: GIACALONE DESIGN SERVICES
BY: APPLICATIONS ENGINEERING; RAMON ZAPATA
SALES REPRESENTATIVE: ALR; KRISTIAN REYES



AGI32 VERSION 21.2
AGI (C) 2024 LIGHTING ANALYSTS, INC.
10268 W. CENTENNIAL ROAD, SUITE 202
LITTLETON, CO 80127

PROJECT DESCRIPTION

730 DIANA AVE
CITY OF MORGAN HILL

DRAWING NO. / INPUT FILE

22639REY.DWG / 22639REY.A32

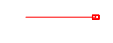
SCALE
1" = 20'

SHEET
1 OF 1

DATE
02.14.2024

REV
X

PM - 1
PHOTOMETRIC

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number
	4	2MB-E	SINGLE	1.000	4579	66	STR-LWY-2MB-HT-04-E-UL-525-40K-R-UTL

Calculation Summary (Footcandles calculated using LMF: 1.00)						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Fc	0.22	0.9	0.0	N.A.	N.A.
Cayman Street	Fc	0.48	0.9	0.1	4.80	9.00

NOTE: POLES AND 8' DAVIT ARMS BY OTHERS

*** CUSTOMER TO VERIFY ORDERING INFORMATION AND CATALOGUE NUMBER PRIOR TO PLACING ORDER ***

CITY OF MORGAN HILL

PLAN APPROVED

THIS PLAN WAS APPROVED BY

THE PLANNING DIVISION

ON

3/7/2025

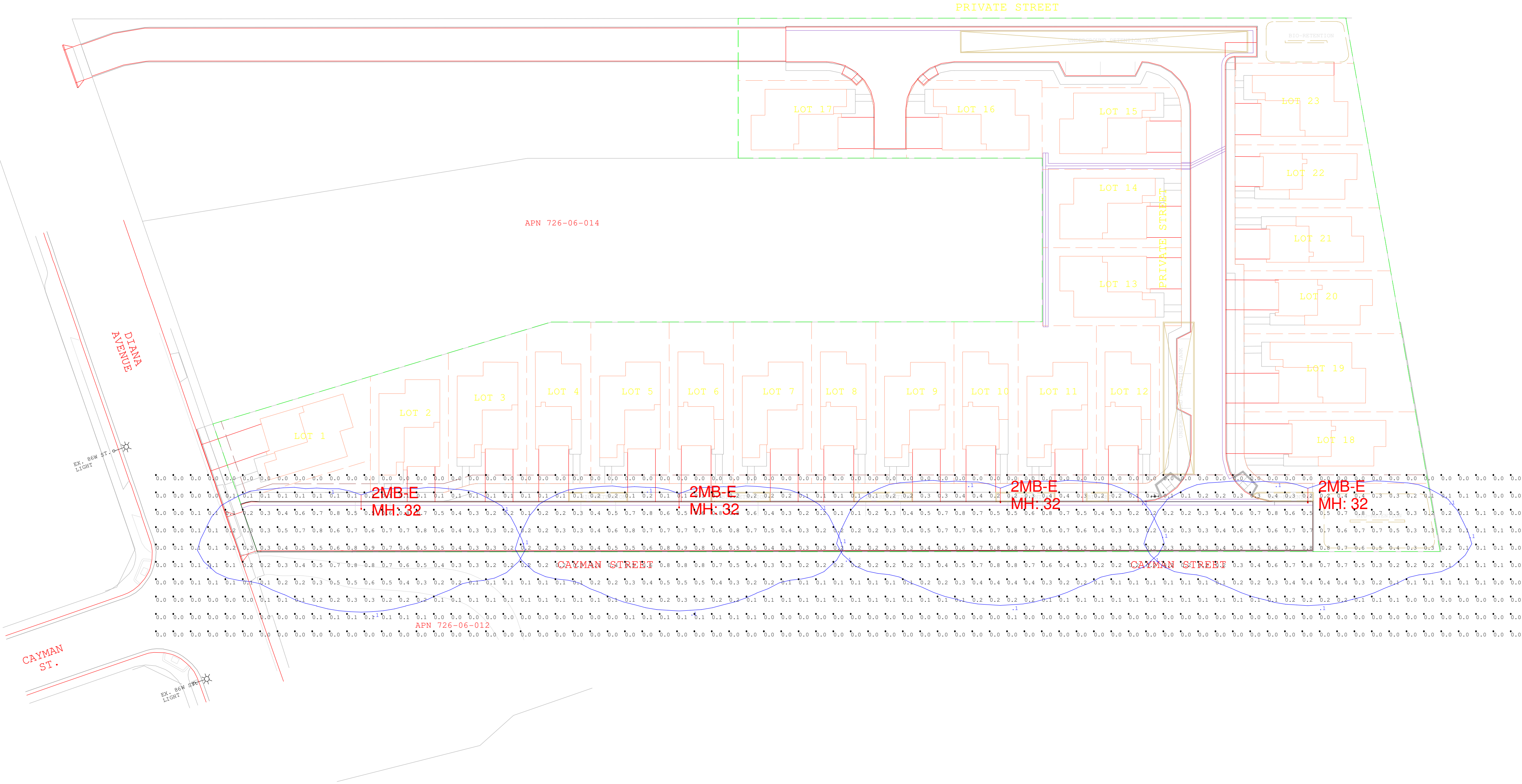
SR2024-0004

FILE NUMBER

Roshni Saxena
Assistant Planner

PLANNING OFFICIAL





PM - 2
PHOTOMETRIC CONTINUED