

PROJECT APPLICATION

730 & 760 DIANA AVENUE

MORGAN HILL, CA

CITY OF MORGAN HILL	
PLAN APPROVED	
THIS PLAN WAS APPROVED BY	
THE PLANNING DIVISION	
ON	3/7/2025
SR2024-0004	
FILE NUMBER	
Roshni Saxena	
Assistant Planner	
PLANNING OFFICIAL	



COVER SHEET

730 & 760 DIANA AVE - MORGAN HILL, CA
DIVIDEND HOMES

DAHLIN GROUP ARCHITECTURE | PLANNING | INTERIORS

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MILLER STARR
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DAHLIN

JOB NO. 297-091
DATE 03/04/2025

PROJECT APPLICATION

730 & 760 DIANA AVENUE

MORGAN HILL, CA

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PROJECT DATA:

APNs: 726-06-013 AND 726-06-015

SITE: +/- 3.05 AC

GENERAL PLAN: RESIDENTIAL DETACHED MEDIUM (UP TO 7 DU/AC)

ZONING: RESIDENTIAL DETACHED MEDIUM DENSITY (RDM 9,000 or RDM 7,000)

BASE DENSITY: 7 DU/ACRE MAX. (PER GENERAL PLAN)

BASE UNITS: 22 UNITS (3.05 X 7= 21.4 = 22 UNITS)

PROPOSED UNITS: 23 UNITS

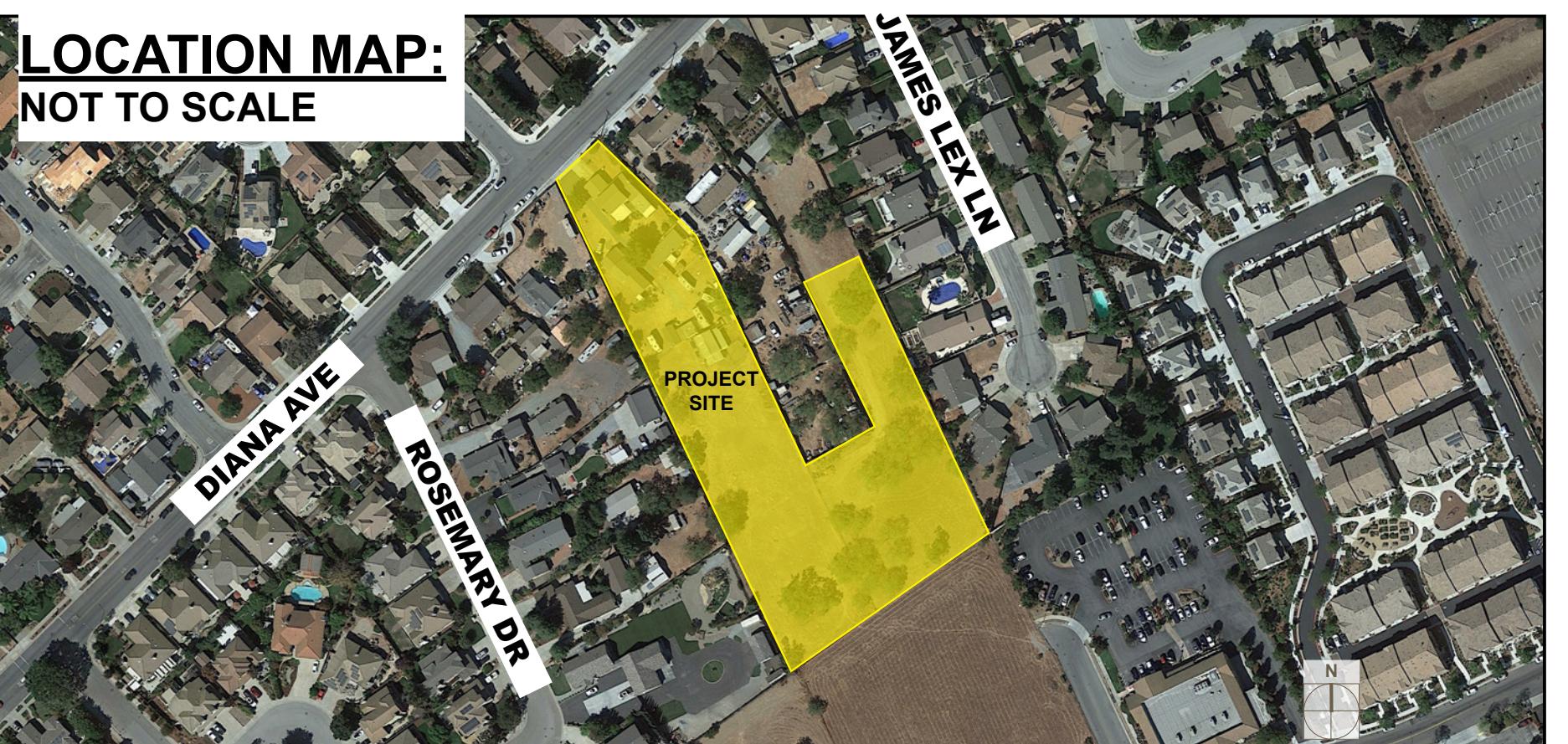
PROPOSED DENSITY: 7.5 DU/ACRE (COMPLIANT WITH THE GENERAL PLAN DENSITY USING STATE DENSITY BONUS LAWS).

REQUIRED PARKING: 52 SPACES (@ 2.0 COVERED SPACES/UNIT + 1.0 GUEST SPACE/ 4 UNITS - City of Morgan Hill Single-Family Parking Requirement)

PROPOSED PARKING: 56 SPACES (@ 46 COVERED SPACES/UNIT + 10 ON-SITE OPEN SPACES. ADDITIONALLY, 20 OF THE HOMES ALSO HAVE 2 PARKING SPACES ON THE DRIVEWAY)

LOCATION MAP:

NOT TO SCALE



PROJECT TEAM INFO:

CLIENT:
DAVID HOMES, INC.
385 Woodview Avenue,
Suite 100
Morgan Hill, CA 95037
Contact: Joshua Vrotsos
Jvrotsos@dividendhomes.com

ARCHITECT:
DAHLIN
5865 Owens Drive
Pleasanton, CA 94588
Tel: 925.251.7200
Contact: Ron Cariaga
Ronald.Cariaga@dahlingroup.com
Ritu Raj Sharma
Rshima@dahlingroup.com

CIVIL:
BFK Engineers
1730 N. First St. Suite 600
San Jose, CA 95112
Tel: 408-467-9173
Contact: Phong Kiet, PE
pkiet@b kf.com

ATTORNEY:
MILLER STARR REGALIA
1331 North California Boulevard,
Suite 600, Walnut Creek, CA 94596
Tel: 925.935.9400
Contact: Bryan W. Wenter
bryan.wenter@msrlegal.com

CITY OF MORGAN HILL PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 3/7/2025

SR2024-0004

FILE NUMBER
Roshni Saxena
Assistant Planner

PLANNING OFFICIAL

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DIVIDEND HOMES

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Table 1: Residential Detached Medium Density (RDM)

Minimum Site Specifications	Requirement	Proposal	Waiver Required?
Min. Lot Area (single-family lot)	7,000 sf	+/- 2,948 sf (smallest)	Yes
Min. Lot Area (corner lot)	7,500 sf	+/- 3,838 sf (smallest)	Yes
Min. Lot Width (single-family lot)	60'	37' (smallest)	Yes
Min. Lot Width (corner lot)	40'	42' (smallest)	No
Min. Lot Depth	85'	73' (smallest)	Yes
Minimum Setbacks			
Front - 1st Story	20'	+/- 5.3' (lowest)	Yes
Front - Upper Stories	25'	+/- 5.3' (lowest)	Yes
Interior Side - 1st Story	5'	5'	No
Interior Side - Upper Stories	12.5'	5'	Yes
Street Side	15'	5' (lowest)	Yes
Rear - 1st Story	20'	7' (lowest)	Yes
Rear - Upper Stories	25'	7' (lowest)	Yes
Maximum Height			
Building Height	30'	29'8"	No
Density			
Max. Density	7 du/ac	7.5 du/ac	Yes
Other Zoning Requirements			
Max. Building Coverage	50%	55% (highest)	Yes
Min. Front Setback Variation	5'	5'	No
Min. Rear Setback Variation	5'	5'	No
Variation in standard lot widths	4'	8'	No
Garage placement variation	25% of homes	none	Yes
Parking (Single-Family)	46 (2 covered spaces/unit)	46 (2 covered spaces/unit)	No
Guest Parking (1:4 unit)	6 spaces	10 uncovered street spaces	No
Residential Development Standards			
Balconies	25% of homes	none	Yes
Private Open Space	375	complies	No
Common Open Space	3281.25	none	Yes
Continuous Sidewalks	Both sides of street frontage	One side of street frontage	Yes
Secondary Residential Street Section	56' Width	Half street standard section	Yes

Table 2: Density Bonus Calculation

Project Data	Notes
Site acreage	3.05
General Plan	Residential Detached Medium
Zoning	Residential Detached Medium Density
Max. allowable density (du/ac)	7
Max. allowable units	21,356,554.71
% of affordable units required (15 %)	3.3
Moderate Income units provided	3
Percentage of density bonus units	13.6%
Density bonus % allowed based on 14% moderate income units	9.00%
Number of Density Bonus units based on 9% density bonus	1.98
Maximum units allowed	24 (base + density bonus units)
Maximum units provided	23

BUILDING DATA:

BUILDING TYPE: SINGLE FAMILY

OCCUPANCY GROUP: R-3

CONSTRUCTION TYPE: VB

SPRINKLER SYSTEM: NFPA13D

PROJECT DESCRIPTION:

The project site consists of 3.05 acres located at 730 and 760 Diana Ave. It is designated as Residential Detached Medium, (up to 7 du/ac) under the city's General Plan, with an allowed density of 7 units per acre, and zoned as Residential Detached Medium Density (RDM 9000 or RDM 7000) under the Morgan Hill Municipal Code.

Pursuant to the State's Density Bonus Law, the project is requesting certain incentives and concessions and waivers or reductions of development standards (listed in Table 1 and described more fully in the enclosed materials) for the proposed twenty-three single family homes, three of which (13.6%) will be designated as moderate income for-sale units (refer to Table 2 for density calculations). The applicant reserves the right to request additional incentives and concessions and waivers or reductions of development standards as the design evolves and based on feedback from the City.

The base density for the project site is 22 units per acre, and the project proposes 23 units per acre (inclusive of one density bonus unit). The project density is thus 7.5 units per acre. With the increased density allowed under the Density Bonus Law, along with the allowed incentives and concessions and waivers or reductions of development standards, the project is consistent with the City's applicable, objective land use regulations.

The project is designed to blend with the existing context in the area of the project site, utilizing the single loaded street and backyards to buffer the proposed homes from the existing neighbors. All homes are front loaded, with a private driveway serving a two-car garage. Each home has a private backyard, creating a buffer between adjacent lots. All the homes will be two stories with 3-4 bedrooms.

The project is a context-sensitive, infill housing solution on an under-utilized site, blending in character with the surrounding fabric, all while providing mixed-income single family homes to meet the needs of today's market.

TITLE SHEET

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A.1





*NO BUS STOPS LOCATED WITHIN 100' OF THE PROJECT SITE



VICINITY MAP

730 & 760 DIANA AVE - MORGAN HILL, CA
DIVIDEND HOMES

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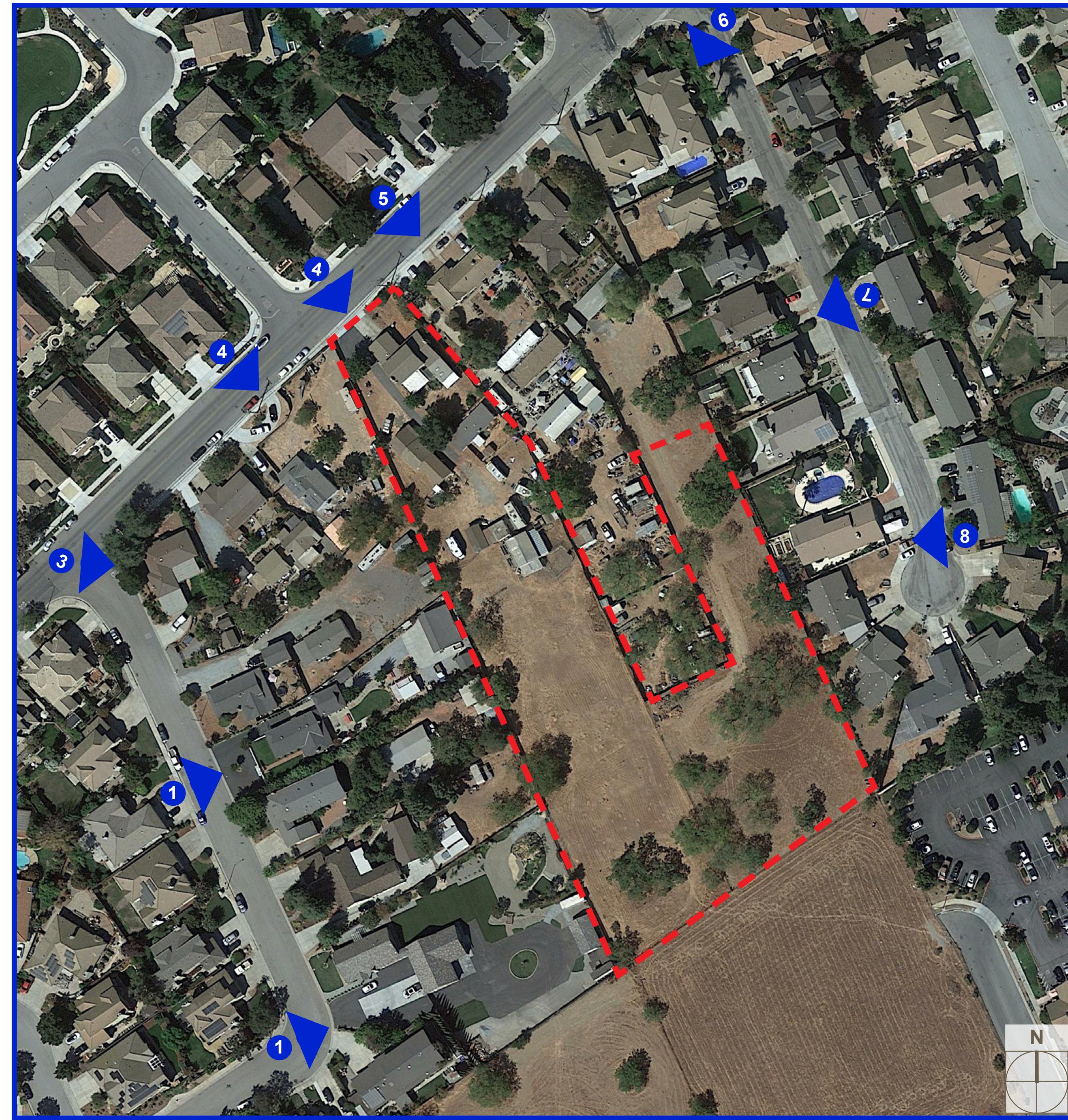
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A.2



SITE CONTEXT PHOTOS

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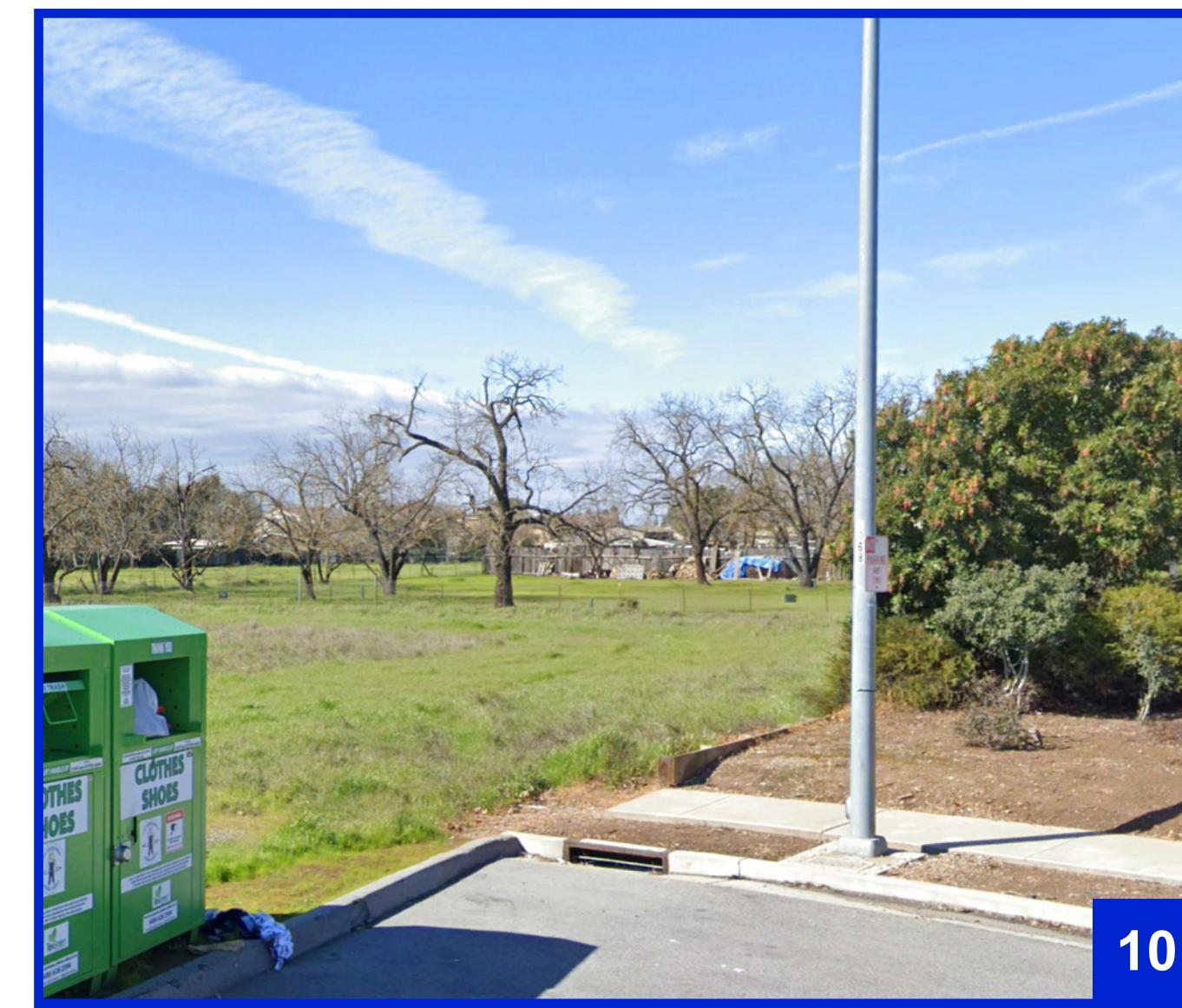
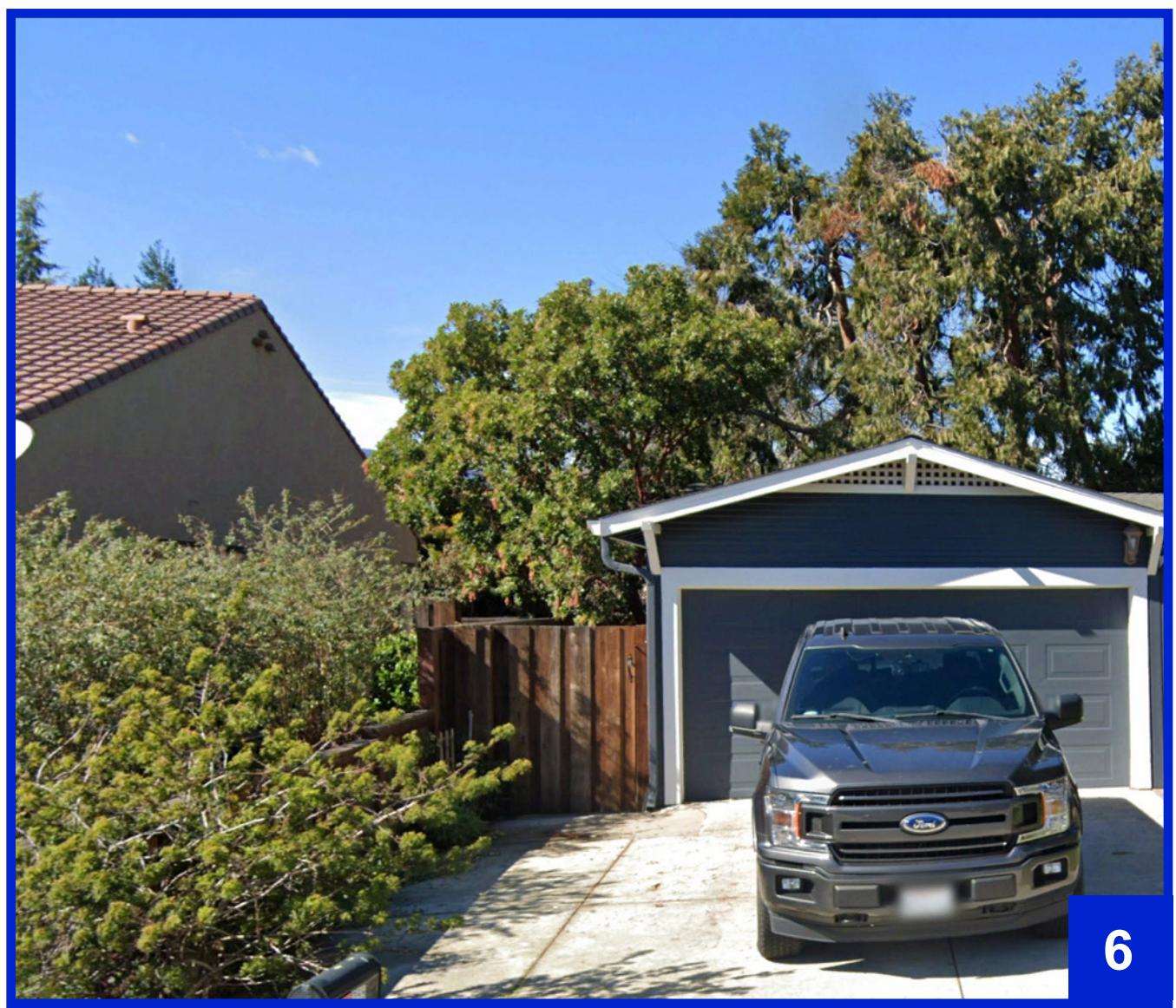
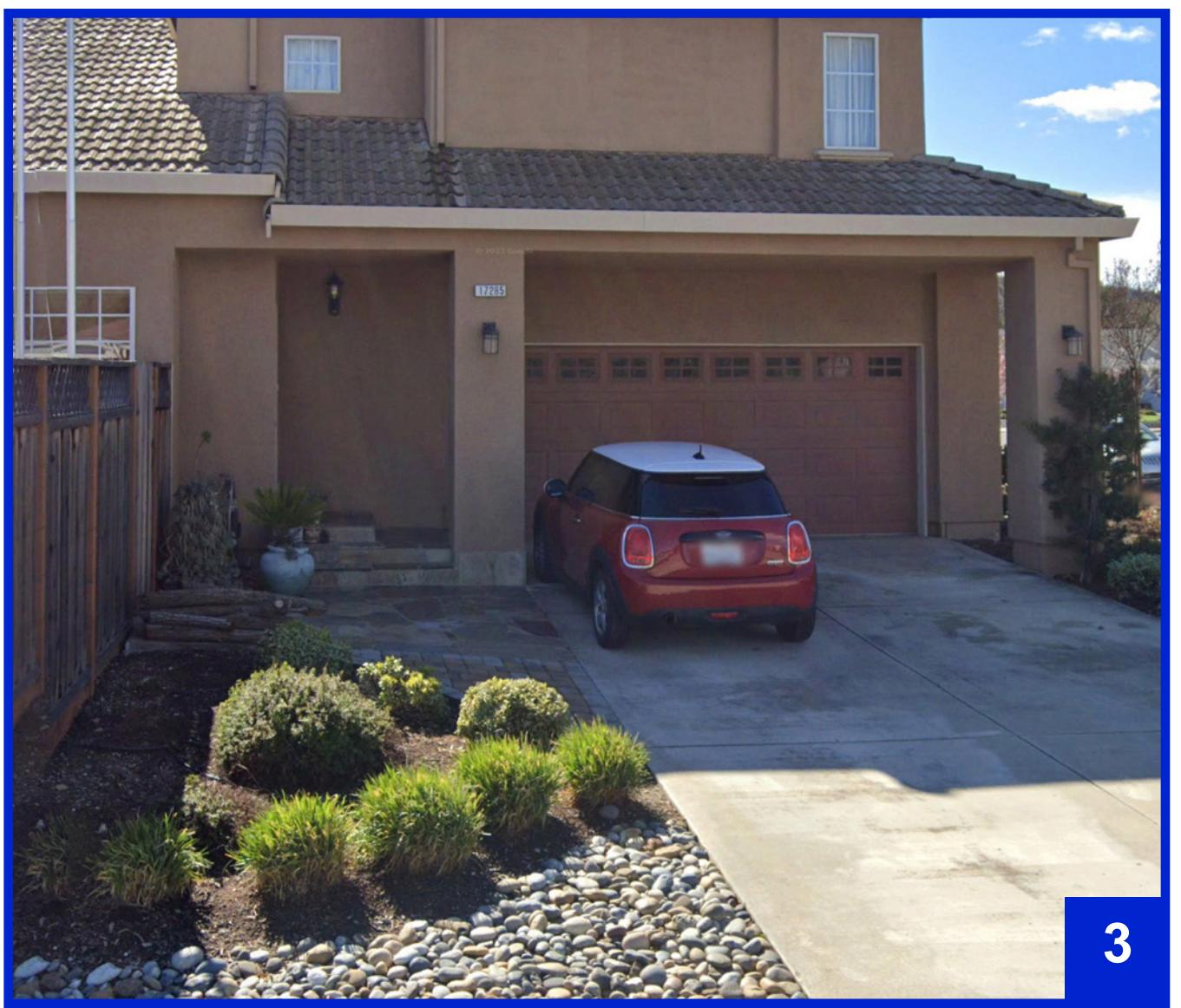
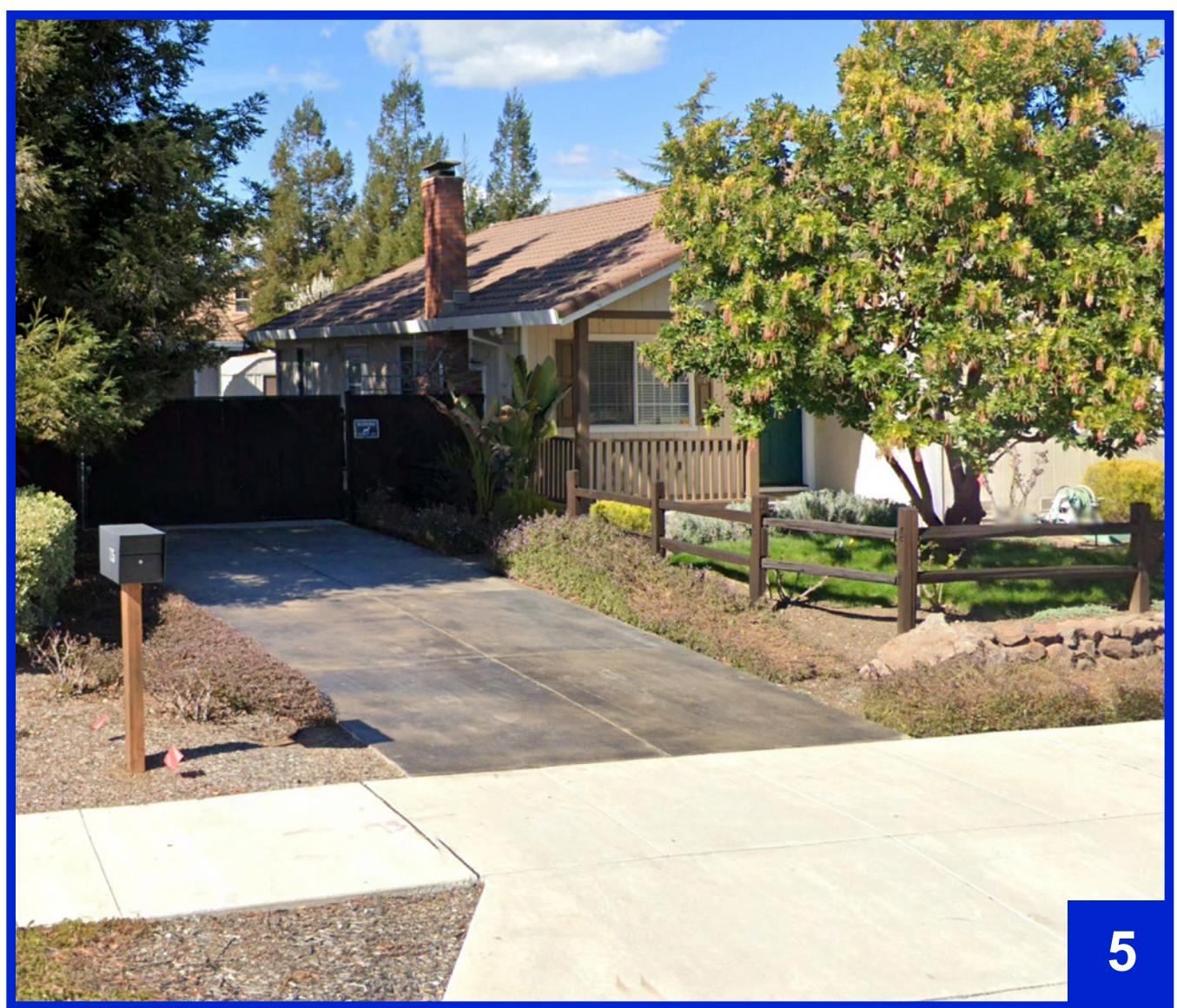
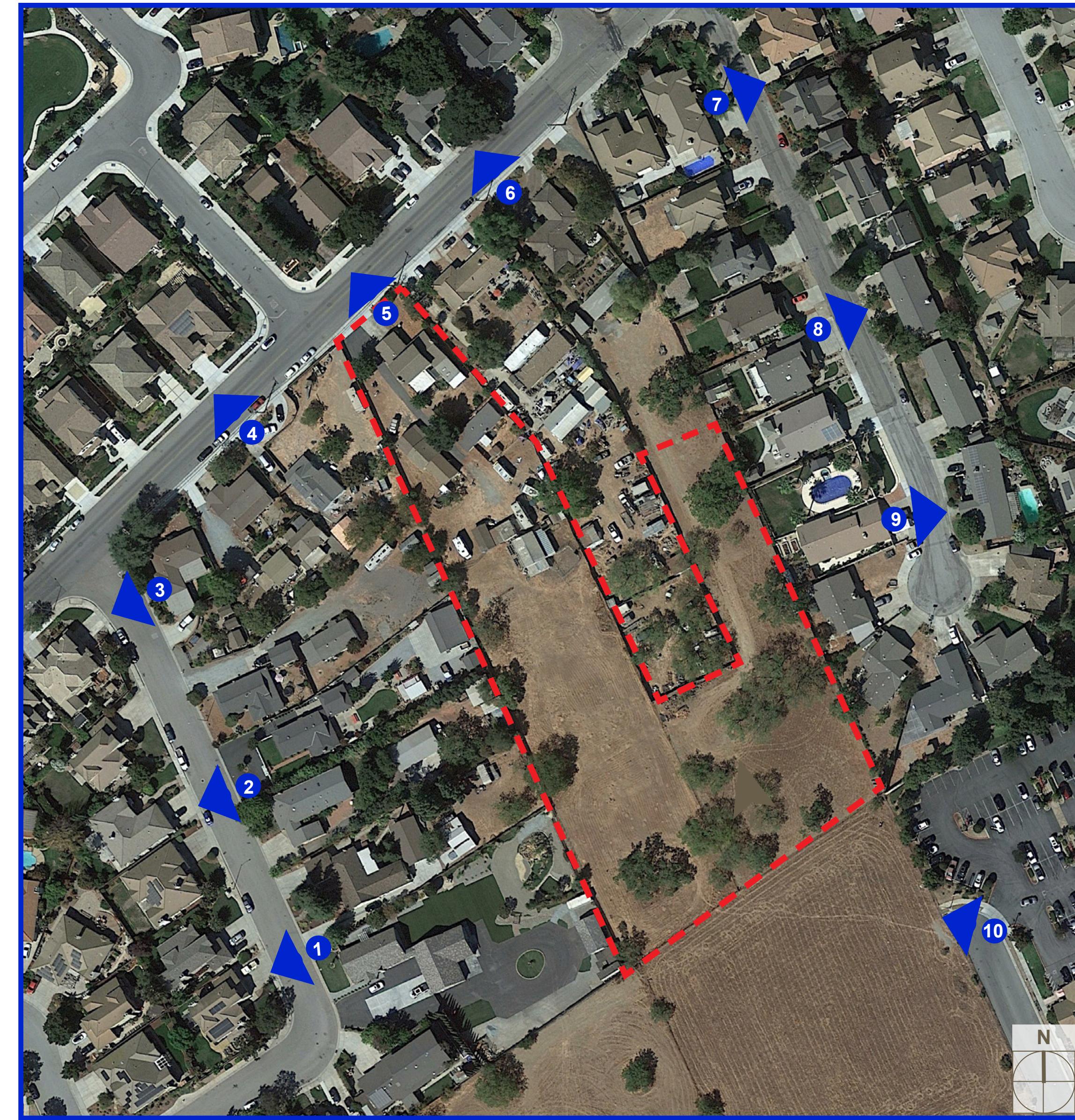
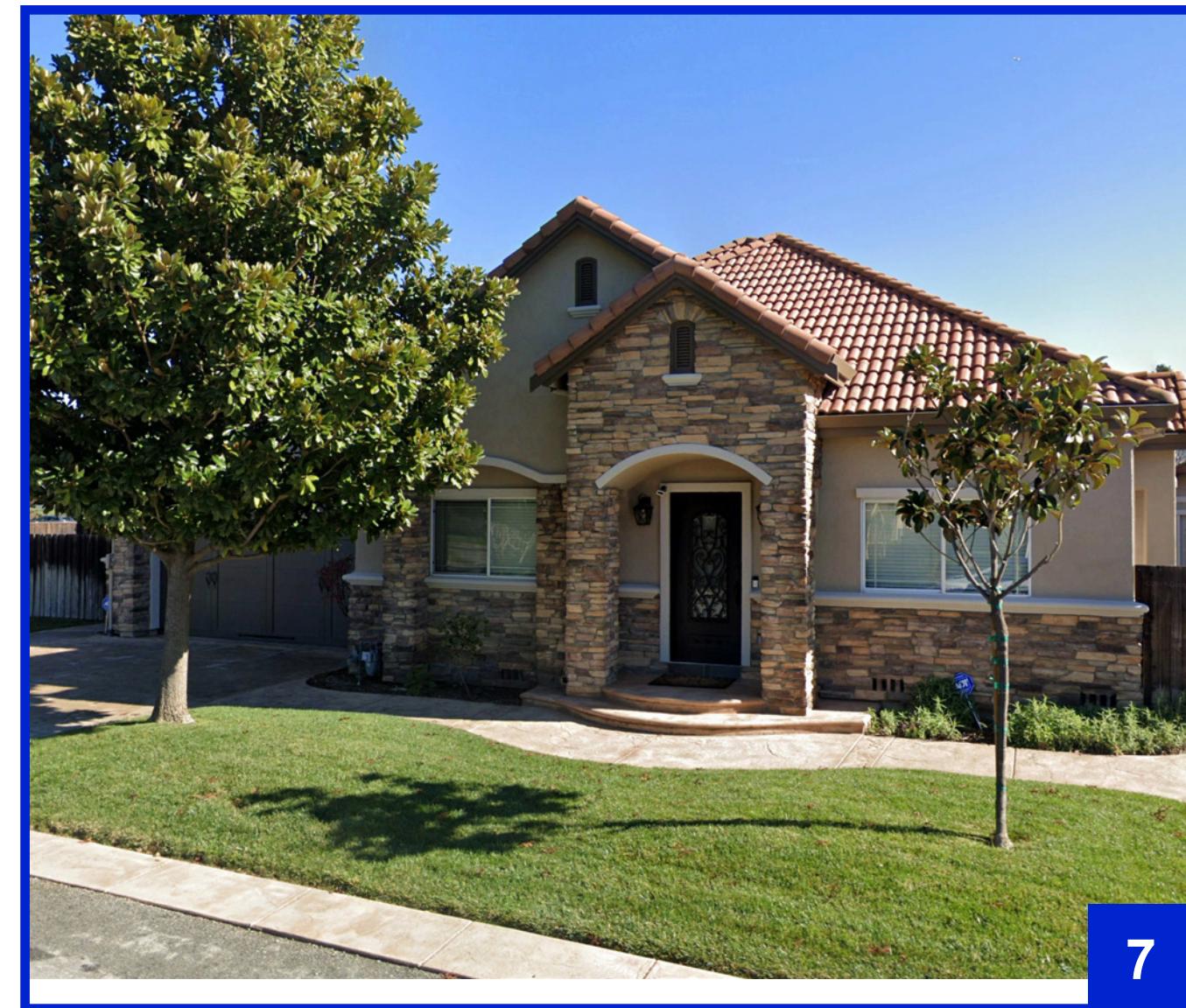
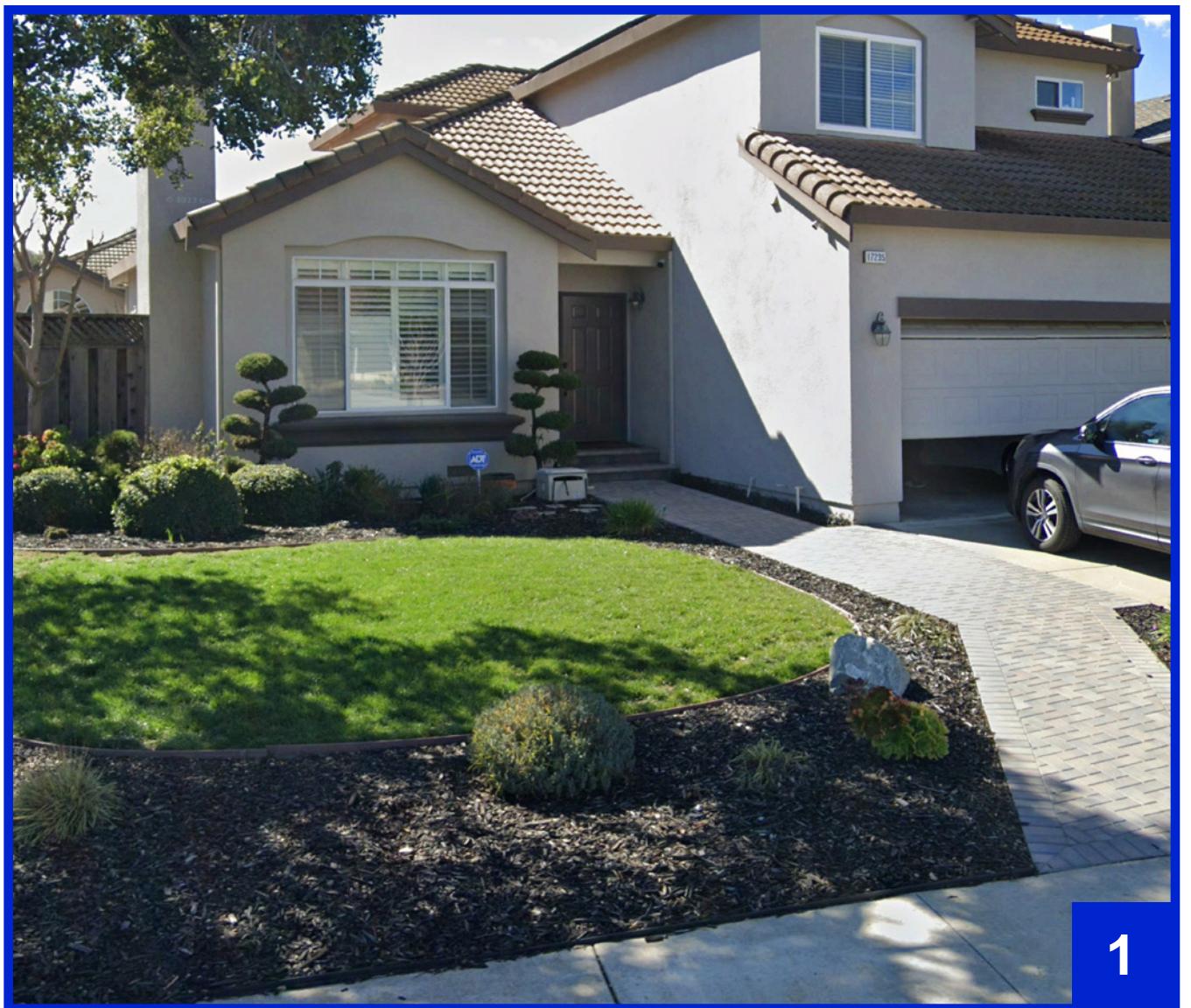
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A.3



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FILE NUMBER	Roshni Saxena Assistant Planner
	
PLANNING OFFICIAL	

SITE CONTEXT PHOTOS CONTINUED

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A.4



LEGEND

- 1 LOT NUMBER
- PLAN TYPE 1 - 3,116 SF  A TRADITIONAL ELEVATION STYLE
- PLAN TYPE 2 - 2,536 SF  B SPANISH ELEVATION STYLE
- * AFFORDABLE UNITS (3 UNITS TOTAL)



THIS PLAN IS PROVIDED FOR ILLUSTRATIVE PURPOSES ONLY, TO CONVEY DESIGN CONCEPTS AND INTENT.
FOR DETAILED SITE PLAN INCLUDING DIMENSIONS, REFER TO SHEET C3.0
FOR DETAILED LANDSCAPE PLAN, REFER TO T1.0, T1.1, L1.0, L1.1, L2.0, L2.1, L2.2, L2.3, L2.4, L3.0

STREETSCAPE PLAN

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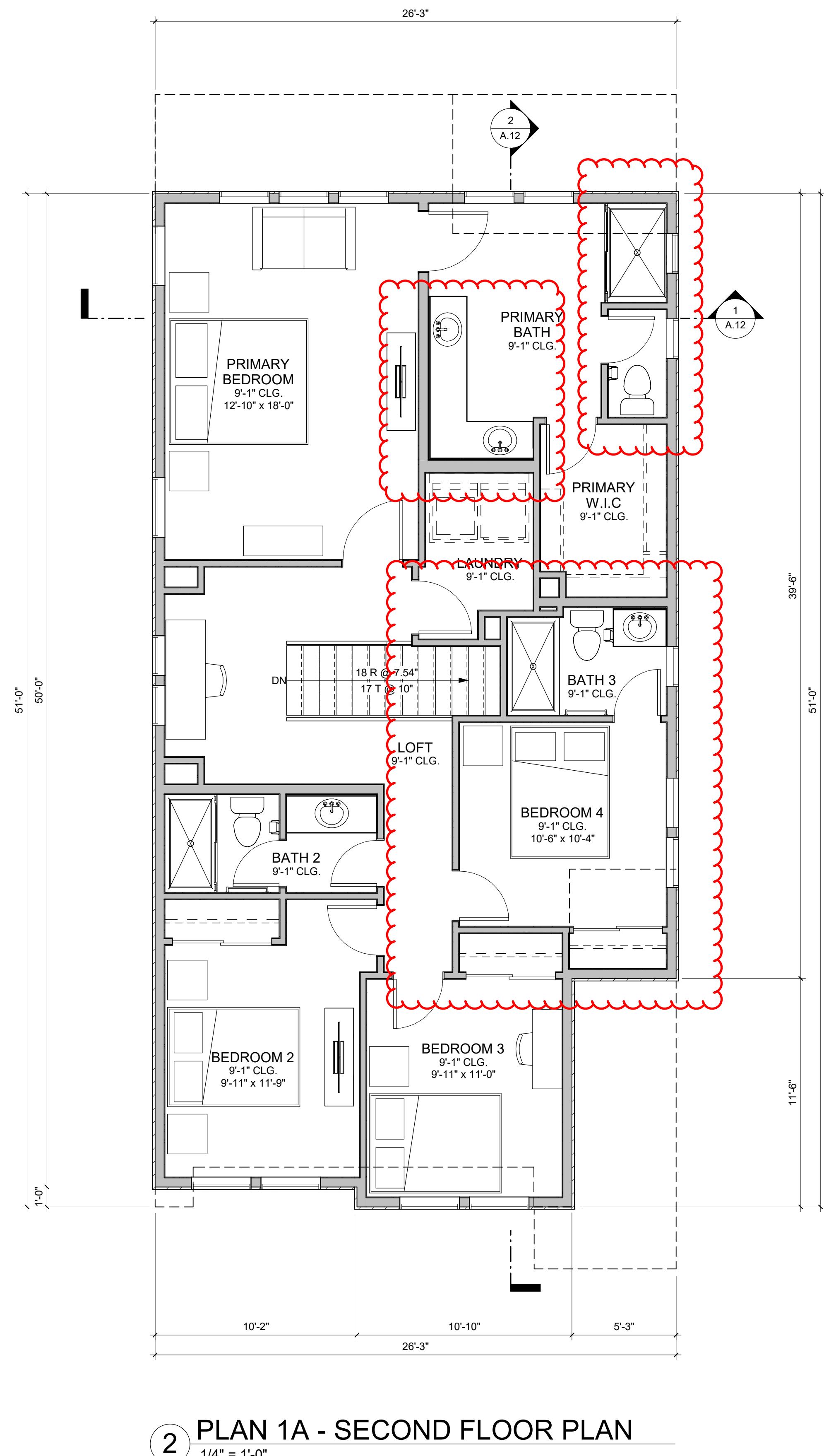


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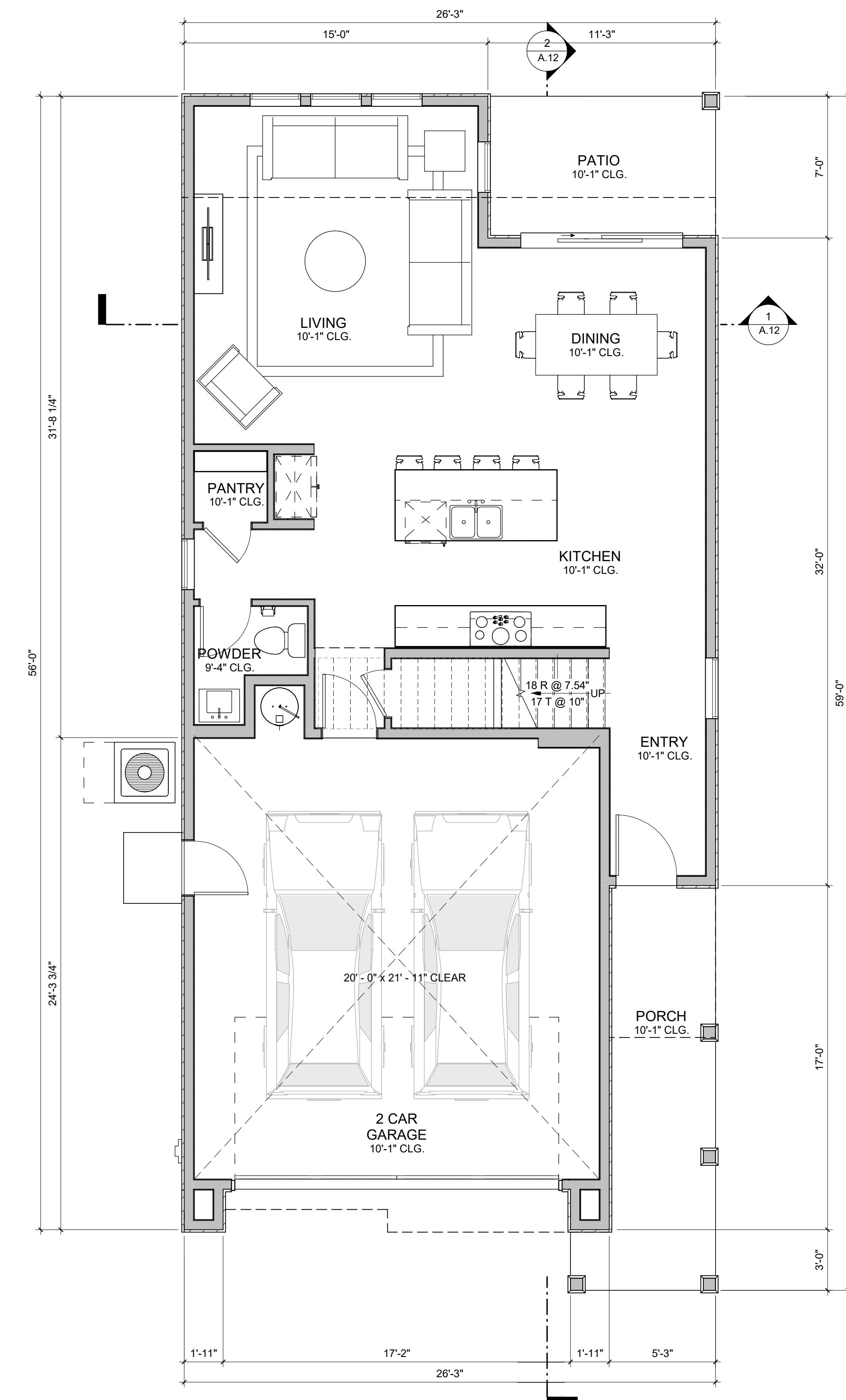
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A.5



2 PLAN 1A - SECOND FLOOR PLAN

1/4" = 1'-0"



1 PLAN 1A - FIRST FLOOR PLAN

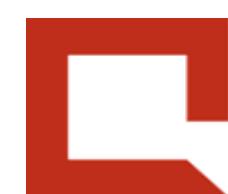
1/4" = 1'-0"

PLAN 1A - TRADITIONAL - FLOOR PLANS

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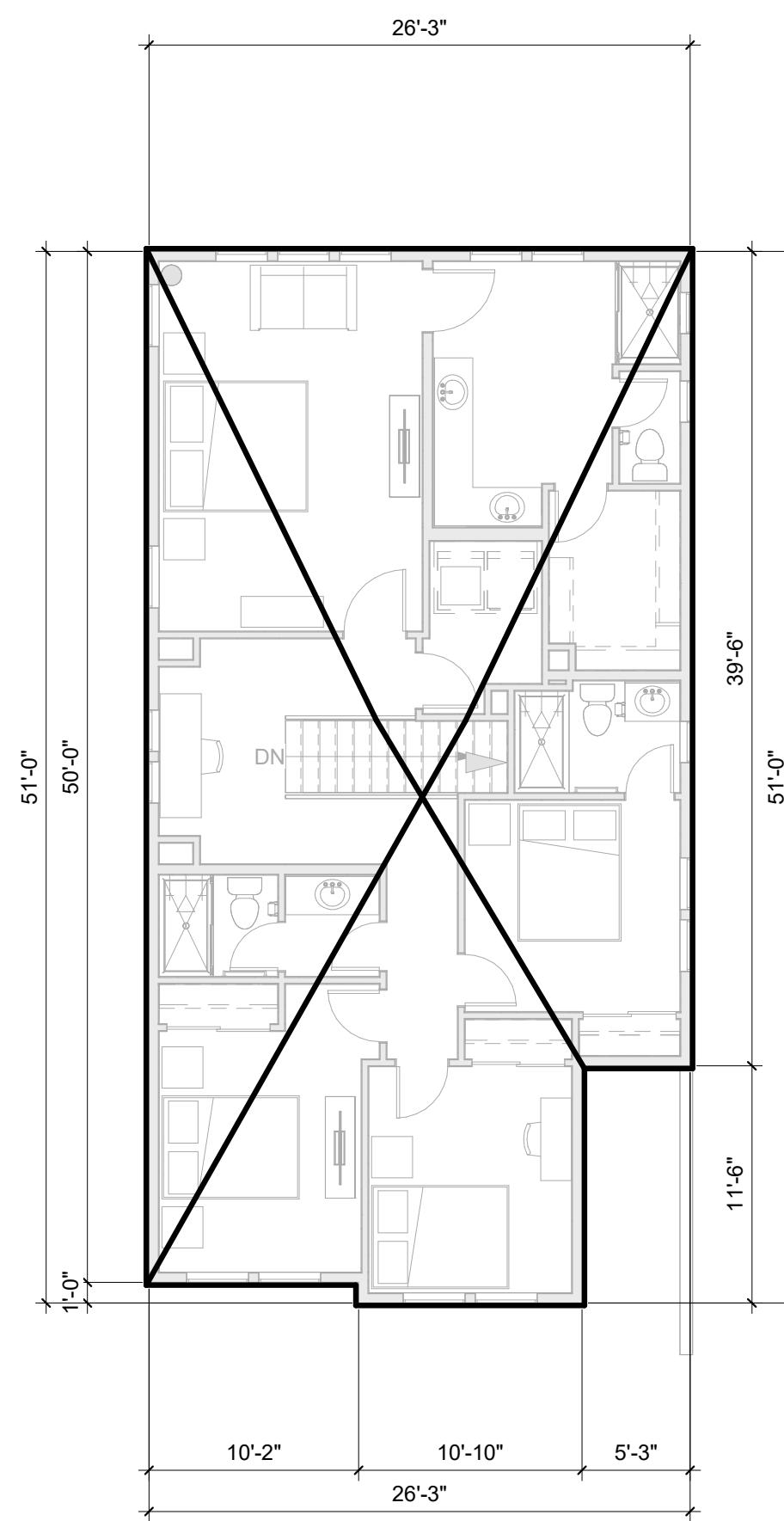
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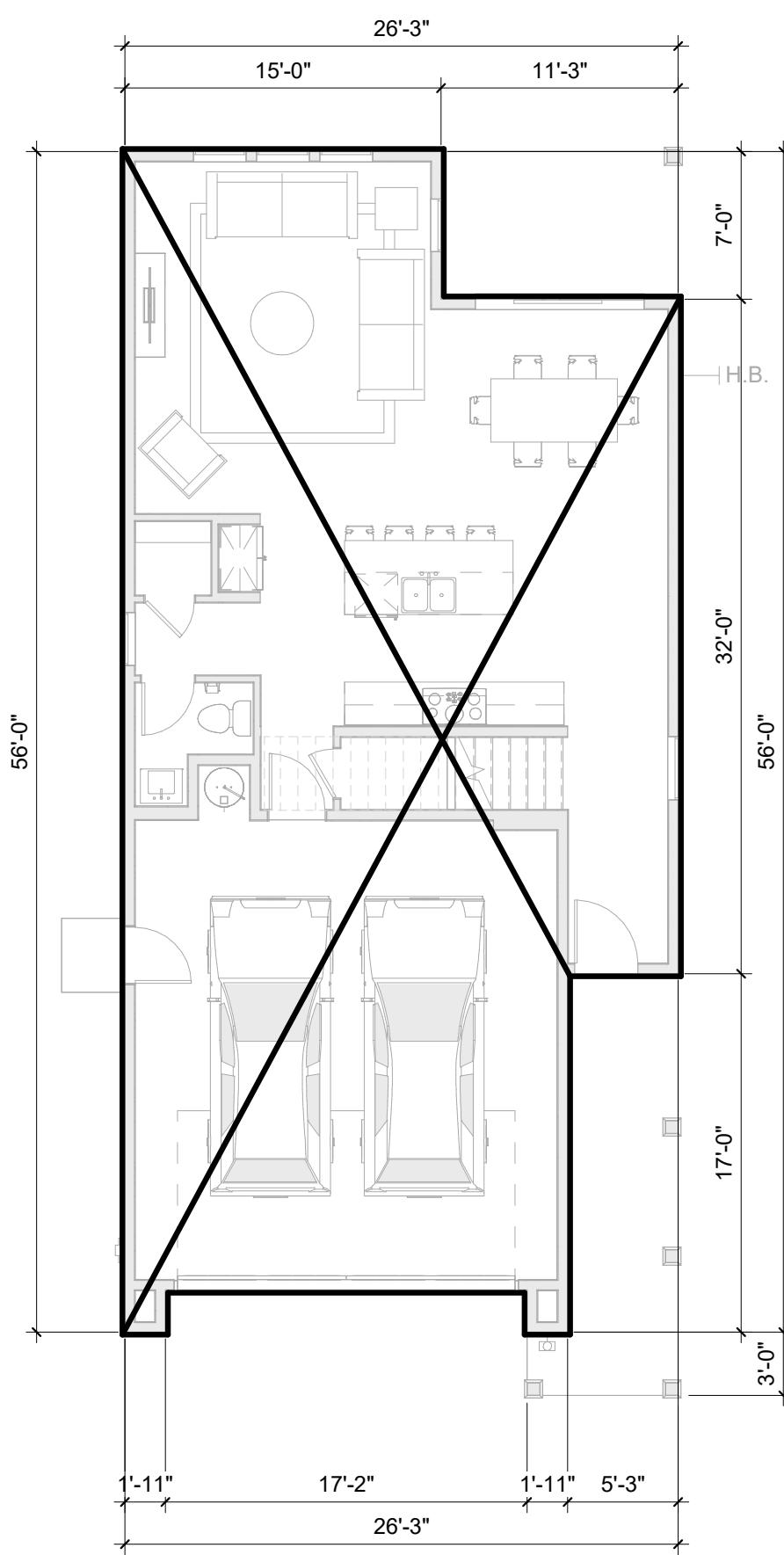
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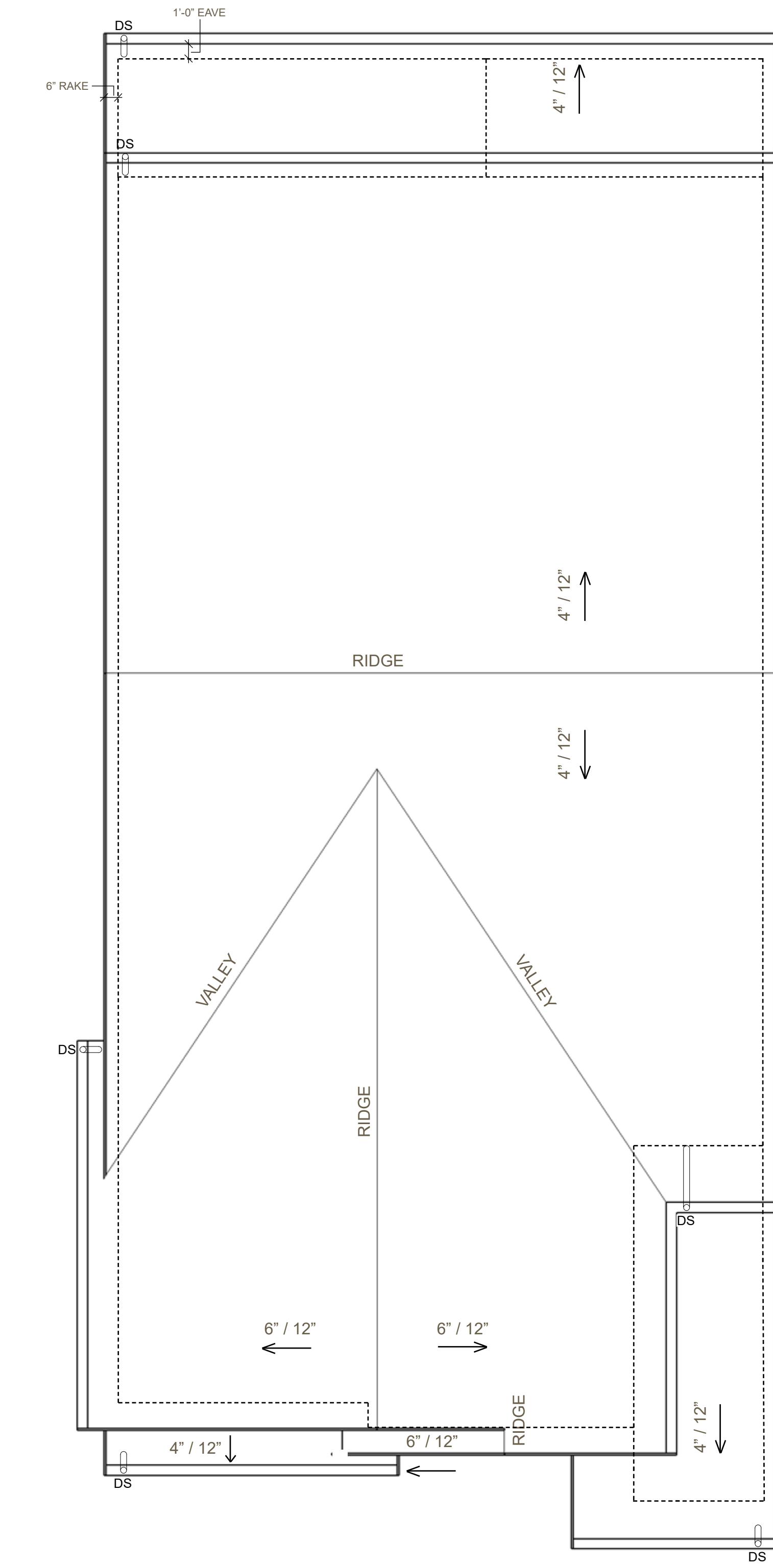
A.6



3 PLAN 1A - SECOND FLOOR F.A.R. BOUNDARY
1/8" = 1'-0"



2 PLAN 1A - FIRST FLOOR F.A.R. BOUNDARY
1/8" = 1'-0"



1 PLAN 1A - ROOF PLAN
1/4" = 1'-0"

PLAN 1A - TRADITIONAL - FAR + ROOF PLANS

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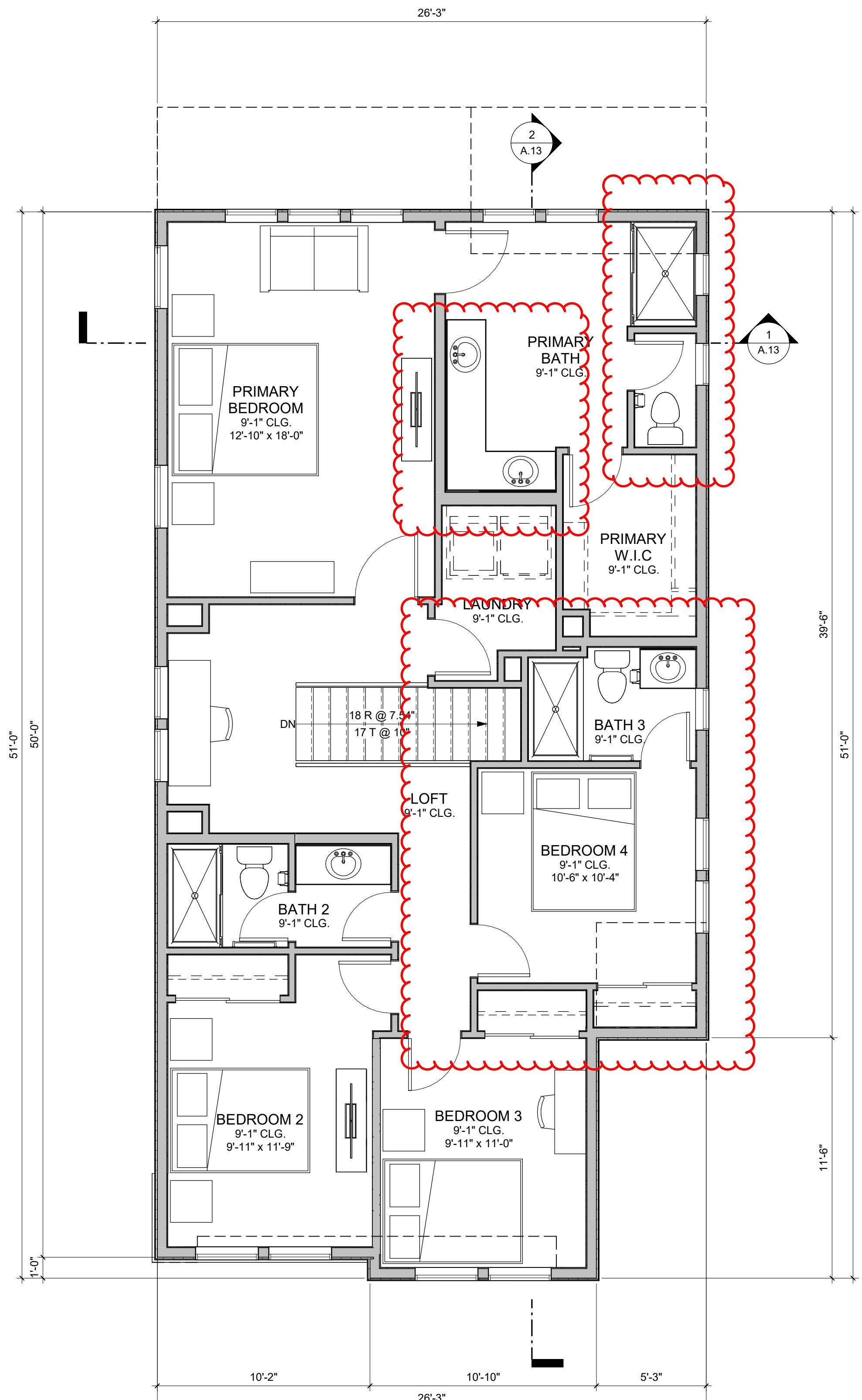
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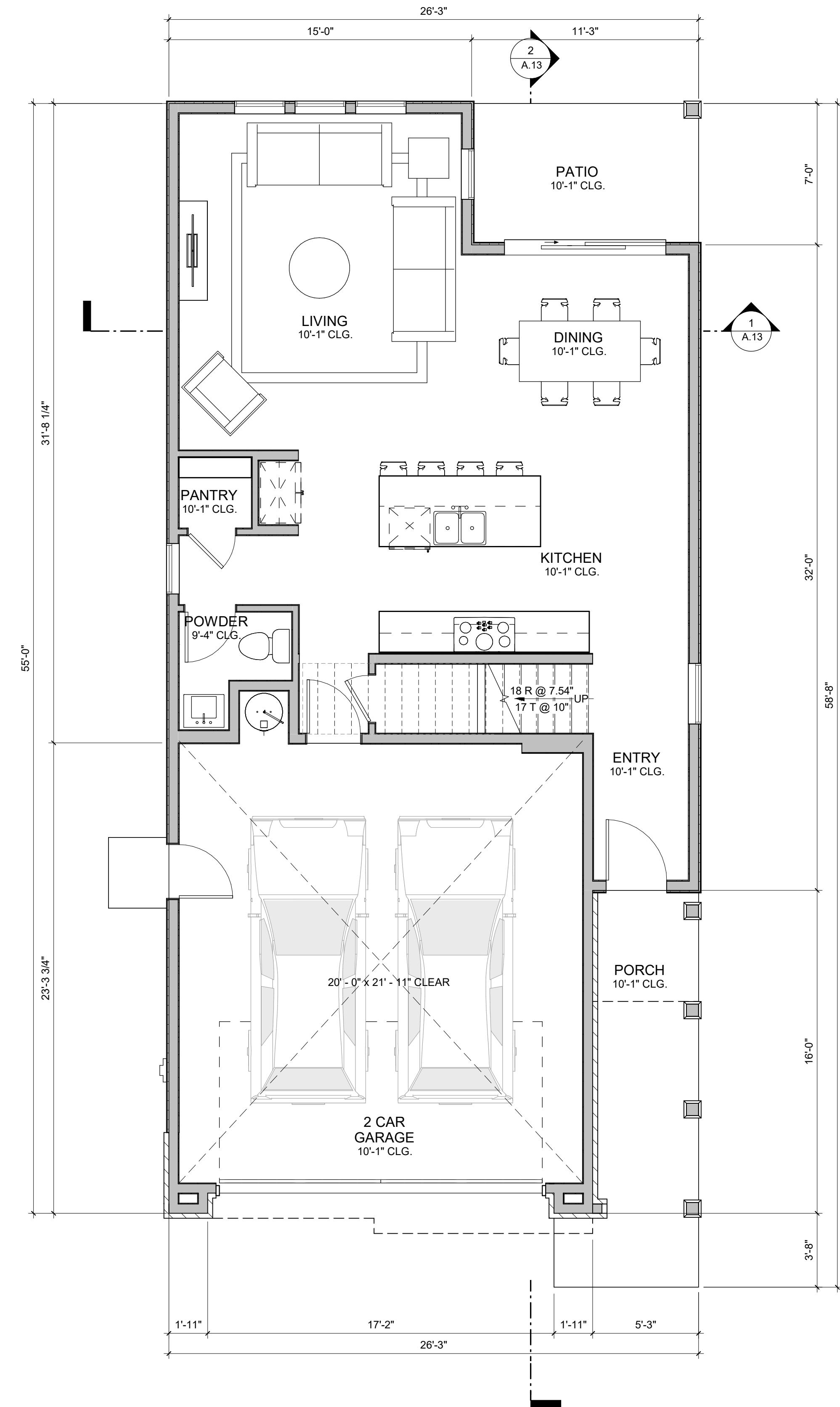


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A.7



2 PLAN 1B - SECOND FLOOR PLAN



1 PLAN 1B - FIRST FLOOR PLAN

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Assistant Planner 

PLAN 1B - 4 BR / 3.5 BA	
NAME	AREA (SF)
FIRST FLOOR	789
SECOND FLOOR	1230
TOTAL LIVING AREA	2019
2-CAR GARAGE	475
PATIO	79
PORCH	110

PLAN 1B - SPANISH - FLOOR PLANS

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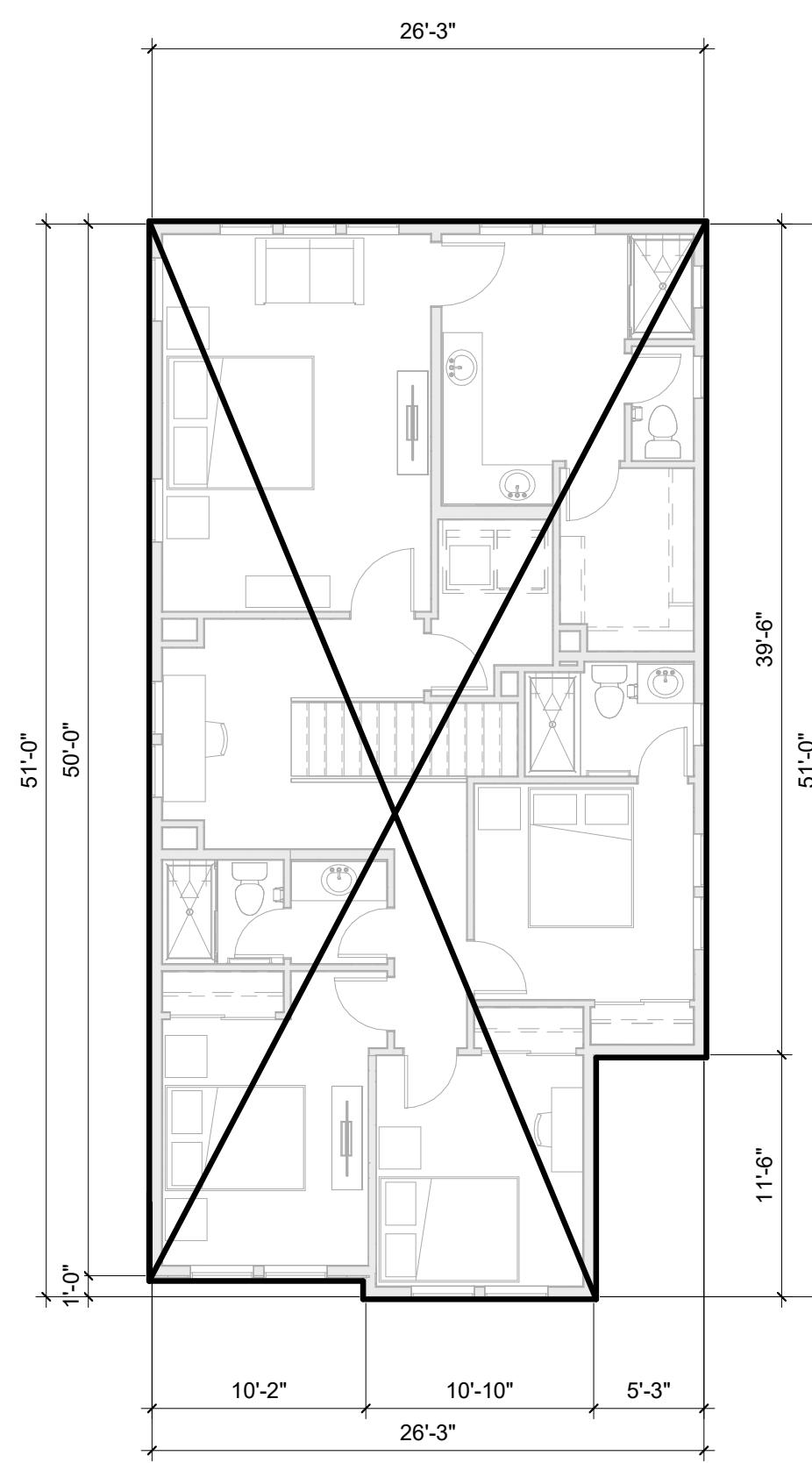


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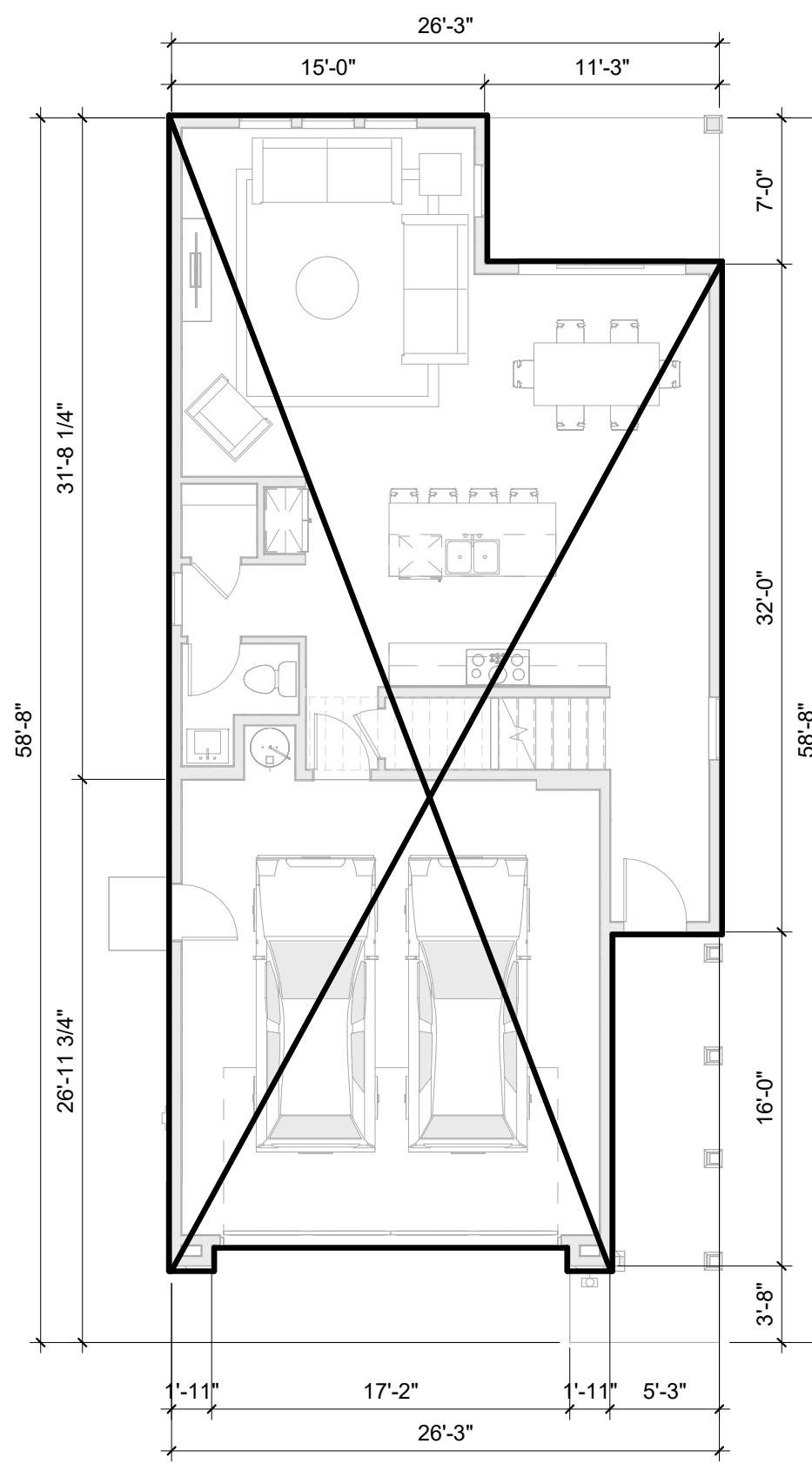


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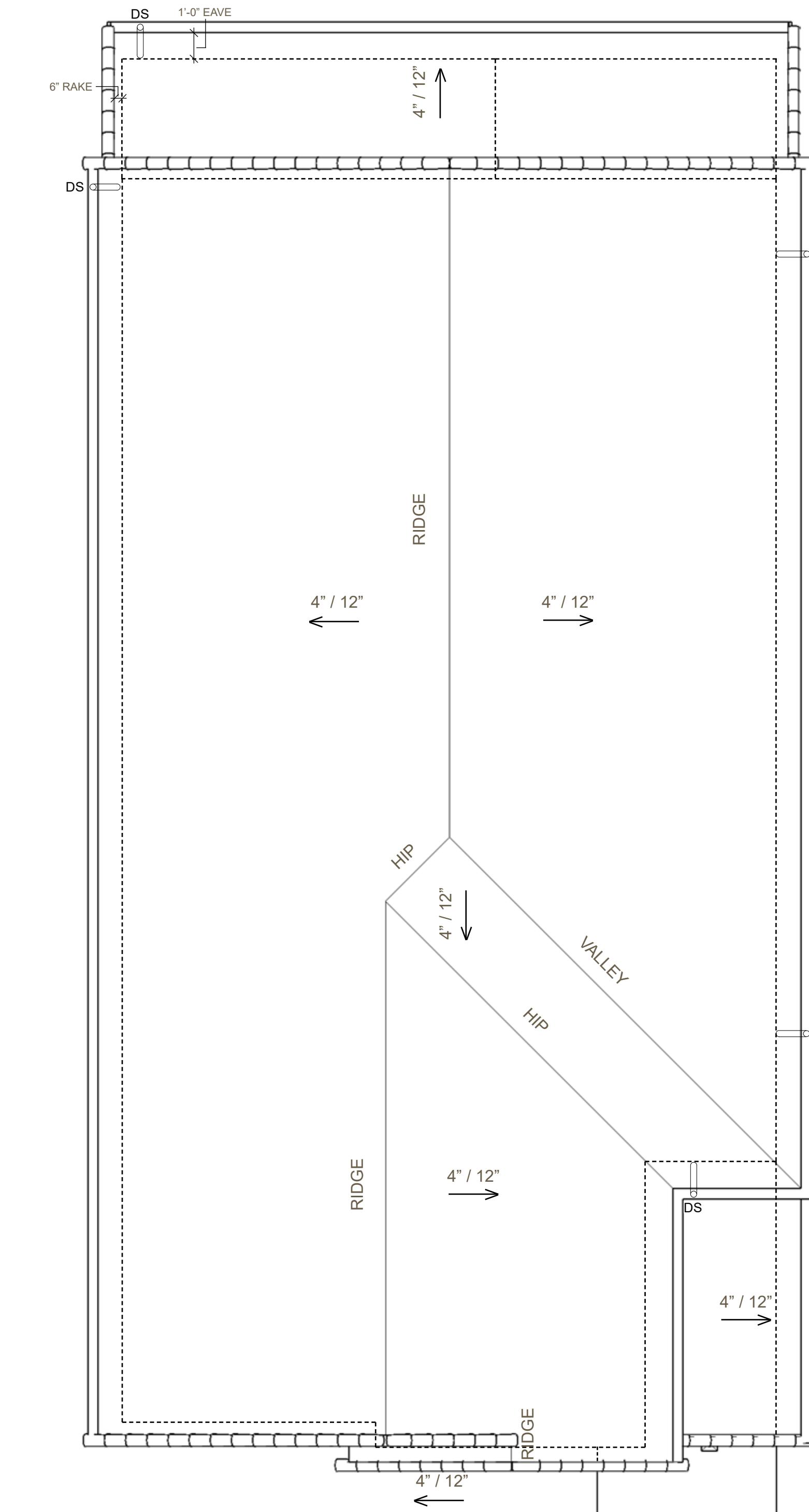
A.8



3 PLAN 1B - SECOND FLOOR F.A.R. BOUNDARY
1/8" = 1'-0"



1 PLAN 1B - FIRST FLOOR F.A.R. BOUNDARY
1/8" = 1'-0"



2 PLAN 1B - ROOF PLAN
1/4" = 1'-0"

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PLAN APPROVED**

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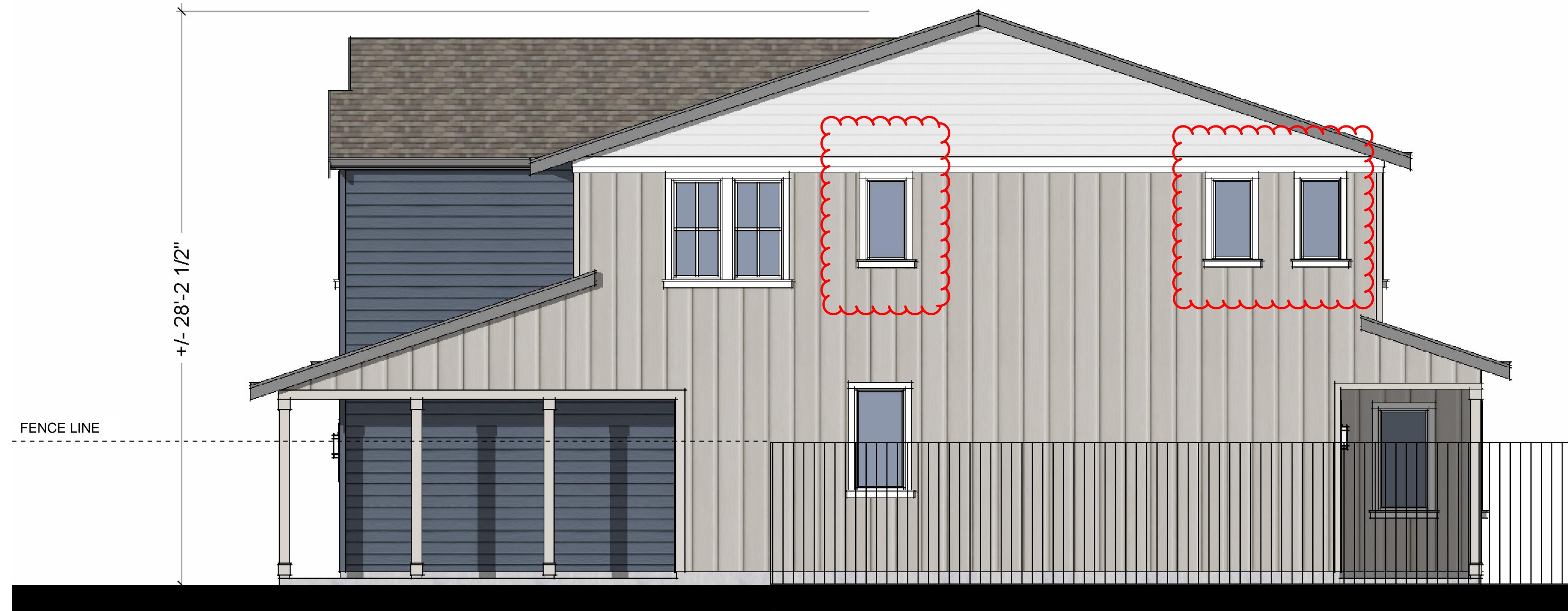
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Roshni Saxena
Assistant Planner




FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

NOTE: LANDSCAPE ELEMENTS SUCH AS FENCES SHOWN FOR GRAPHICAL REPRESENTATION ONLY- SEE LANDSCAPING DRAWINGS FOR MORE INFO. REFER SHEET A.22 FOR MORE INFO ON COLOR & MATERIAL BOARD.

PLAN 1A - TRADITIONAL - ELEVATIONS

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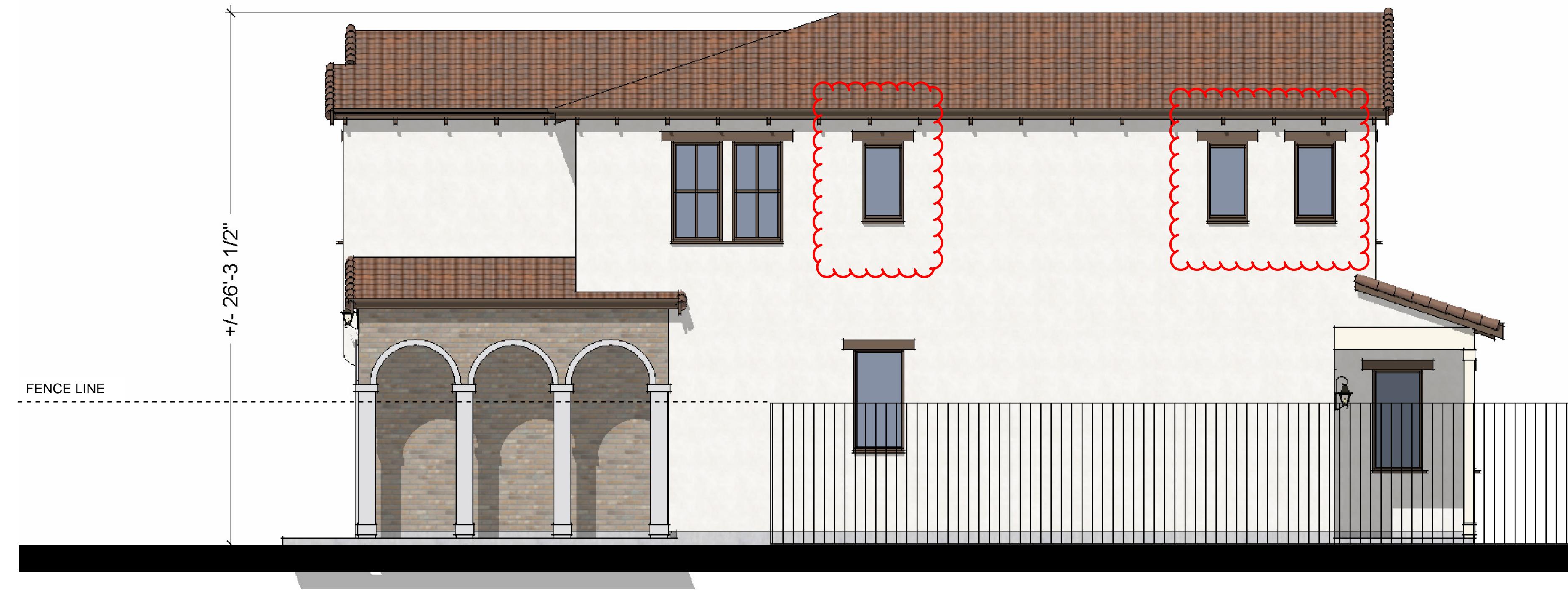


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A.10



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

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PLAN 1B - SPANISH - ELEVATIONS

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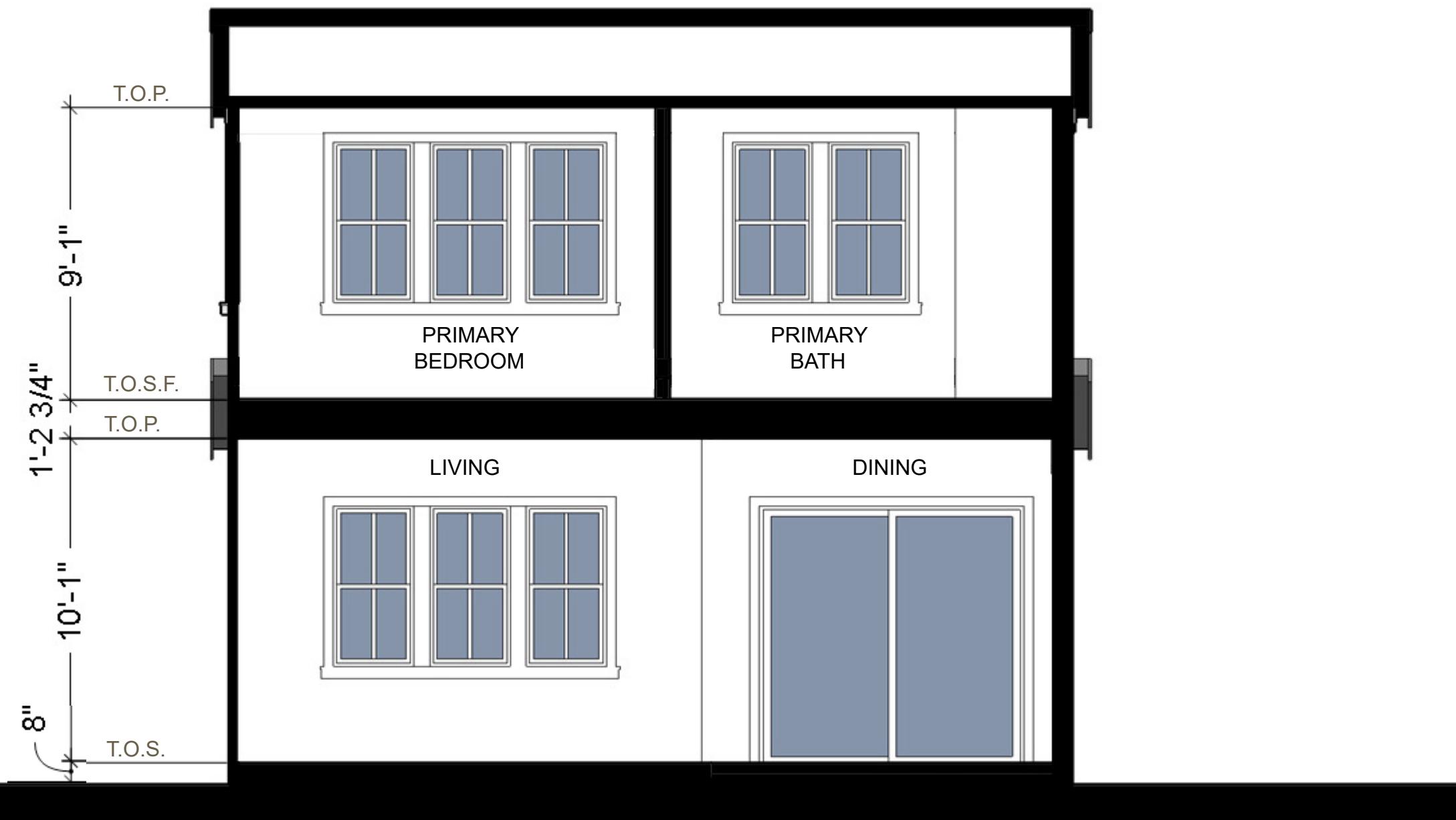


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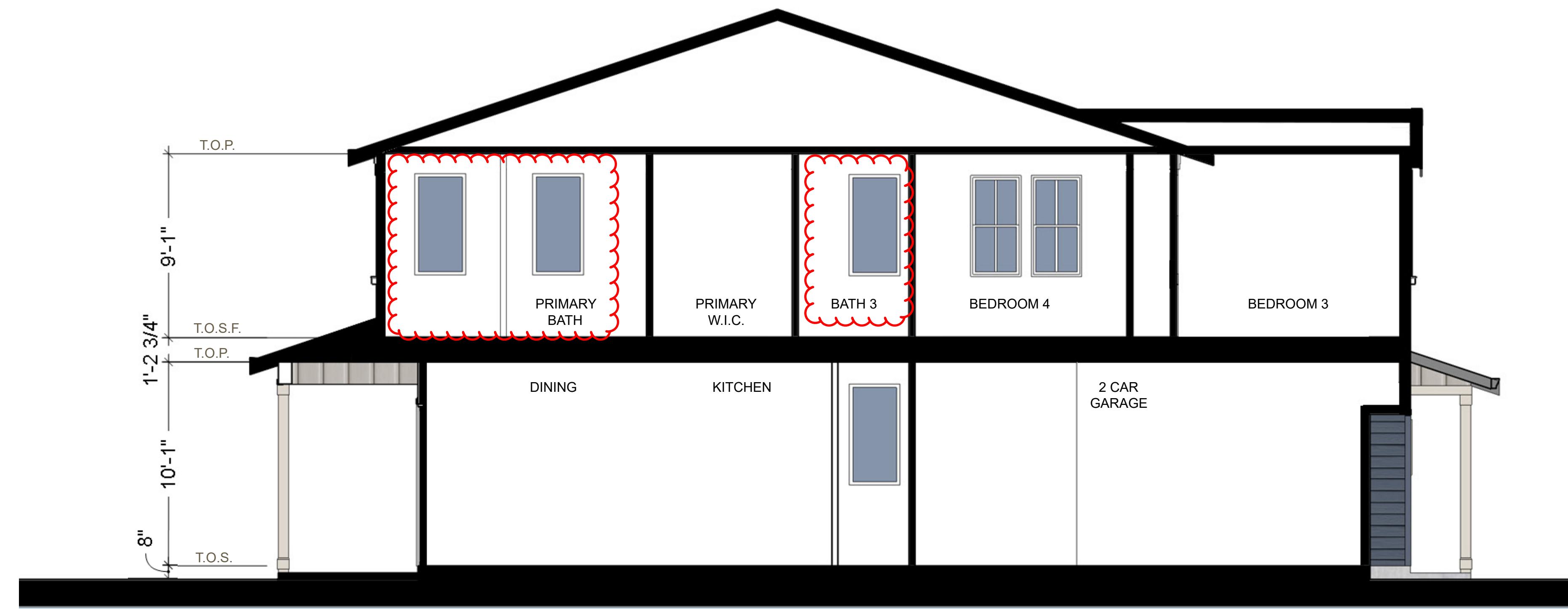


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A.11



PLAN 1A - SECTION 1



PLAN 1A - SECTION 2

PLAN 1A - TRADITIONAL - SECTIONS

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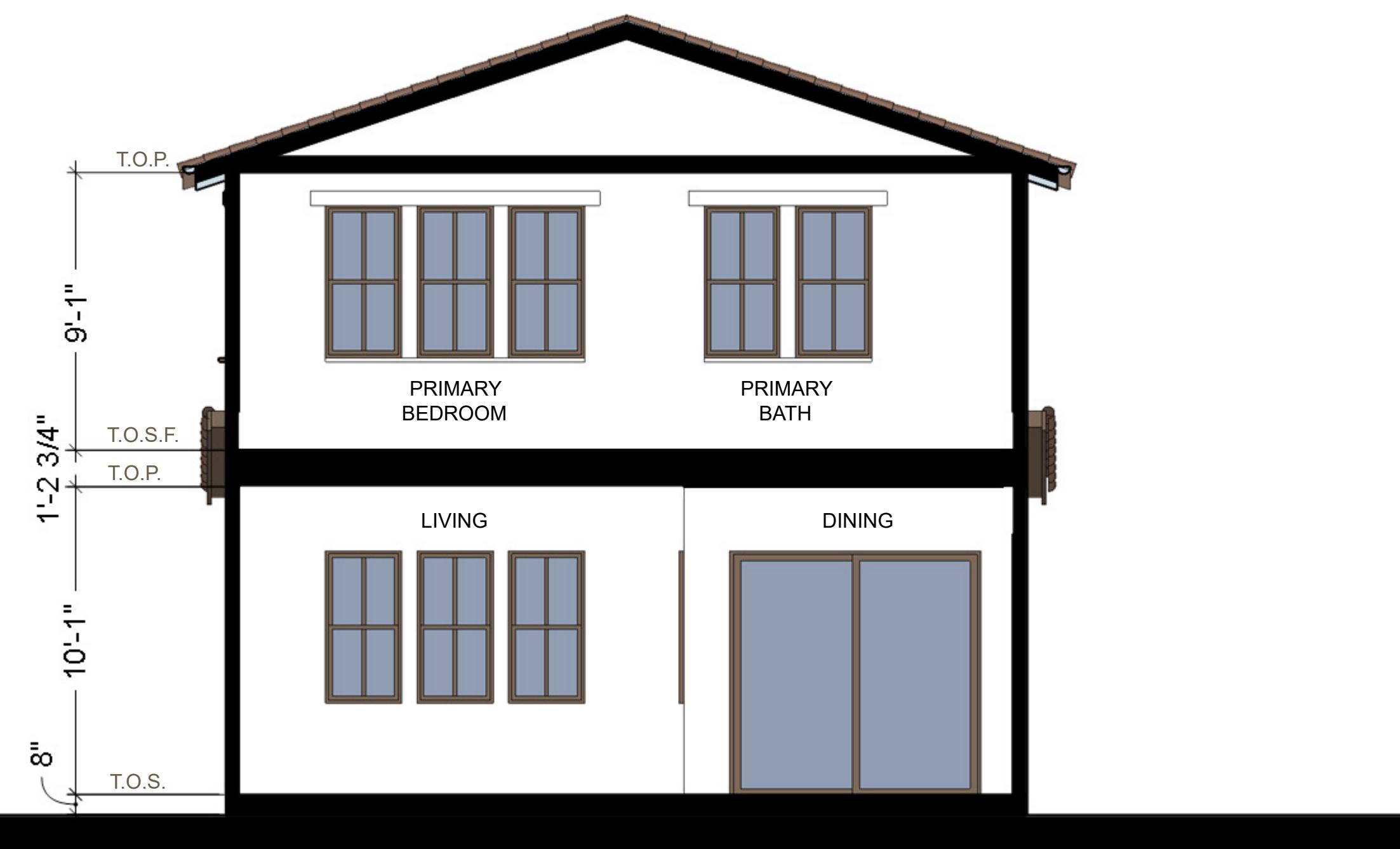
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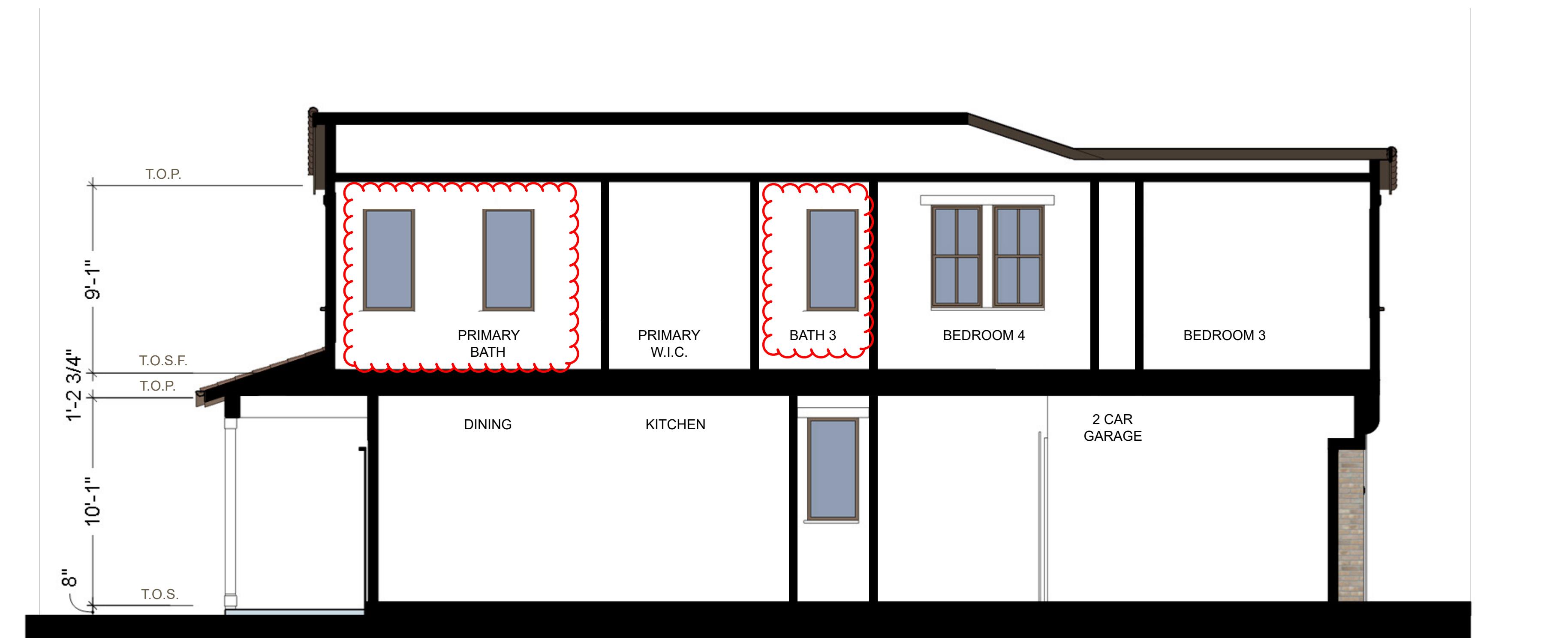


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A.12



PLAN 1B - SECTION 1



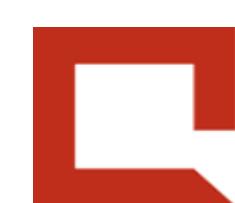
PLAN 1B - SECTION 2

PLAN 1B - SPANISH - SECTIONS

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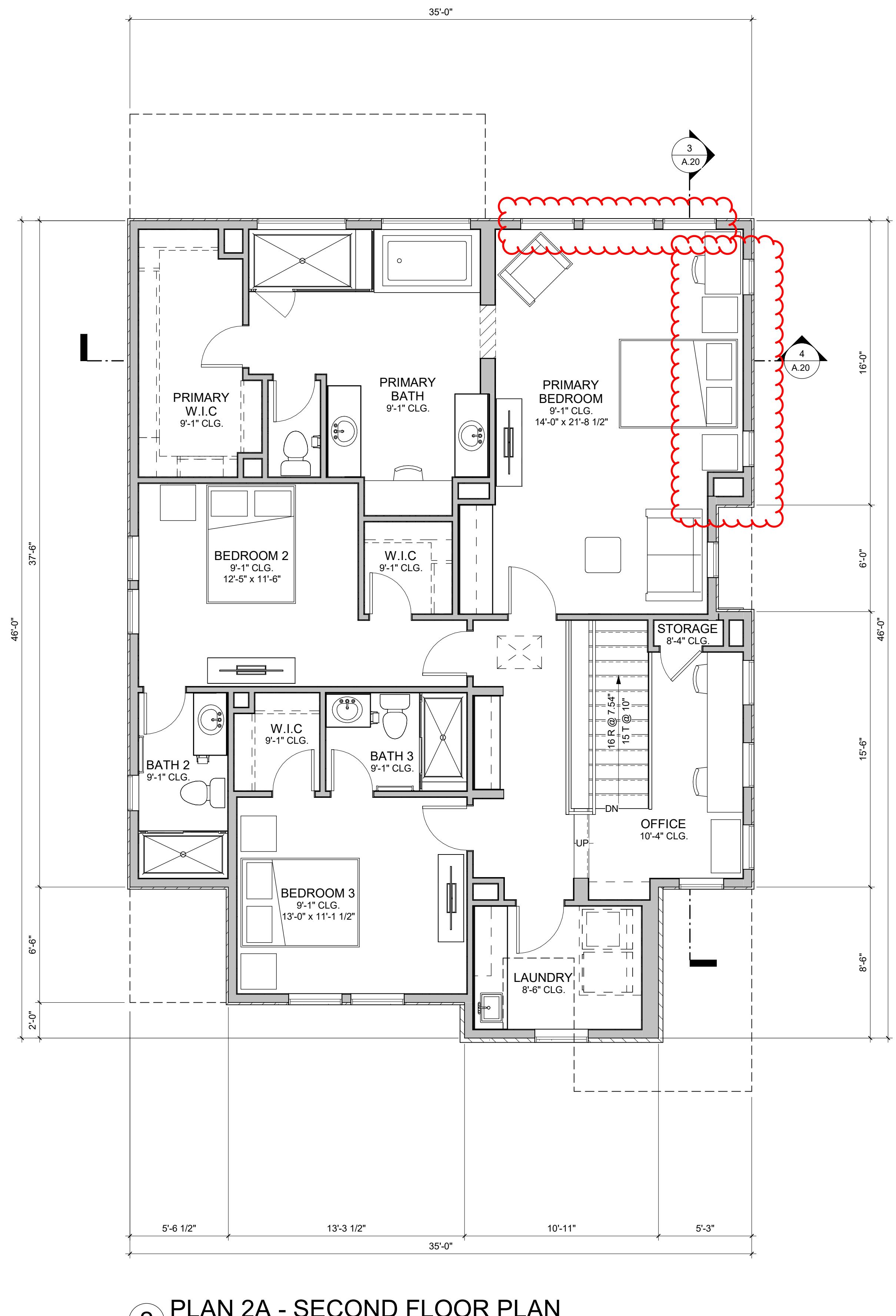
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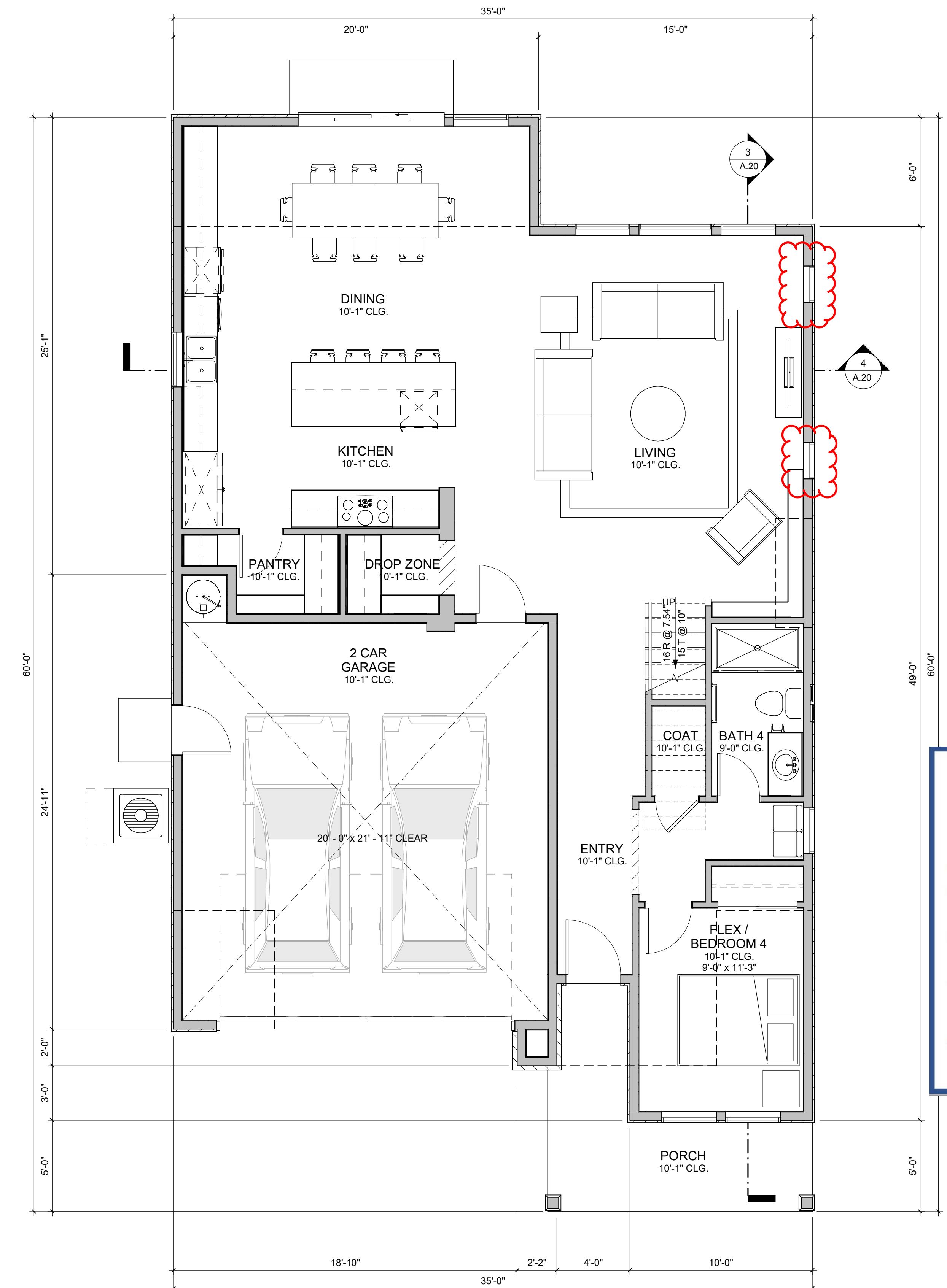
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A.13



2 PLAN 2A - SECOND FLOOR PLAN

1/4" = 1'-0"



1 PLAN 2A - FIRST FLOOR PLAN

1/4" = 1'-0"

PLAN 2A - TRADITIONAL - FLOOR PLANS

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A.14

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PLAN APPROVED

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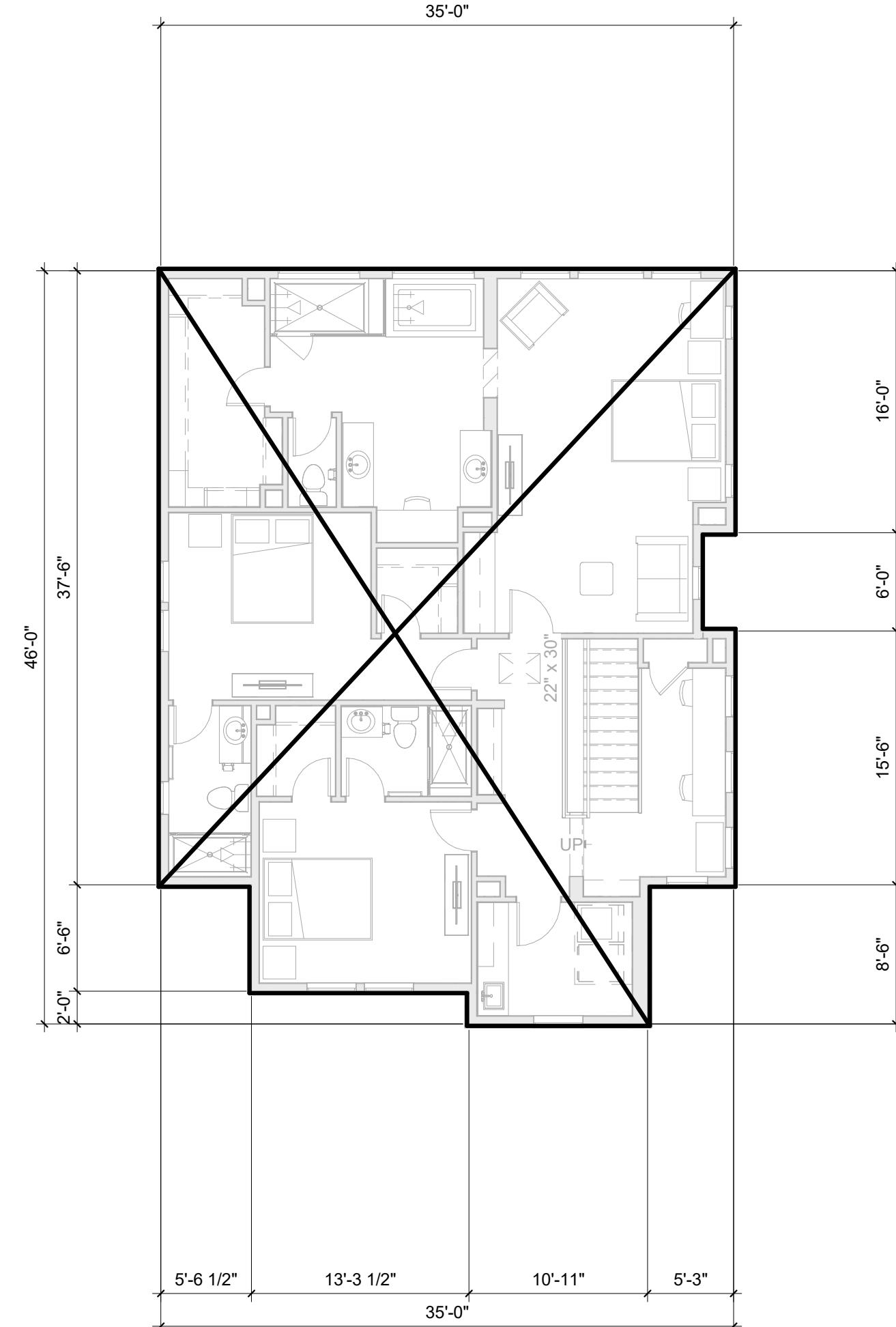
ON 3/7/2025

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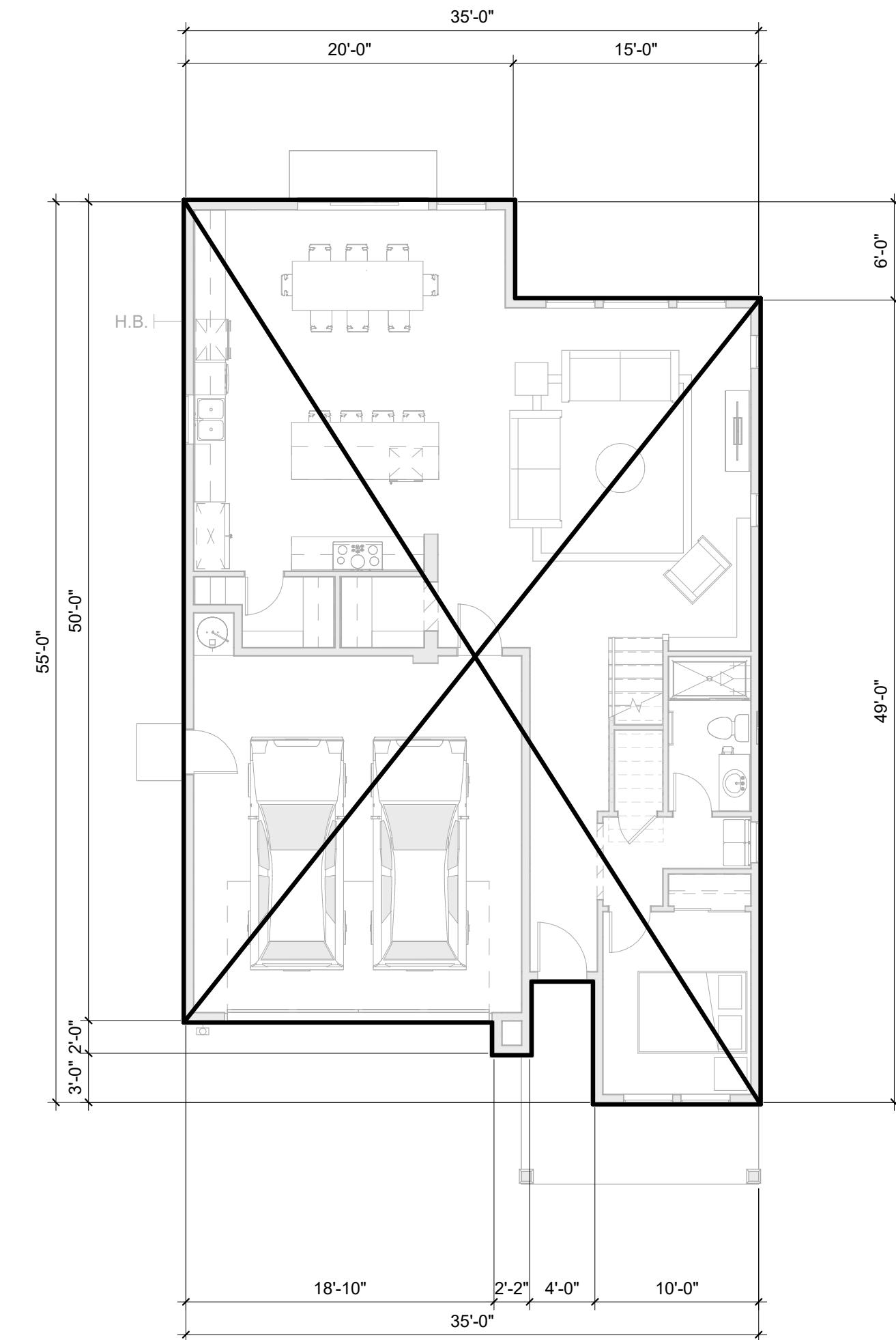
FILE NUMBER

Roshni Saxena
Assistant Planner

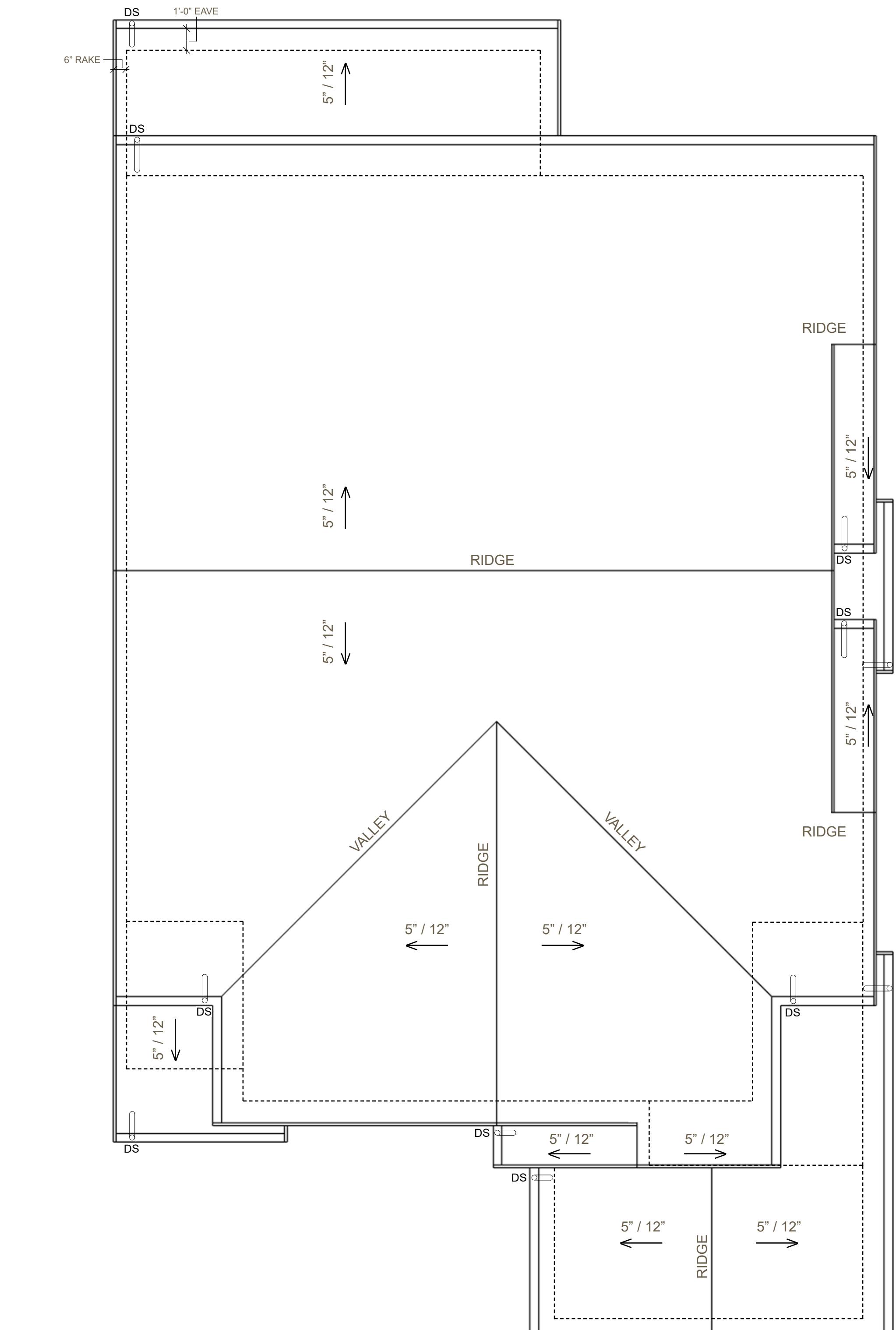
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PLANNING OFFICIAL



3 PLAN 2A - SECOND FLOOR F.A.R. BOUNDARY
1/8" = 1'-0"



2 PLAN 2A - FIRST FLOOR F.A.R. BOUNDARY
1/8" = 1'-0"



1 PLAN 2A - ROOF PLAN
1/4" = 1'-0"

PLAN 2A - TRADITIONAL - FAR + ROOF PLANS

730 & 760 DIANA AVE - MORGAN HILL, CA
DIVIDEND HOMES

DAHLIN GROUP ARCHITECTURE | PLANNING | INTERIORS

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REGALIA

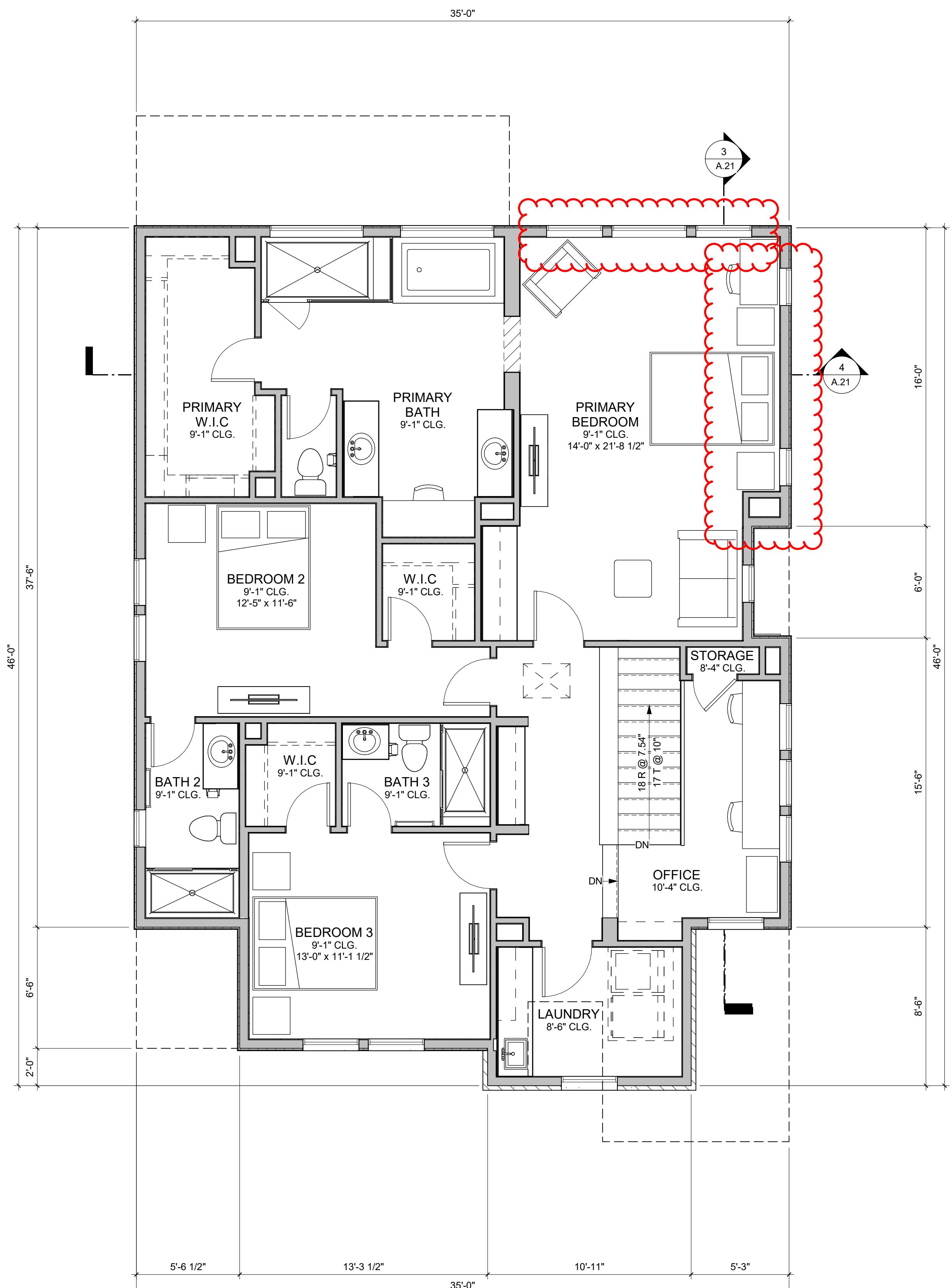


Michael Arnone + Associates
LANDSCAPE ARCHITECTURE

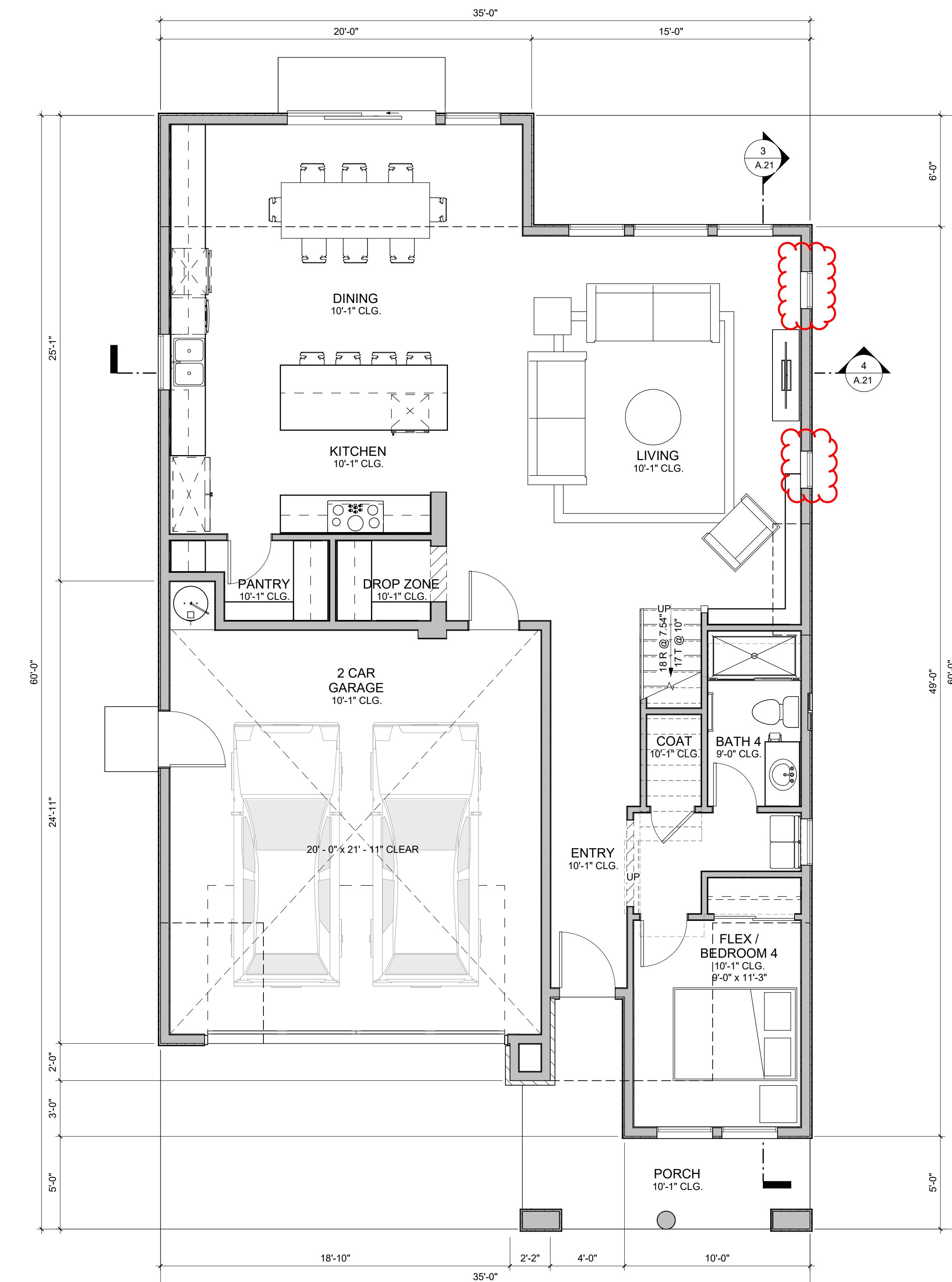


JOB NO. 297-091
DATE 03/04/2025

A.15



2 PLAN 2B - SECOND FLOOR PLAN
1/4" = 1'-0"



1 PLAN 2B - FIRST FLOOR PLAN
1/4" = 1'-0"

PLAN 2B - SPANISH - FLOOR PLANS

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PLAN APPROVED

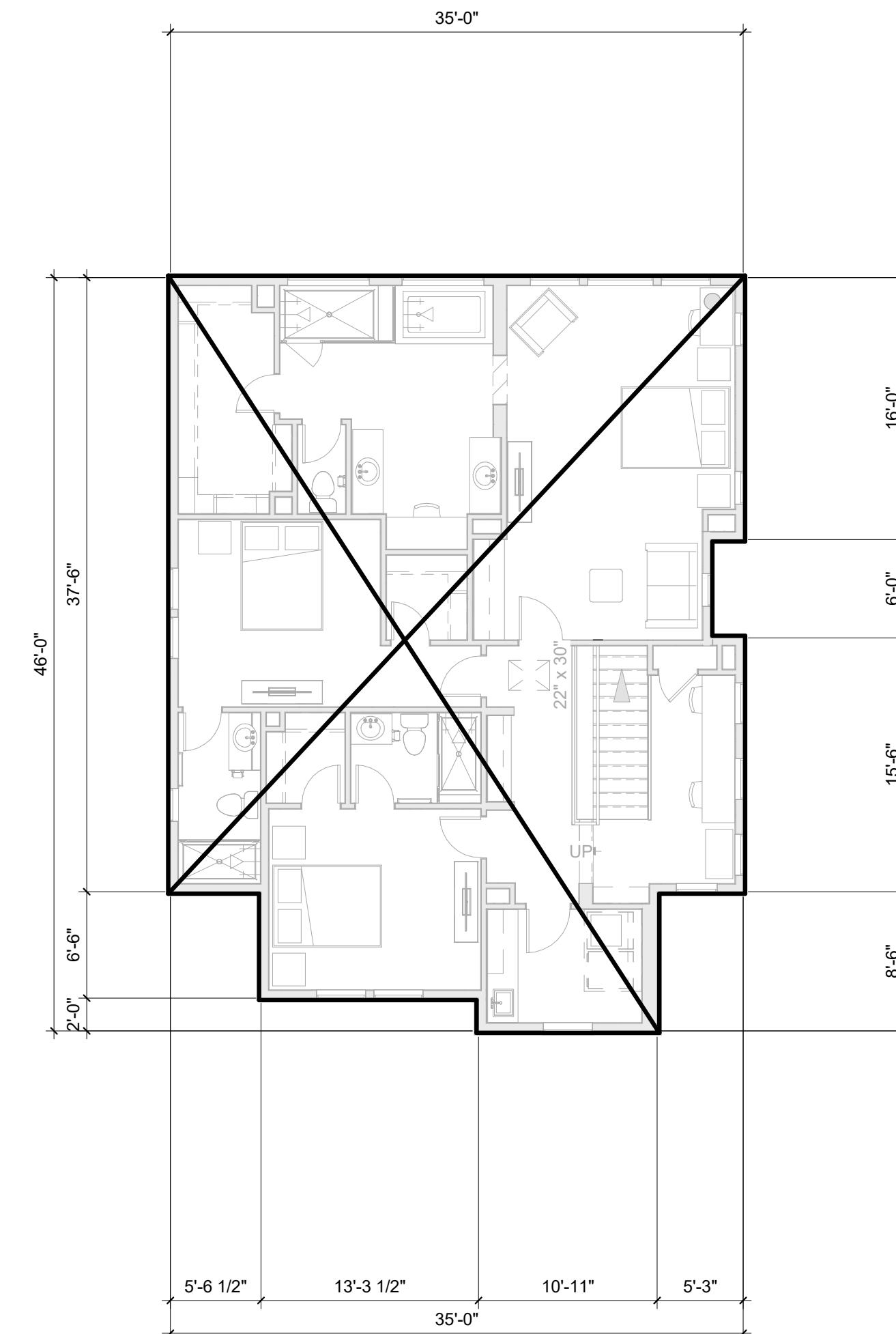
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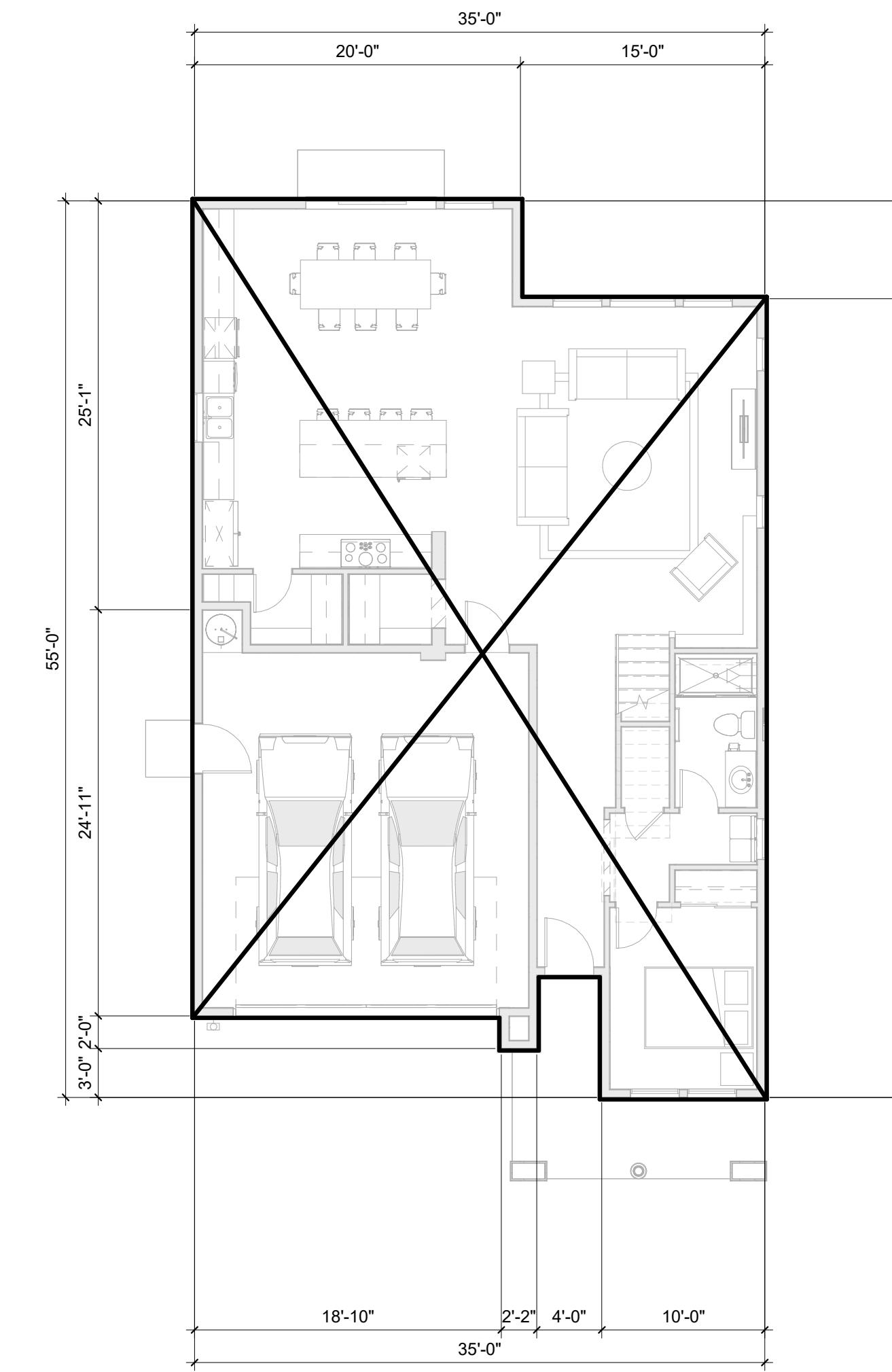
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FILE NUMBER
Roshni Saxena
Assistant Planner

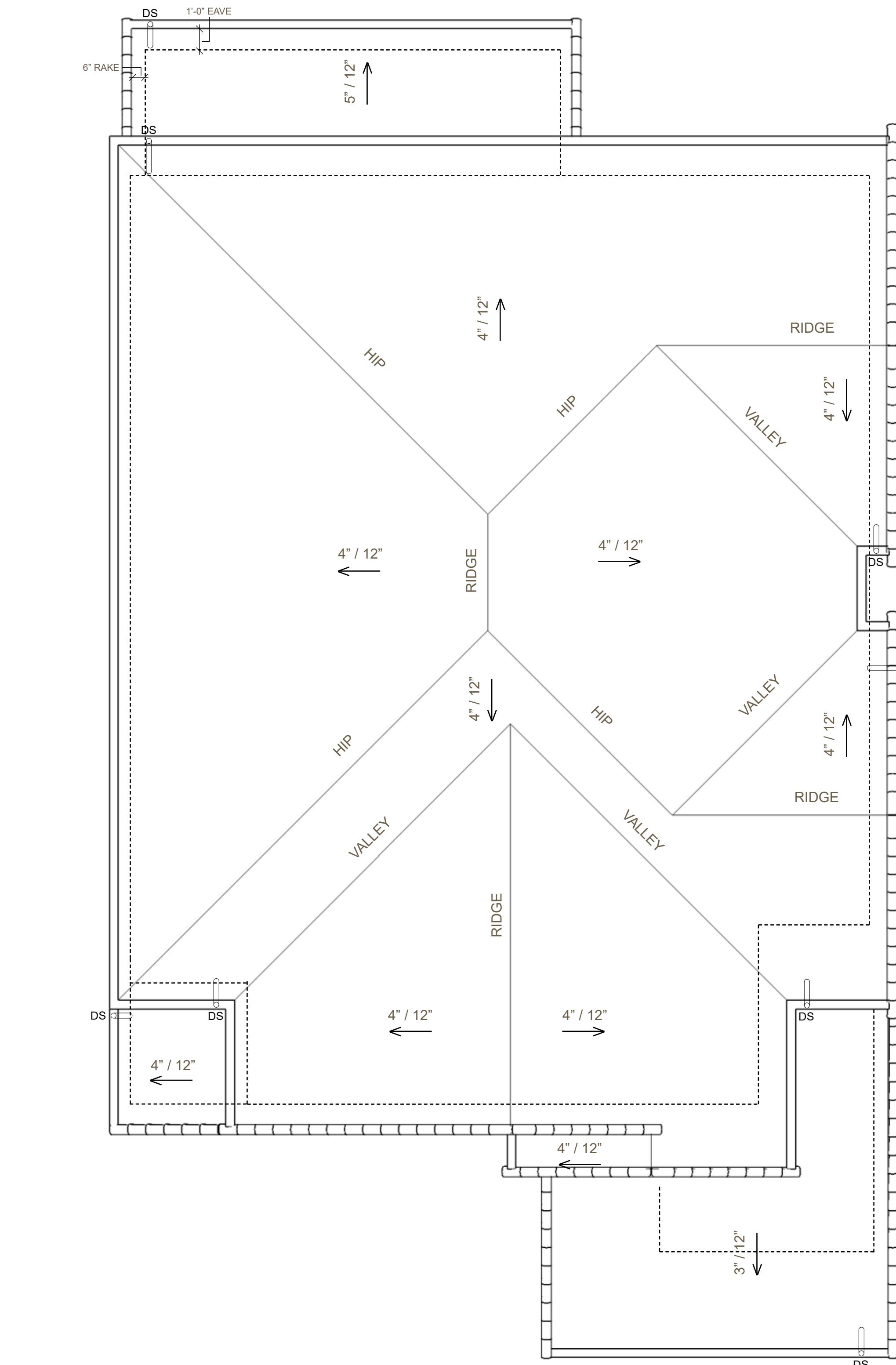
PLANNING OFFICIAL



3 PLAN 2B - SECOND FLOOR F.A.R. BOUNDARY
1/8" = 1'-0"



2 PLAN 2B - FIRST FLOOR F.A.R. BOUNDARY
1/8" = 1'-0"



1 PLAN 2B - ROOF PLAN
1/4" = 1'-0"

PLAN 2B - SPANISH - FAR + ROOF PLANS

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REGALIA Michael Arnone + Associates
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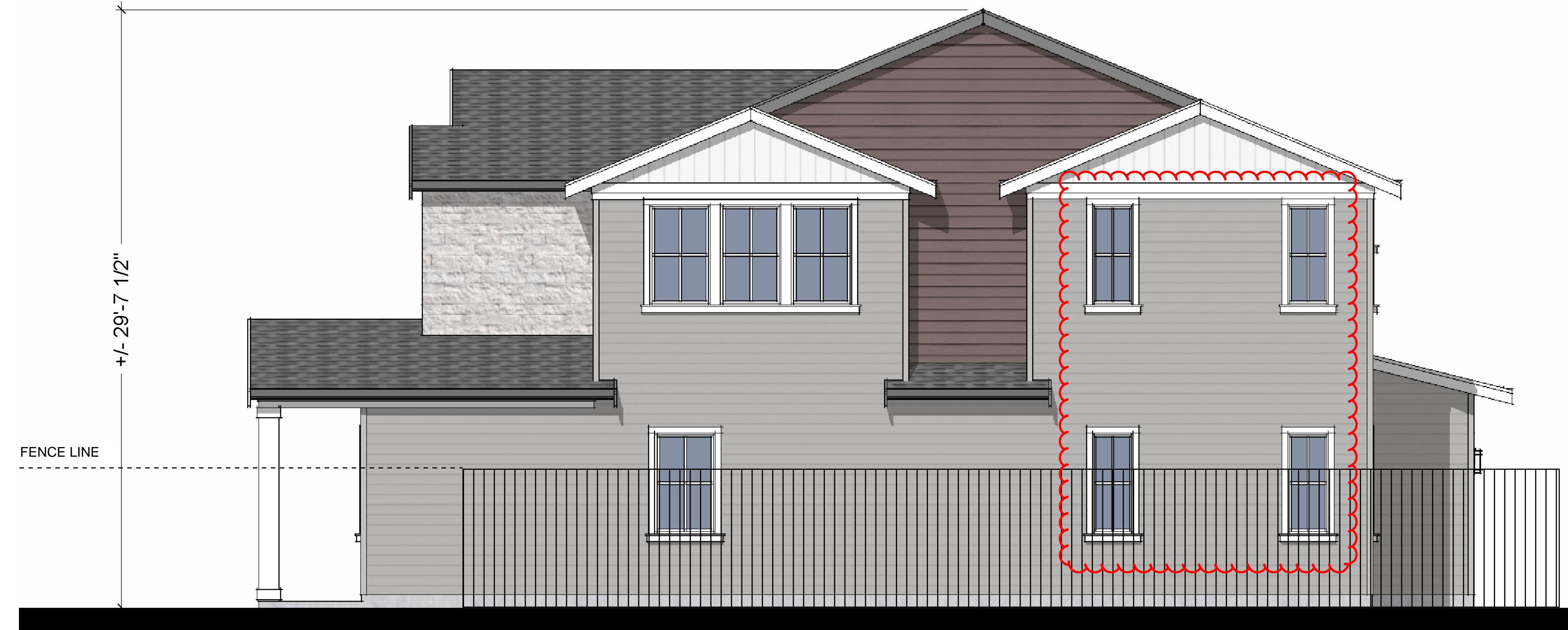


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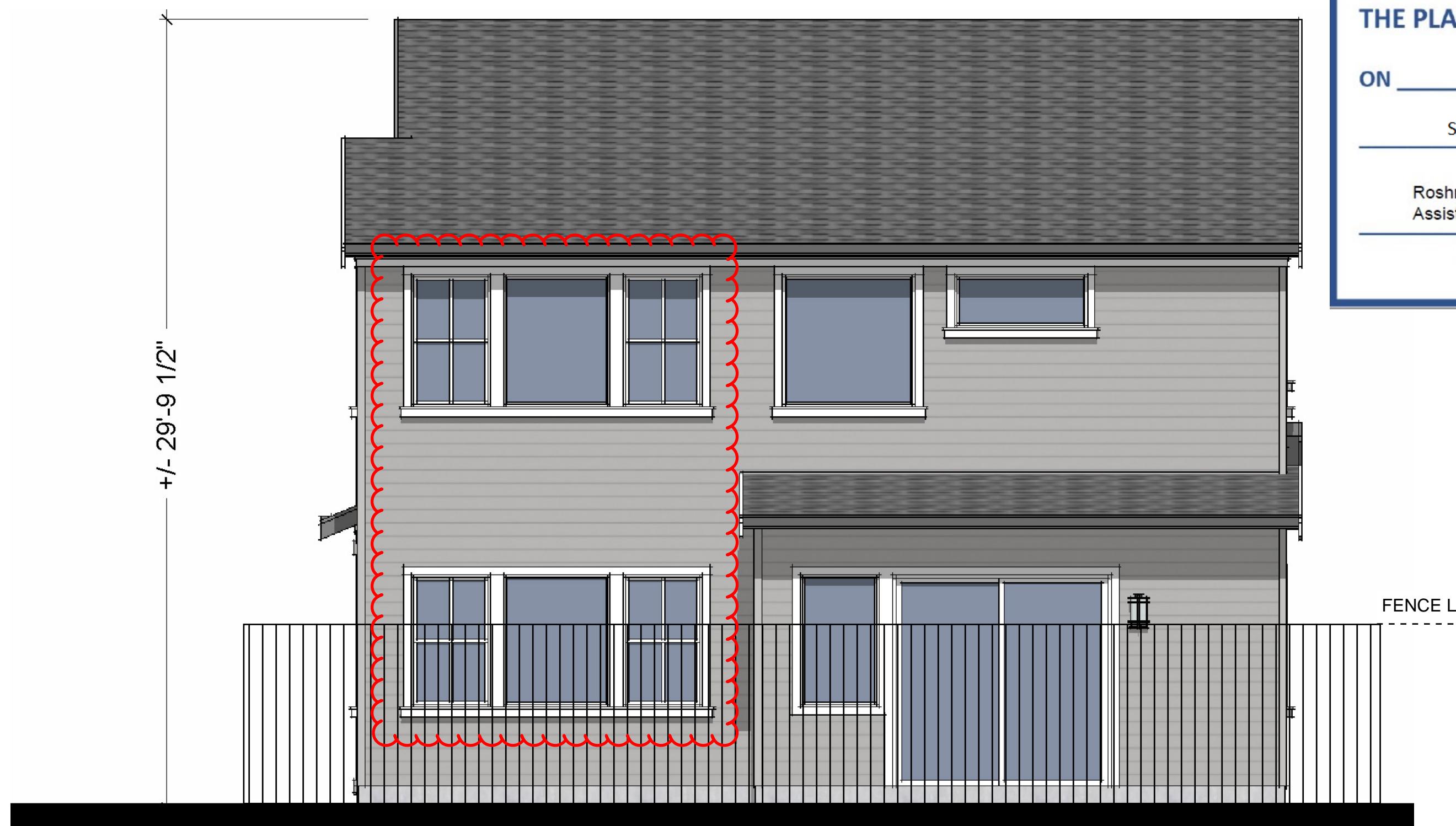
A.17



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

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LEFT ELEVATION

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REPRESENTATION ONLY- SEE LANDSCAPING DRAWINGS FOR MORE INFO.
REFER SHEET A.23 FOR MORE INFO ON COLOR & MATERIAL BOARD.

PLAN 2A - TRADITIONAL - ELEVATIONS

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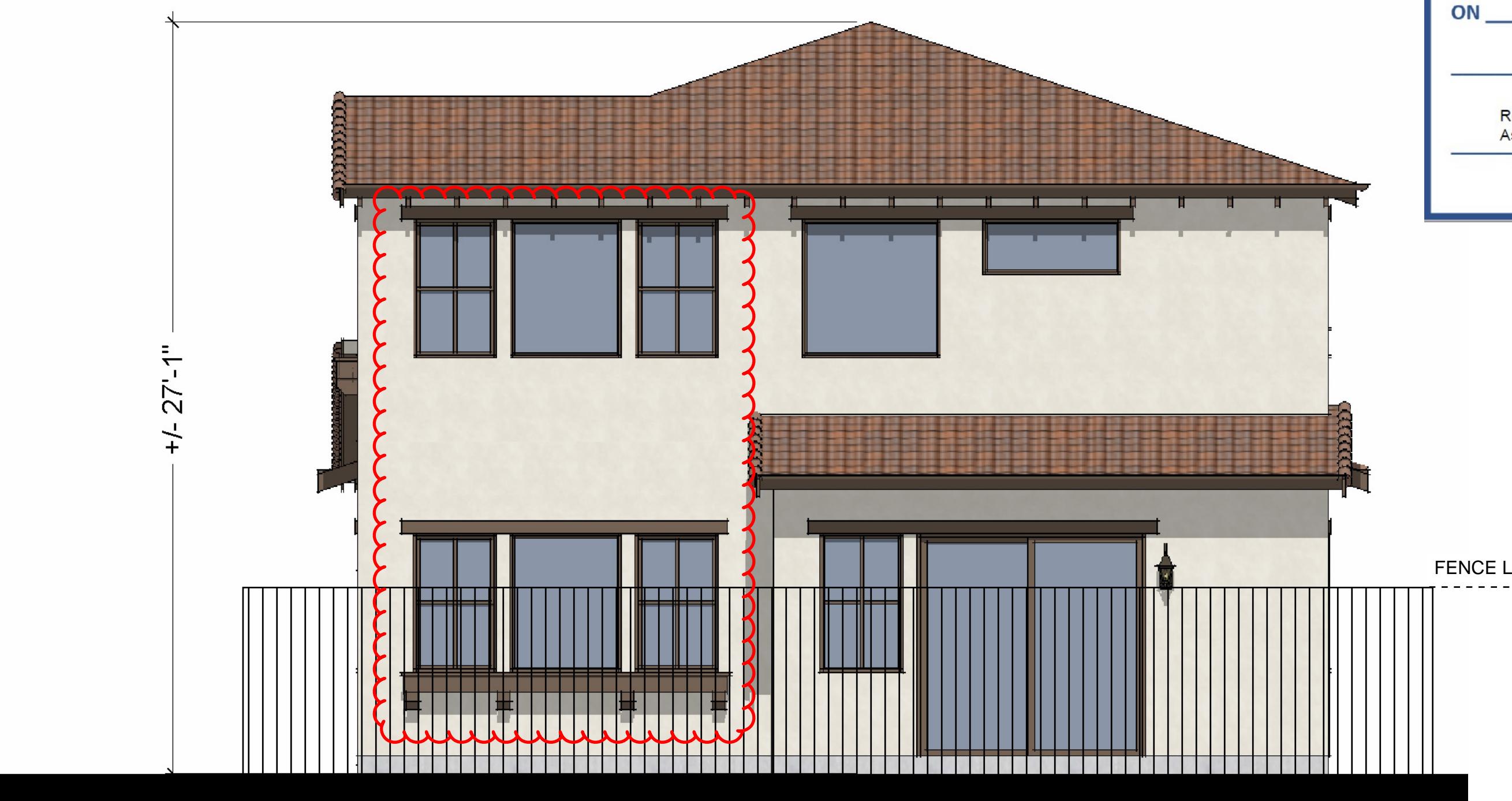
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FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

NOTE: LANDSCAPE ELEMENTS SUCH AS FENCES SHOWN FOR GRAPHICAL
REPRESENTATION ONLY- SEE LANDSCAPING DRAWINGS FOR MORE INFO.
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PLAN 2B - SPANISH - ELEVATIONS

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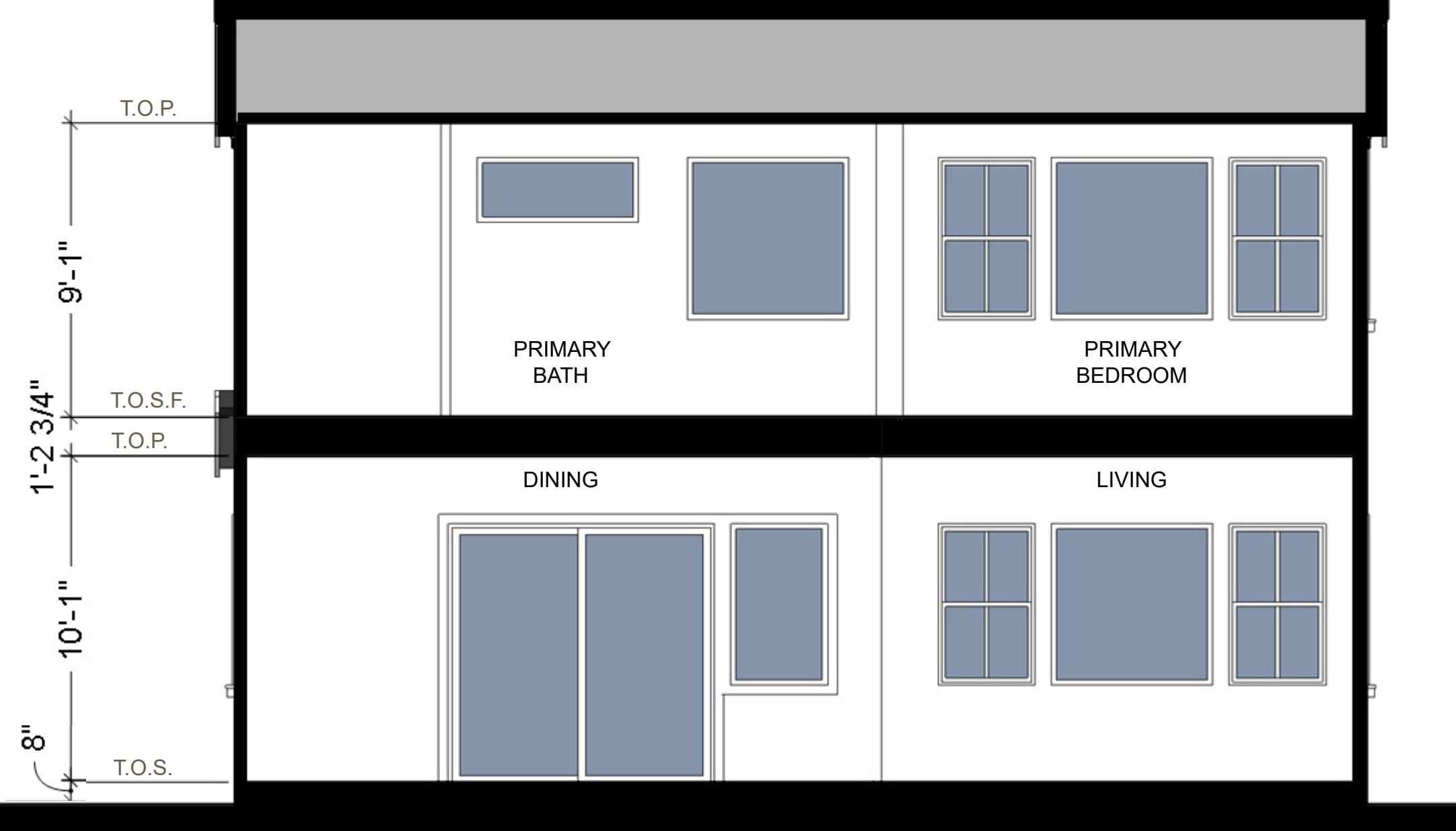
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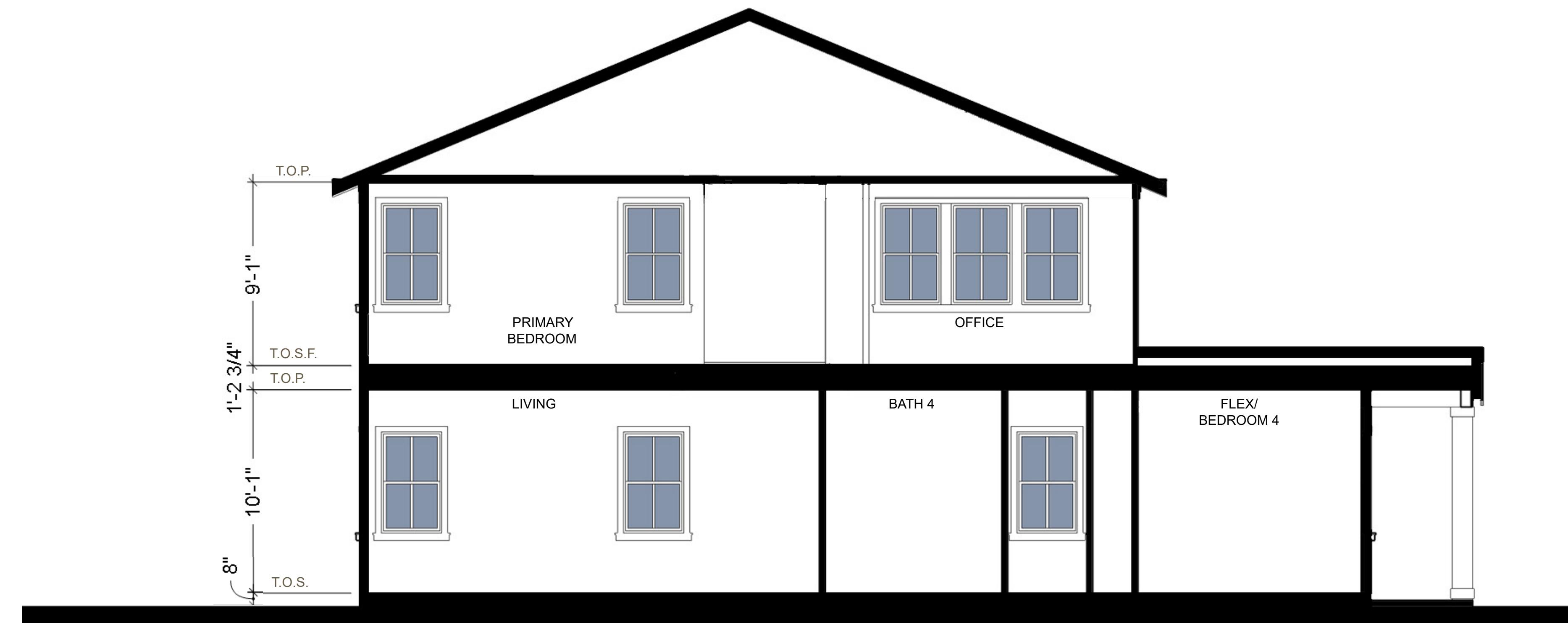
SR2024-0004

FILE NUMBER
 Roshni Saxena
 Assistant Planner


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PLAN 2A - SECTION 4



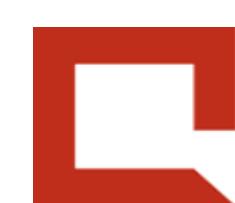
PLAN 2A - SECTION 3

PLAN 2A - TRADITIONAL - SECTIONS

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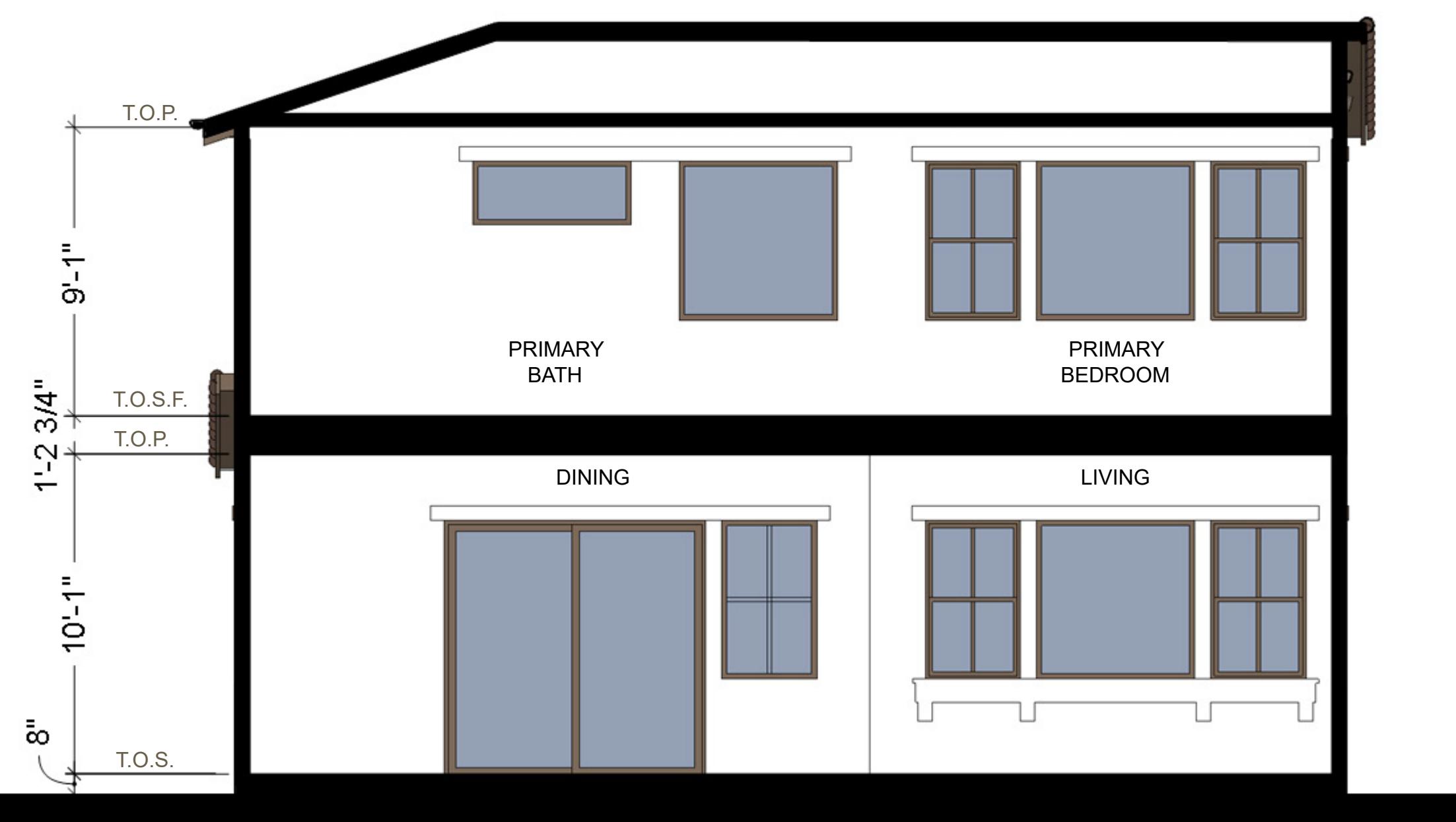
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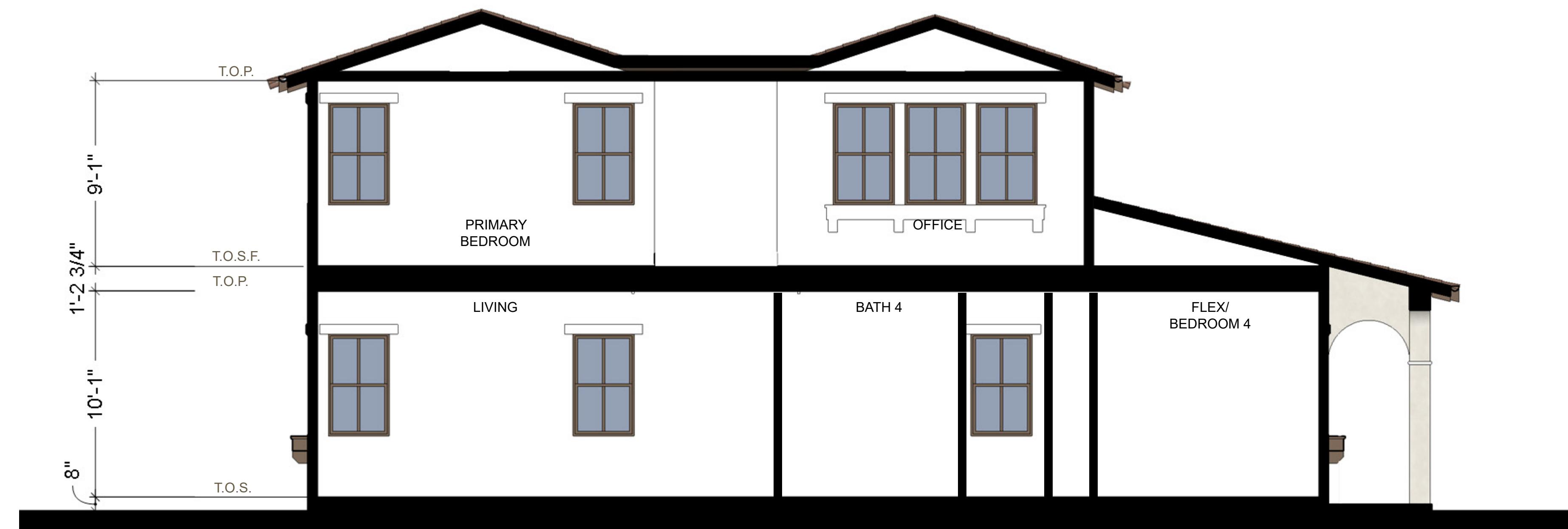
ON 3/7/2025

FILE NUMBER
SR2024-0004

PLANNING OFFICIAL
Roshni Saxena
Assistant Planner

PLAN 2B - SECTION 4



PLAN 2B - SECTION 3

PLAN 2B - SPANISH - SECTIONS

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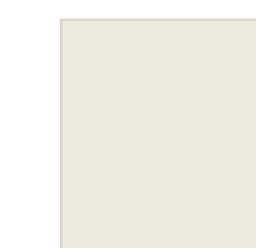


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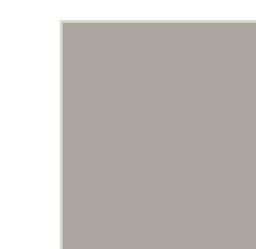
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COLORS

ALABASTER
WHITE



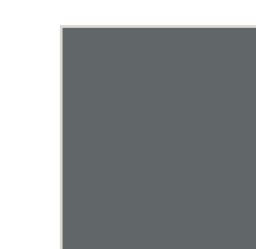
DORIAN GRAY
SW 7017



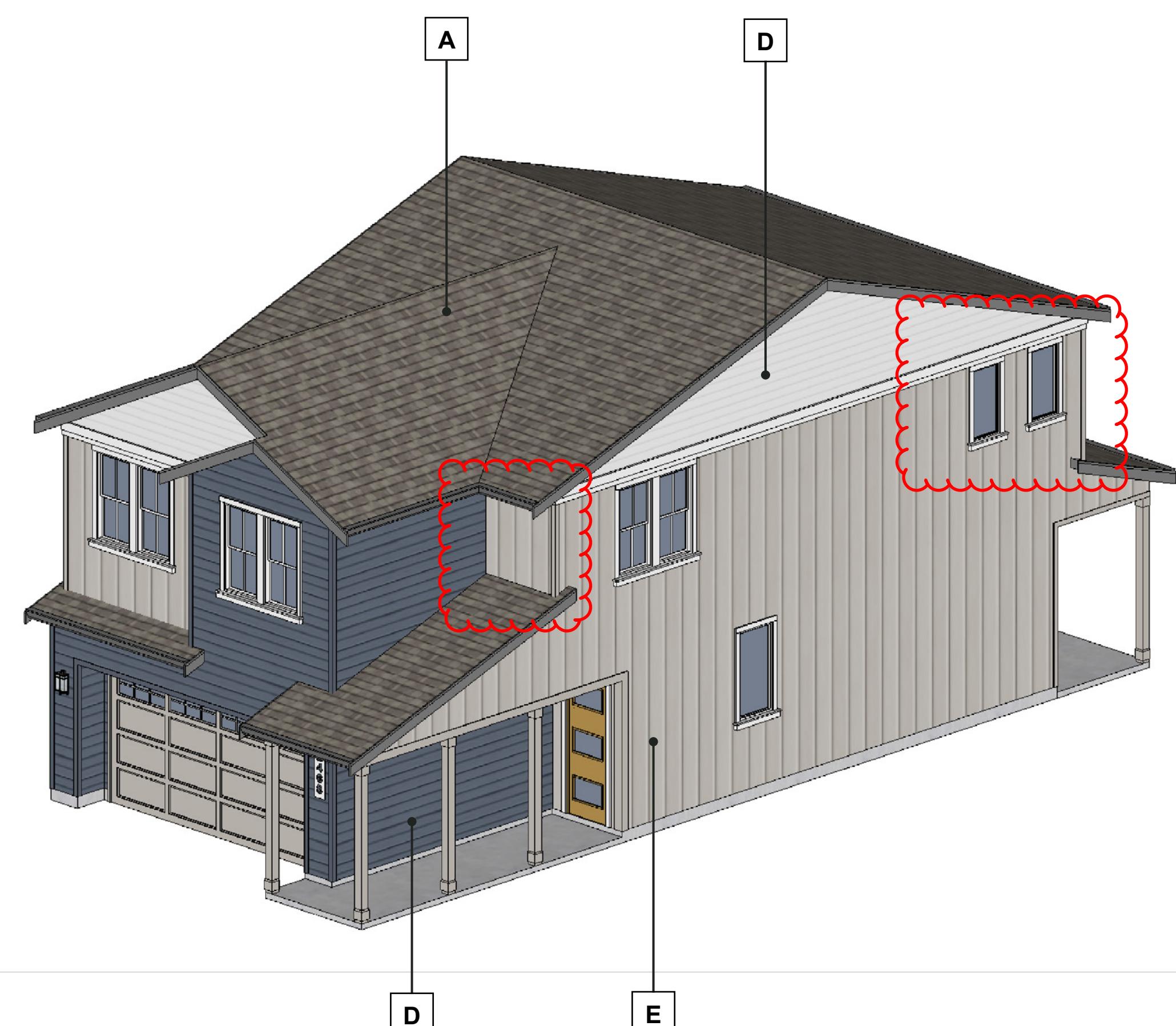
INDIGO BATIK
SW 7602



WEB GRAY
SW 7075



BEE
SW 6683

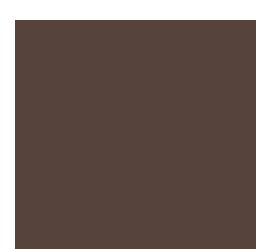


PLAN 1A - TRADITIONAL

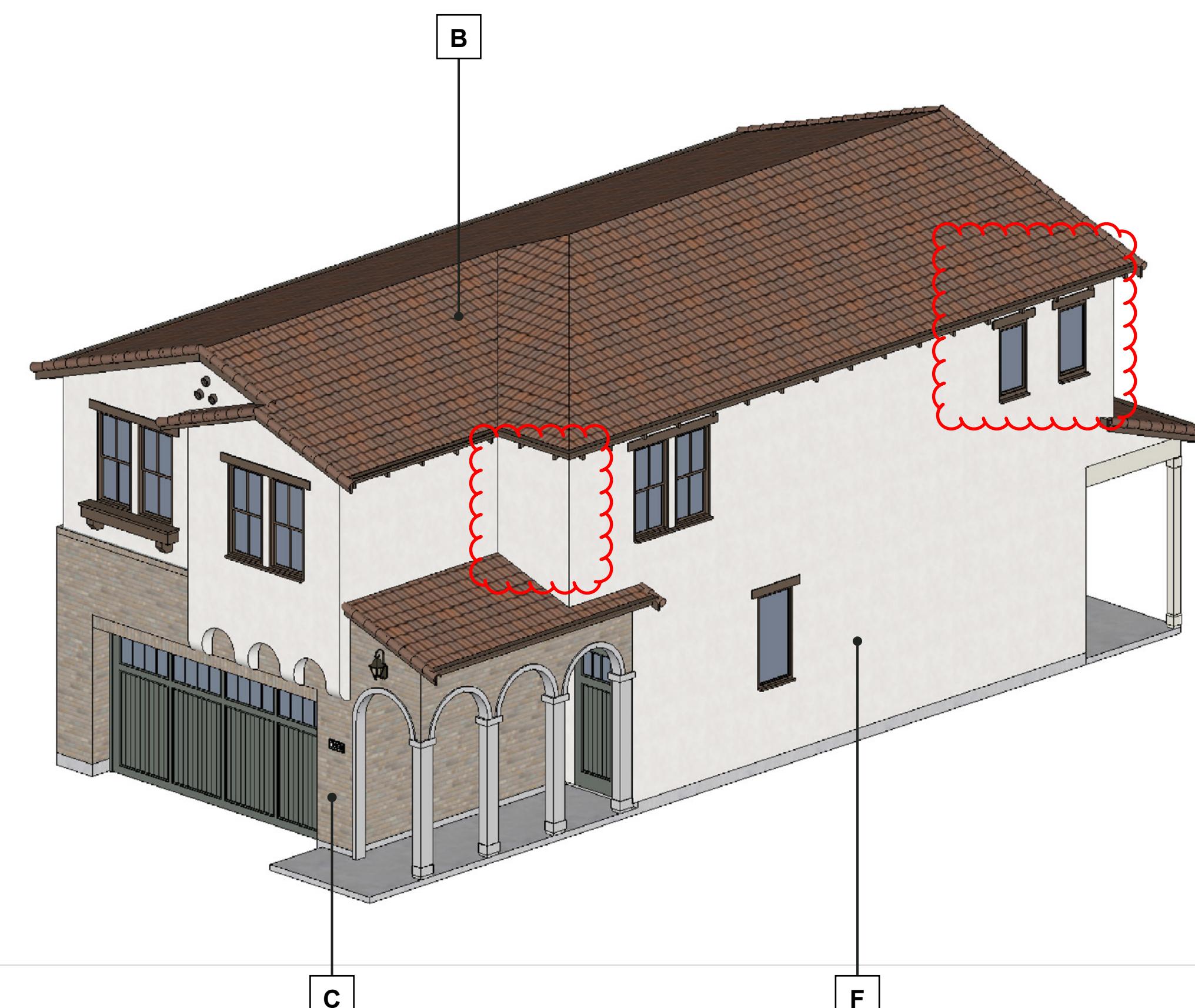
DRIFT OF MIST
SW 9166



OTTER
SW 6041



ROSEMARY
SW 6187



PLAN 1B - SPANISH



MATERIALS

A ROOF MATERIAL 1

COMPOSITION SHINGLE
GRAY



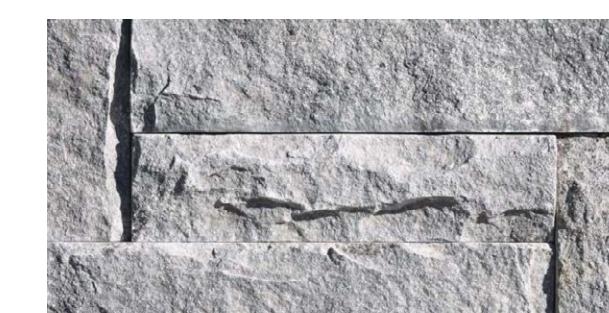
B ROOF MATERIAL 2

'S' TILE
BARCELONA 900 BY BORAL



C ADHERED MASONRY
VENEER

ELDORADO STONE



D HORIZONTAL
LAP SIDING

7.25" SIDING W/ 6" EXP.



E VERTICAL
LAP SIDING

7.25" SIDING W/ 6" EXP.



F STUCCO

LIGHT SAND FINISH



PAINT COLORS AND PHOTO IMAGES
OF MATERIALS SEEN ON SCREEN MAY
NOT ACCURATELY REPRESENT COLORS
AND TEXTURES. REFER TO ACTUAL
MATERIALS AND COLORS.

DOWNSPOUTS: PAINT ALL EXPOSED
SIDES WITH ADJACENT COLOR.

ALL VINYL WINDOWS W/ DARK COLORED
FRAMES.

PLAN 1 COLOR AND MATERIAL BOARD

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A.22

COLORS

GREEK VILLA
SW 7551



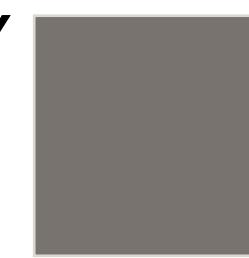
ESSENTIAL GRAY
SW 6002



SOMMELIER
SW 7595



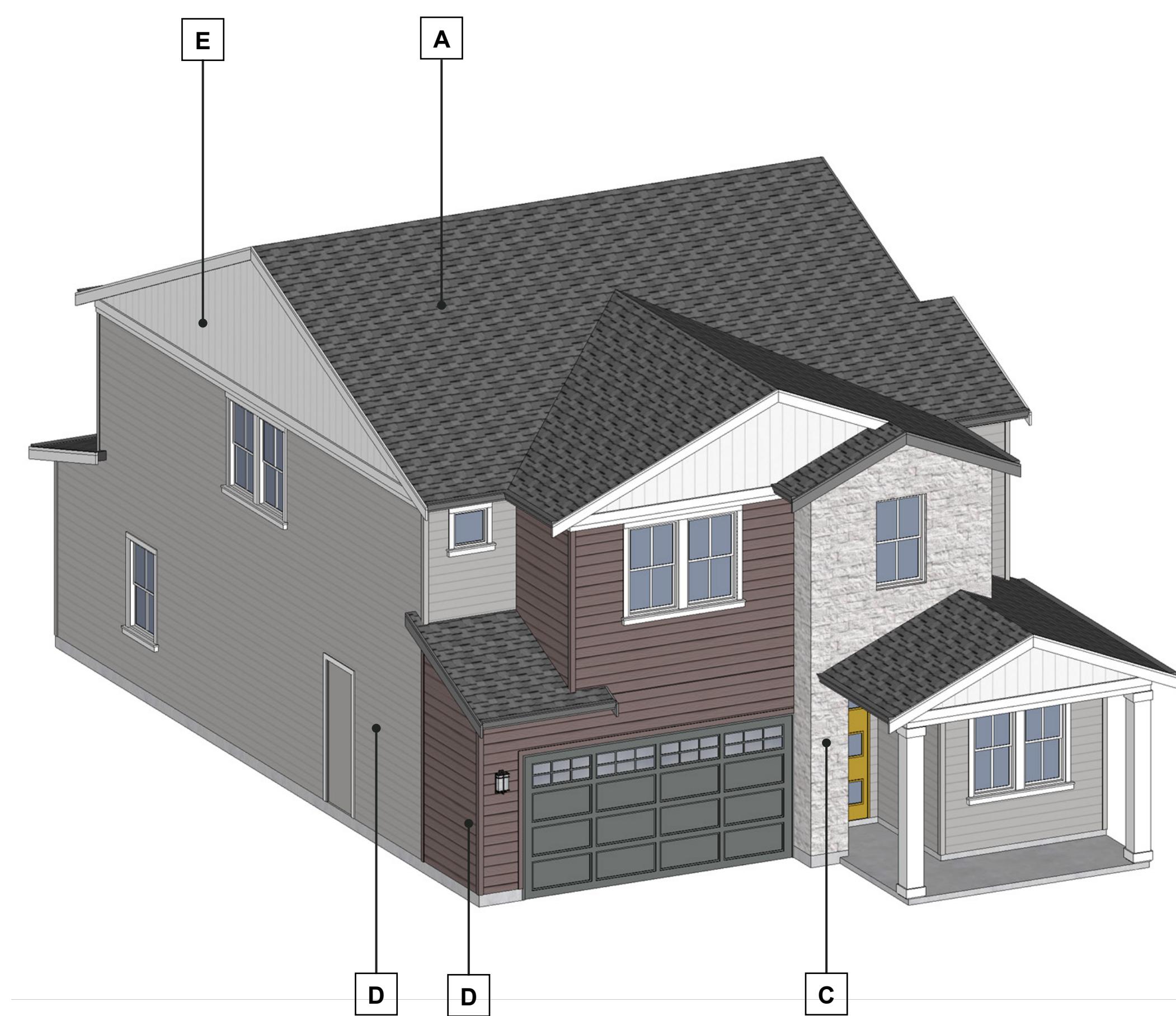
GAUNTLET GRAY
SW 7019



GRIZZLE GRAY
SW 7068

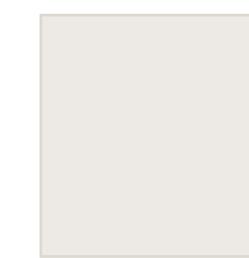


BUTTERFIELD
SW 6676



PLAN 2A - TRADITIONAL

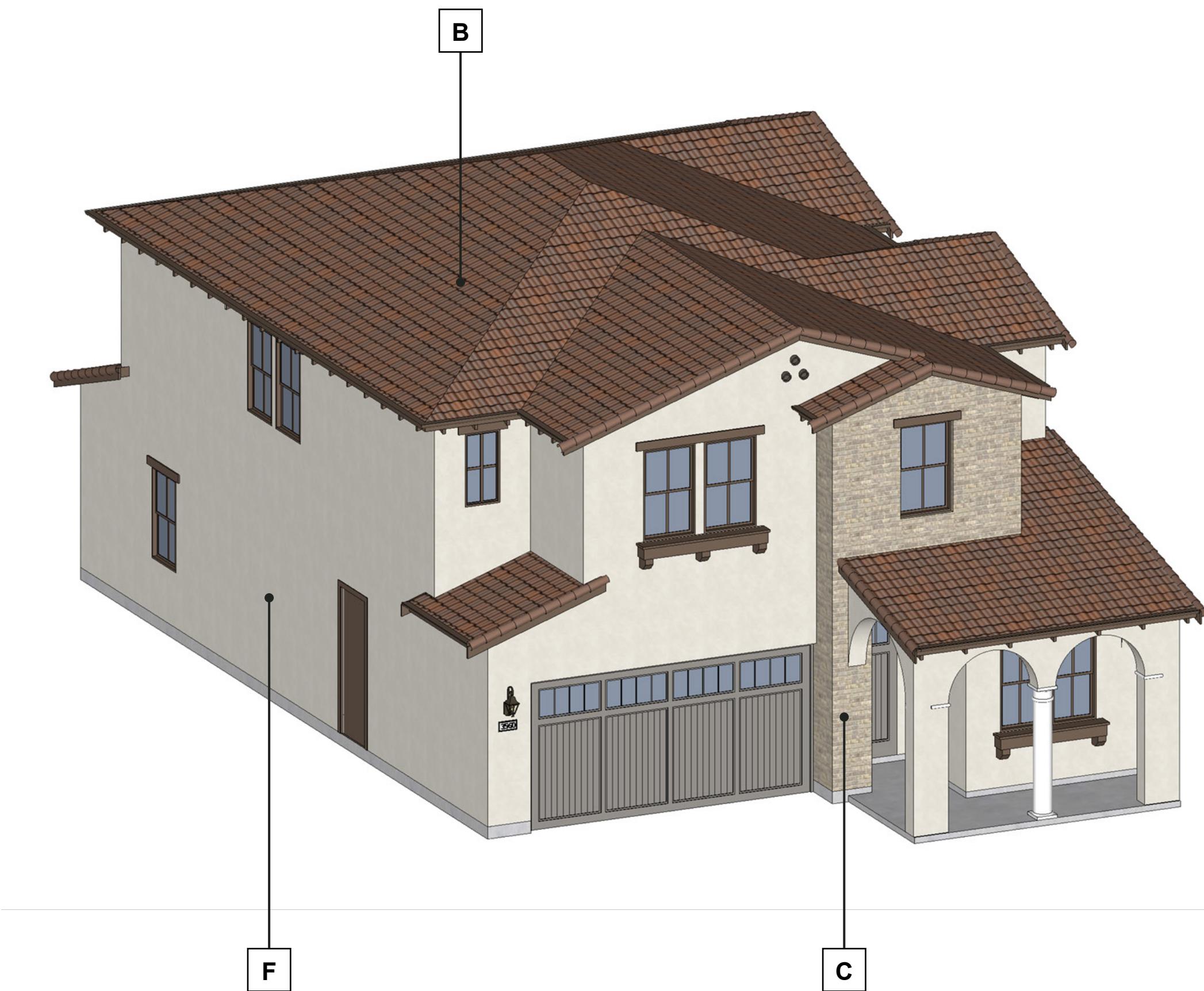
SNOWBOUND
SW 7004



JAVA
SW 6090



CHATURA GRAY
SW 9169



PLAN 2B - SPANISH

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Roshni Saxena
Assistant Planner
PLANNING OFFICIAL

MATERIALS

A ROOF MATERIAL 1

COMPOSITION SHINGLE
GRAY



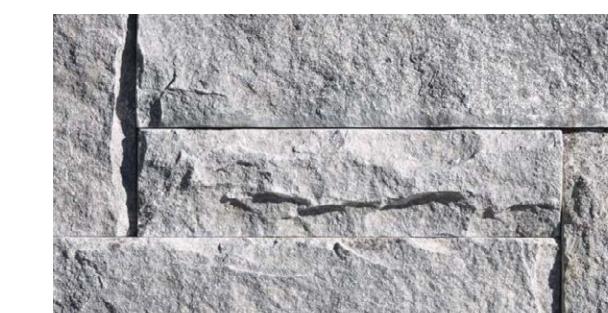
B ROOF MATERIAL 2

'S' TILE
BARCELONA 900 BY BORAL



C ADHERED MASONRY VENEER

ELDORADO STONE



D HORIZONTAL LAP SIDING

7.25" SIDING W/ 6" EXP.



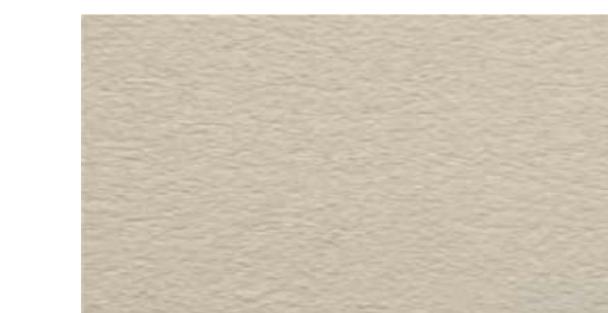
E VERTICAL LAP SIDING

7.25" SIDING W/ 6" EXP.



F STUCCO

LIGHT SAND FINISH



PAINT COLORS AND PHOTO IMAGES
OF MATERIALS SEEN ON SCREEN MAY
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AND TEXTURES. REFER TO ACTUAL
MATERIALS AND COLORS.

DOWNSPOUTS: PAINT ALL EXPOSED
SIDES WITH ADJACENT COLOR.

ALL VINYL WINDOWS W/ DARK COLORED
FRAMES.

PLAN 2 COLOR AND MATERIAL BOARD

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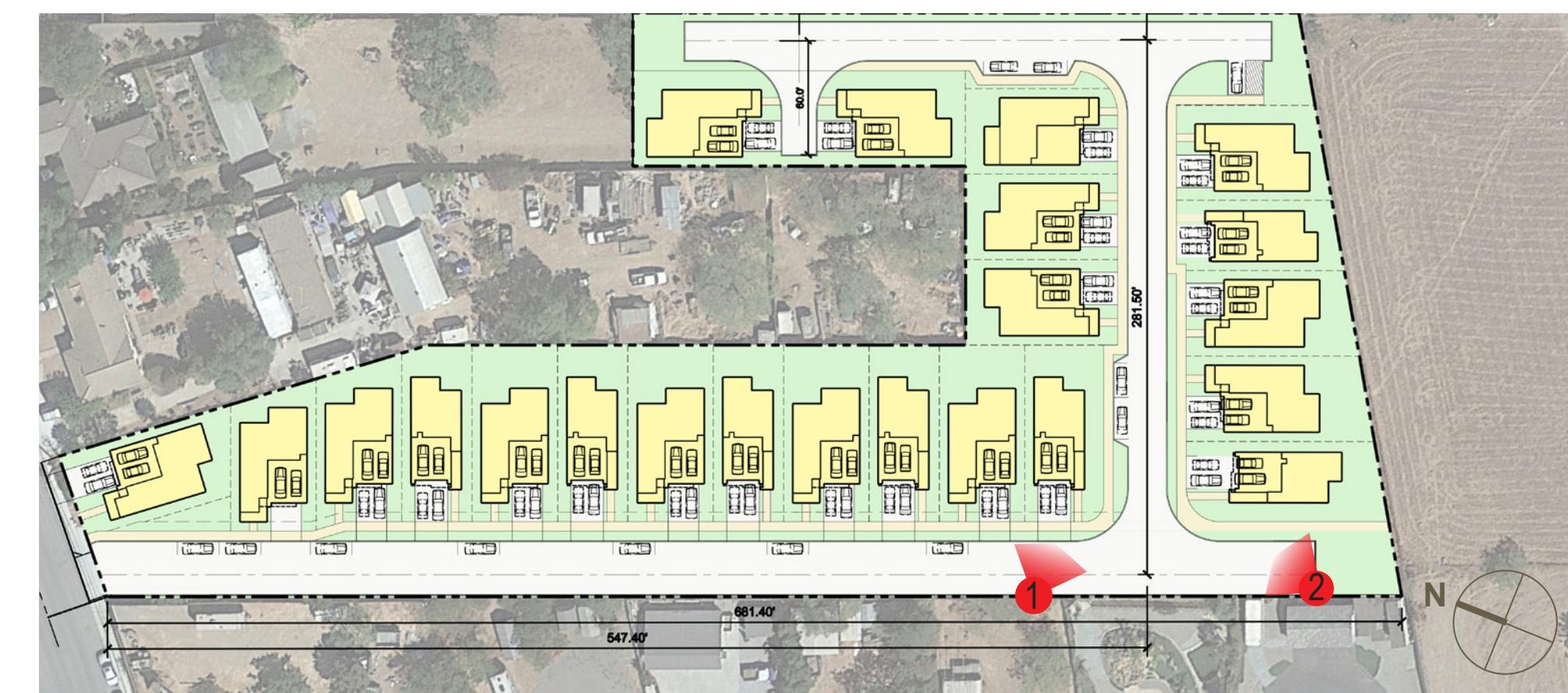
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SITE PERSPECTIVE 1



SITE PERSPECTIVE 2

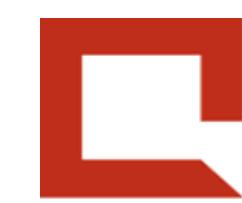


NTS
SITE PERSPECTIVES

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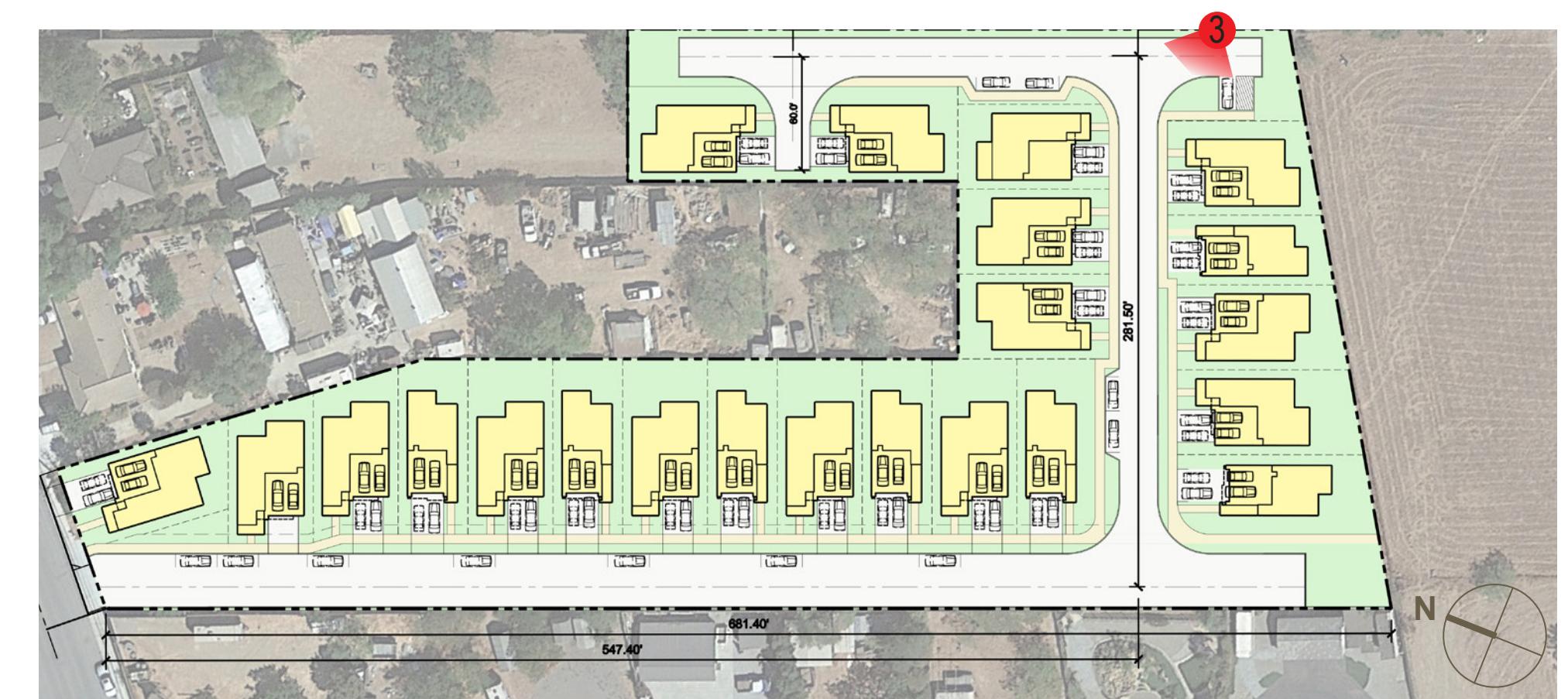


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A.24



SITE PERSPECTIVE 3



NTS
SITE PERSPECTIVES

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FILE NUMBER

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Assistant Planner


PLANNING OFFICIAL

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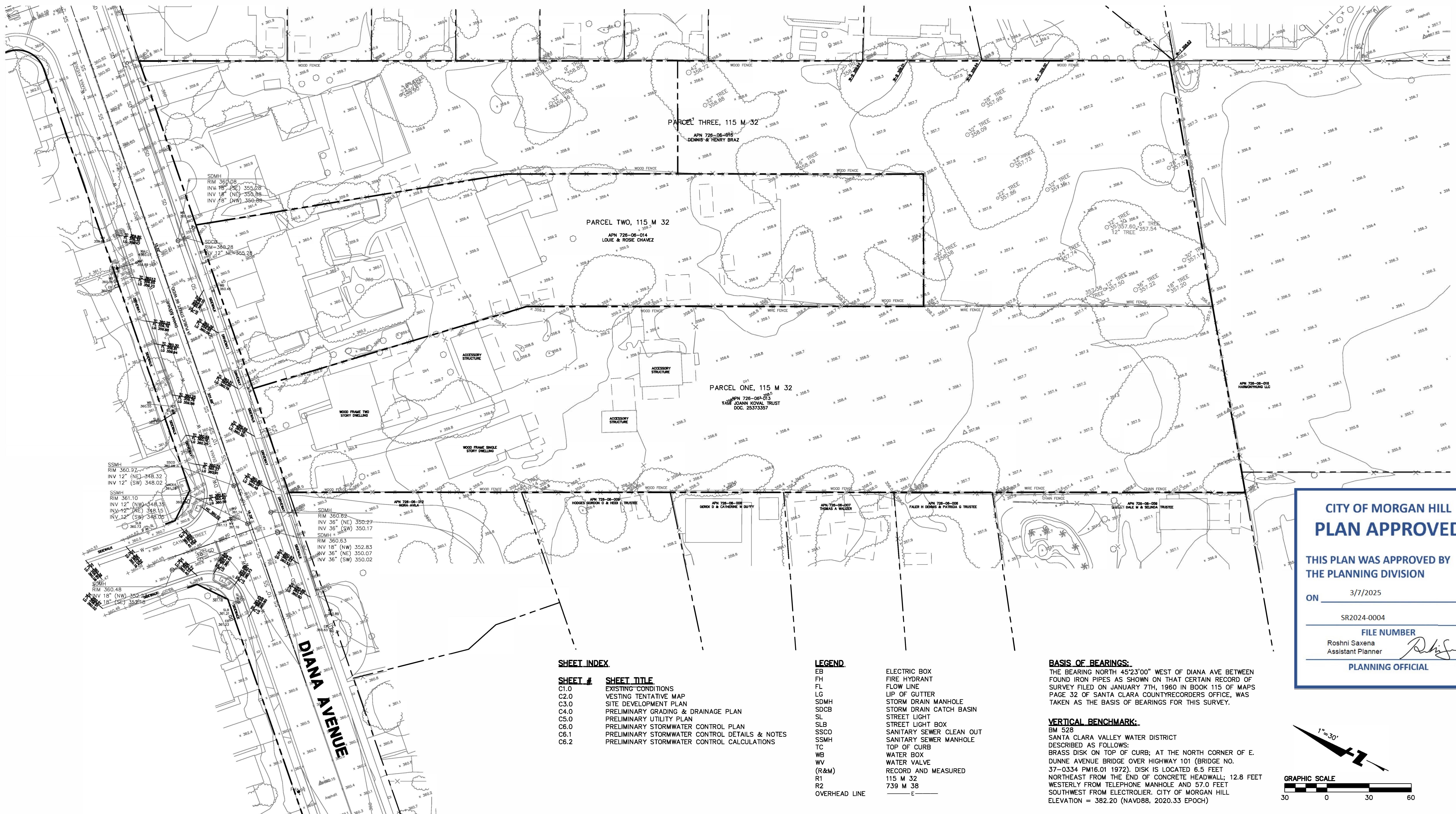
**MILLER STARR
REGALIA**


Michael Arnone + Associates
LANDSCAPE ARCHITECTURE



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DATE 03/04/2025

A.27



730 & 760 DIANA AVENUE

EXISTING CONDITIONS

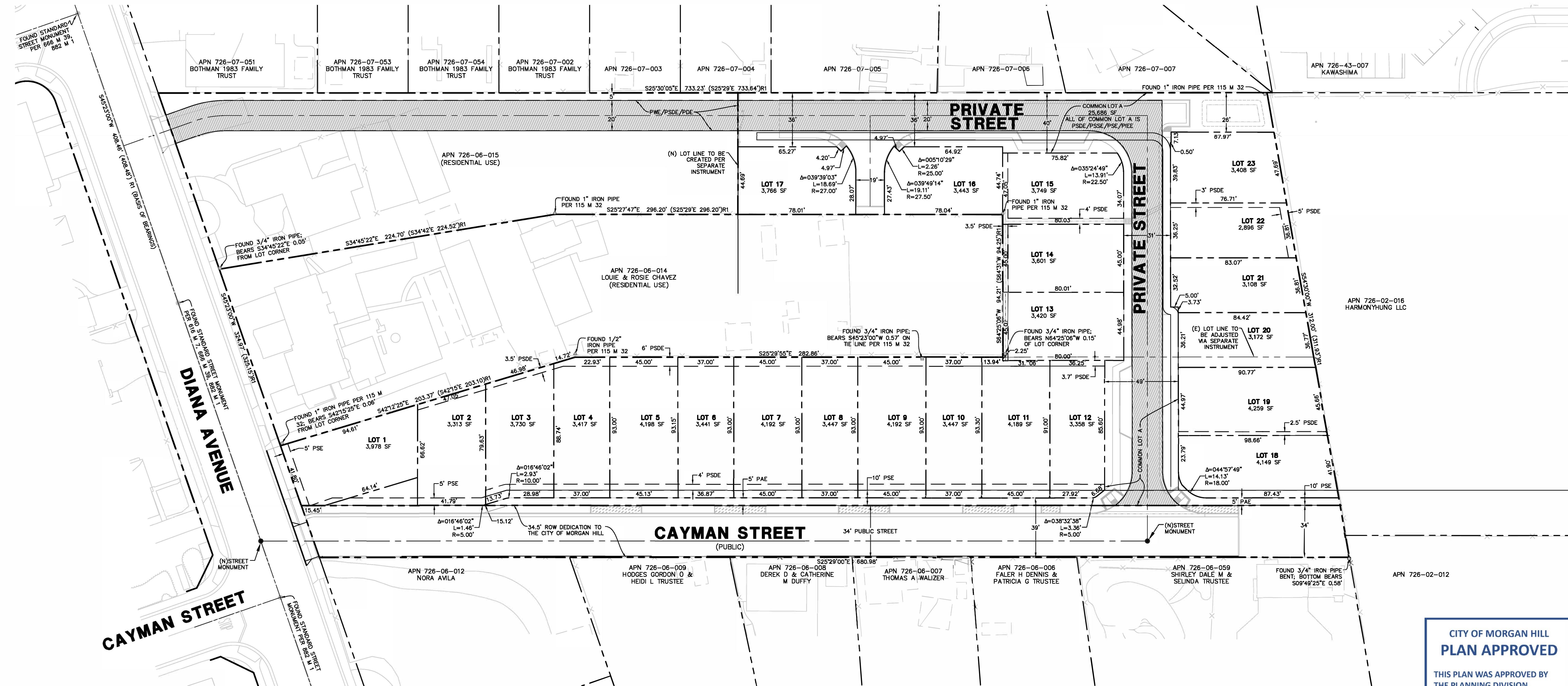
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7/1/2024

7/1/2024

20231724-10

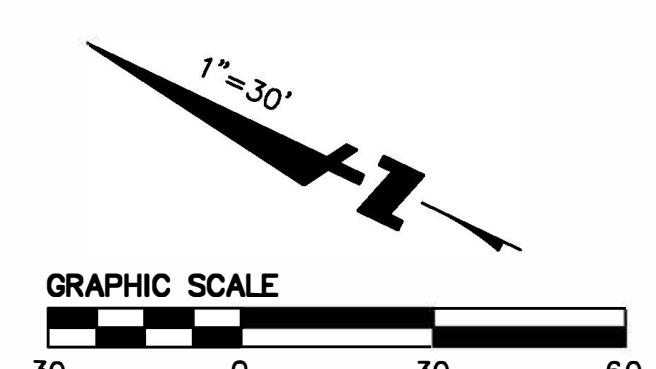
20231724-10

DRAFT - 100% of the time



LEGEND

- PROJECT BOUNDARY
- ADJACENT LOT LINE
- EASEMENT LINE
- STREET CENTER LINE
- EMERGENCY VEHICLE ACCESS EASEMENT (EVAE) & PUBLIC WATER EASEMENT (PWE)
- (N) ● (E) STREET MONUMENT
- 1" IRON PIPE
- 3" IRON PIPE
- △ 2" IRON PIPE



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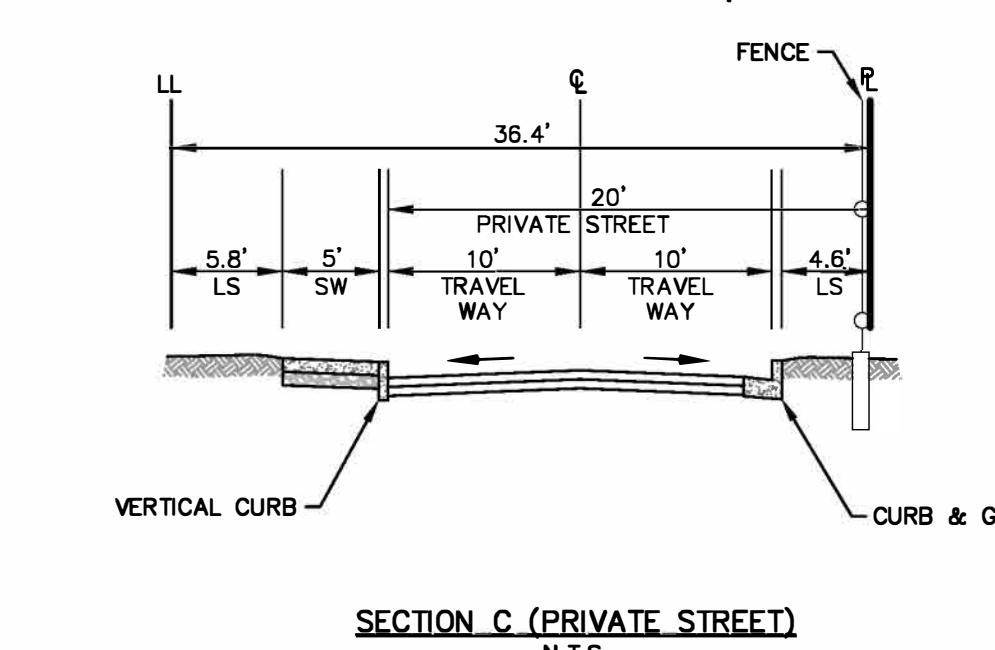
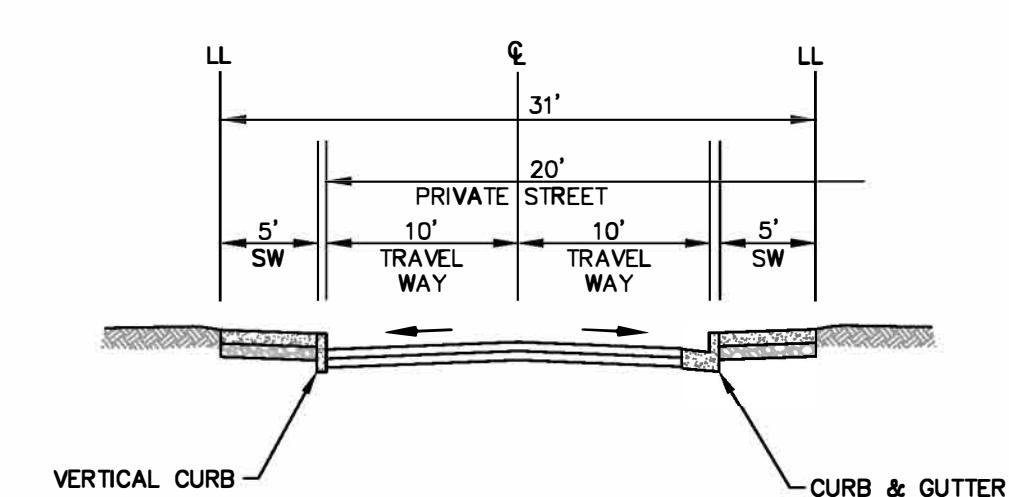
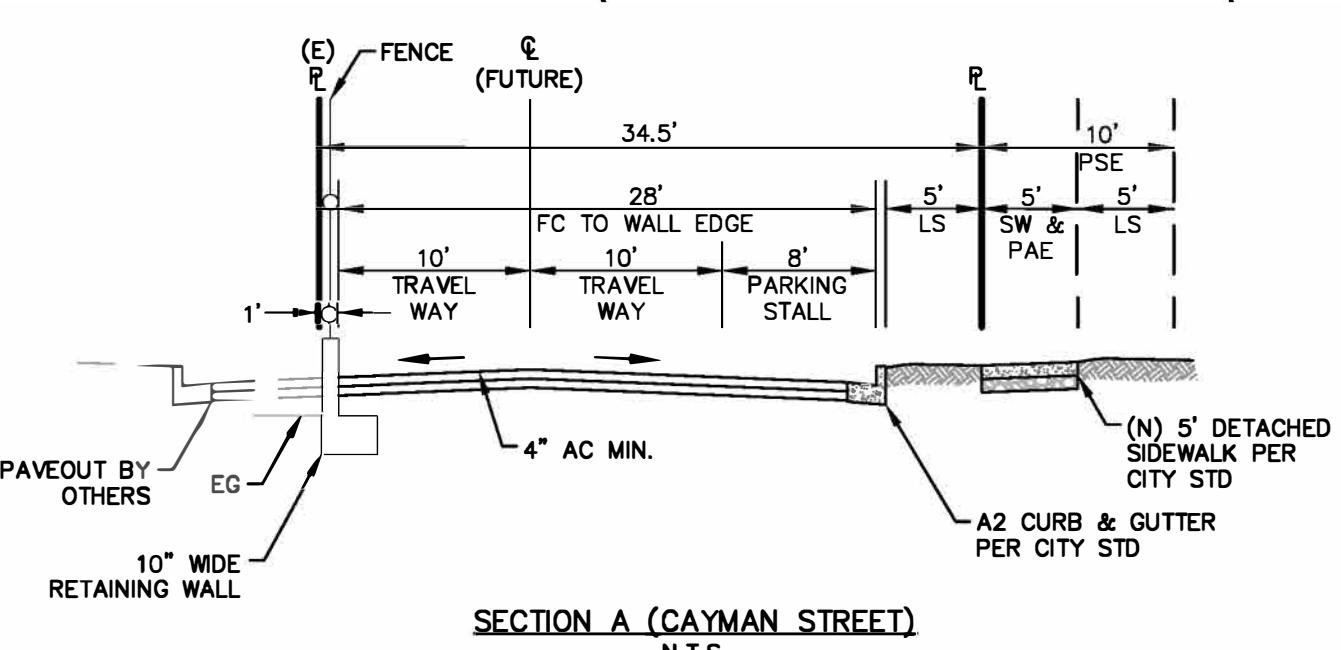
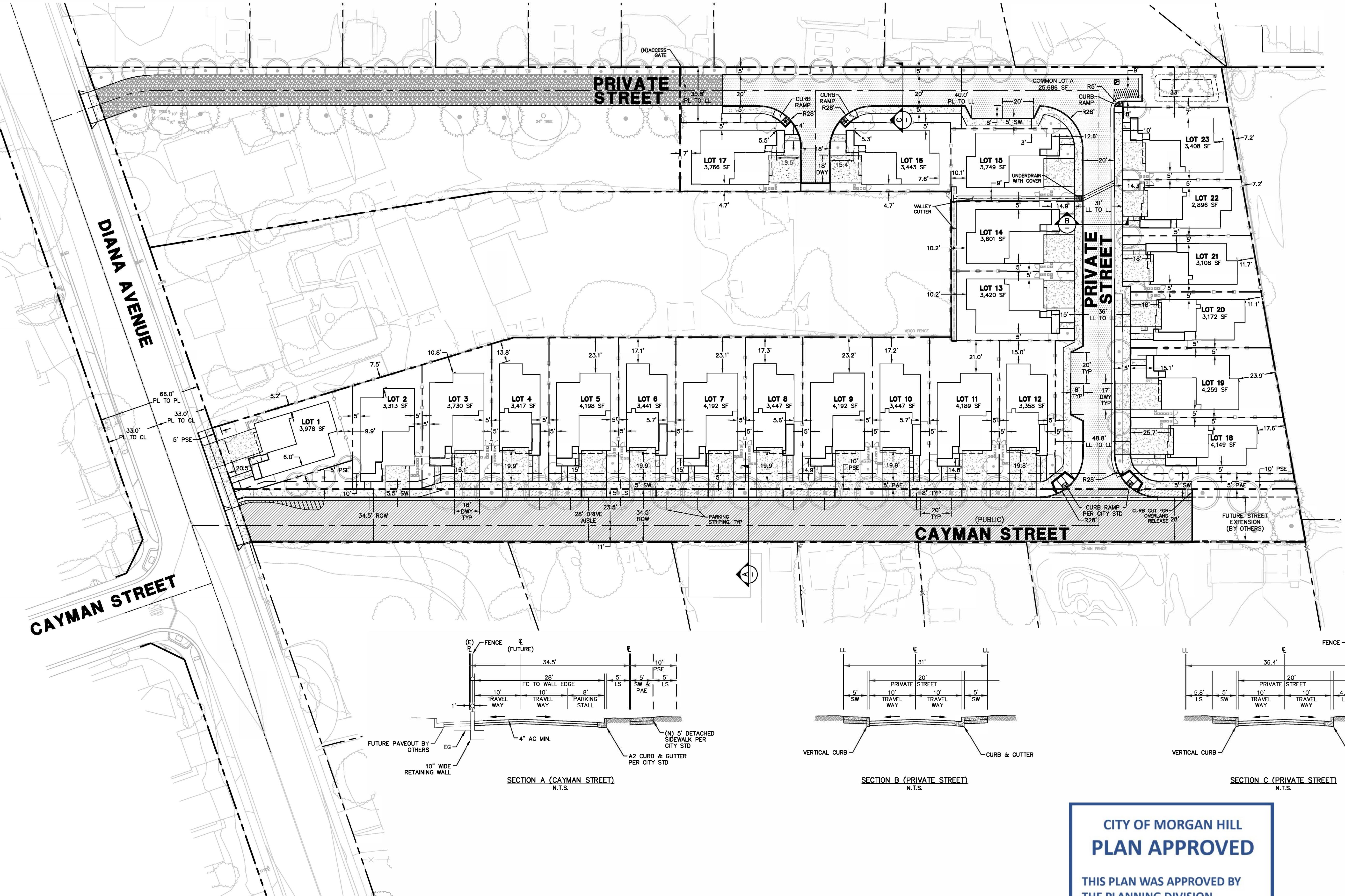
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FILE NUMBER
Roshni Saxena
Assistant Planner

PLANNING OFFICIAL
Roshni Saxena
Assistant Planner

NOTES:

- LOT NUMBERS ARE FOR IDENTIFICATION ONLY AND ARE NOT INTENDED AS FINAL.
- LOT DIMENSIONS AND LOT AREAS ARE PRELIMINARY AND SUBJECT TO CHANGE DURING FINAL DESIGN.



CITY OF MORGAN HILL
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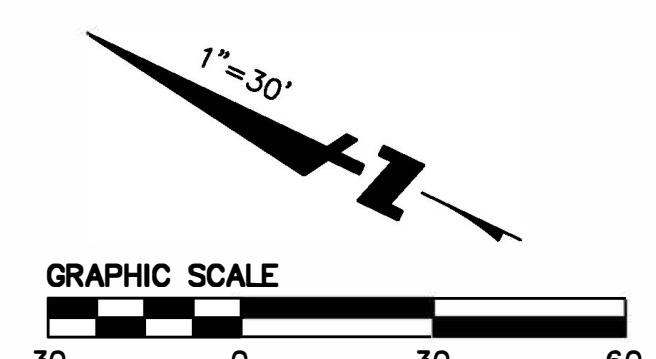
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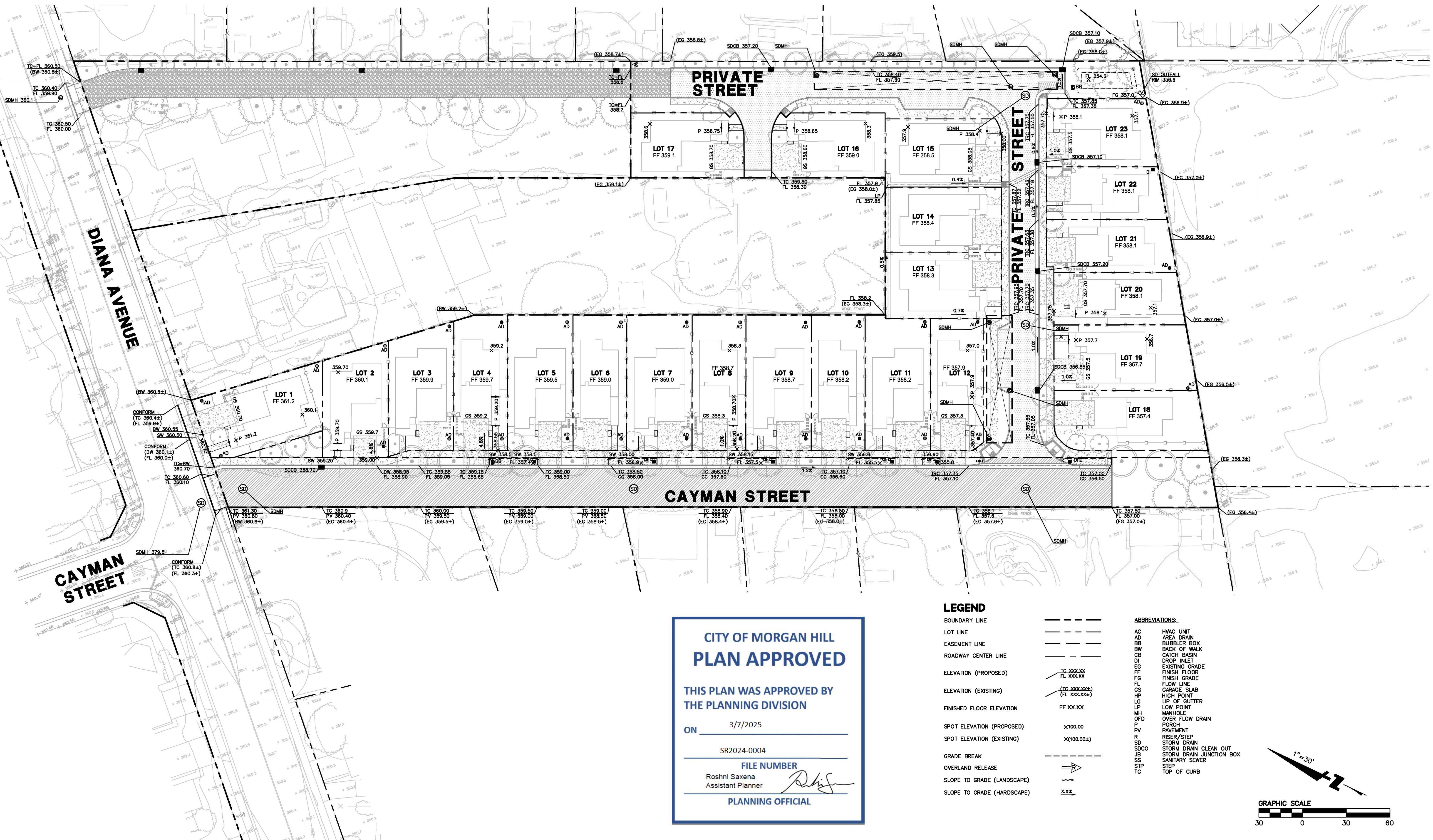
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C3.0

7/1/2024

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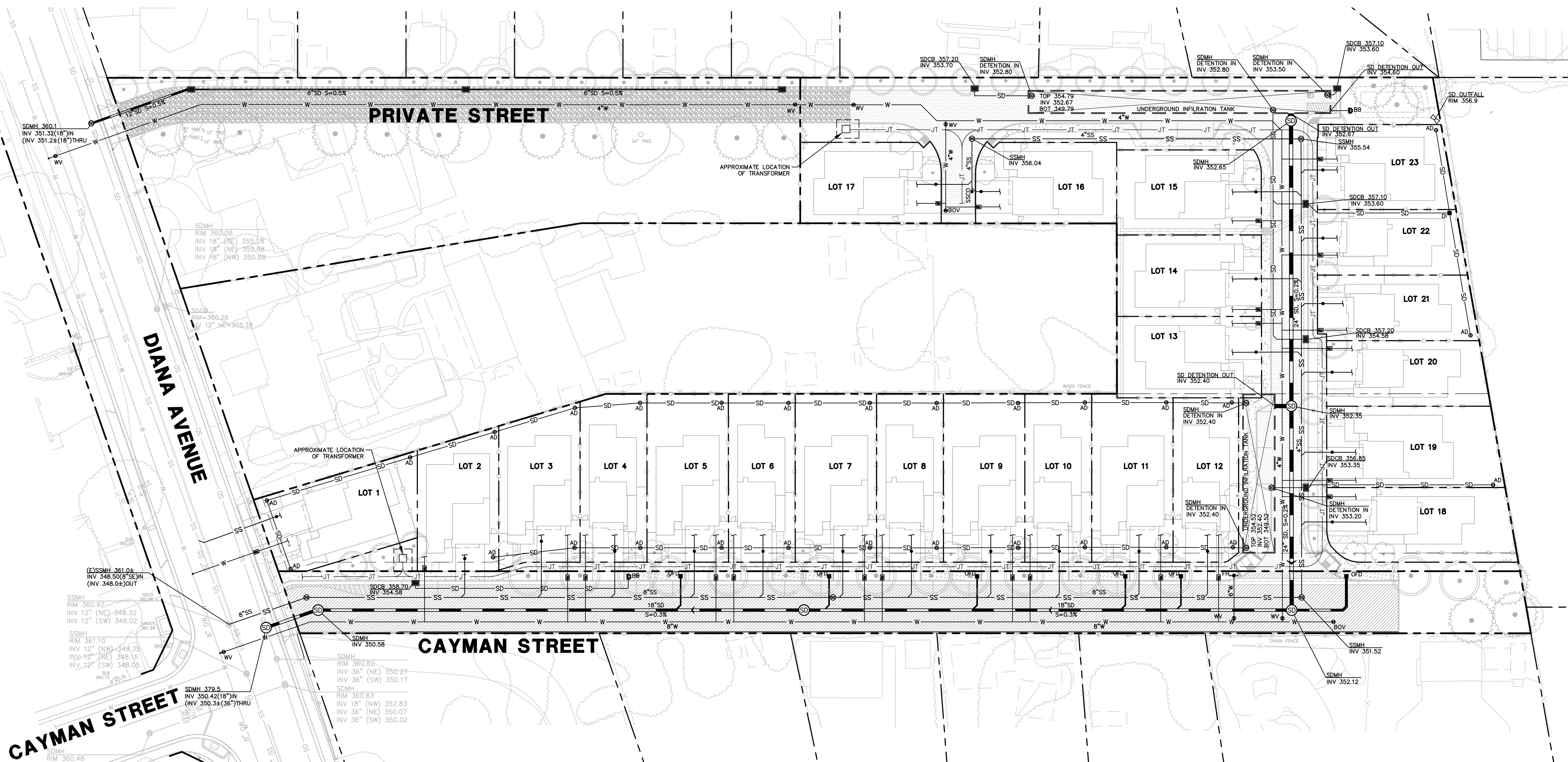
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 Assistant Planner

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730 & 760 DIANA AVENUE
PRELIMINARY UTILITIES PLAN

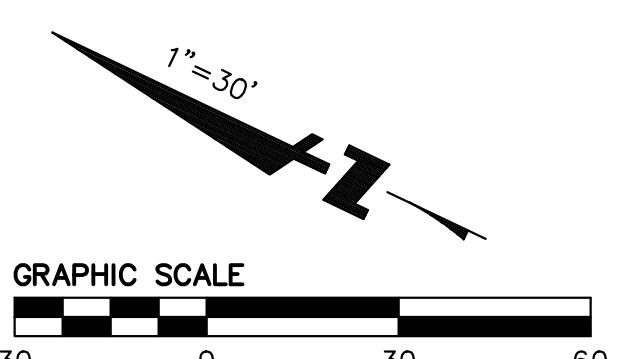
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PLAN APPROVED**

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FILE NUMBER SR2024-0004

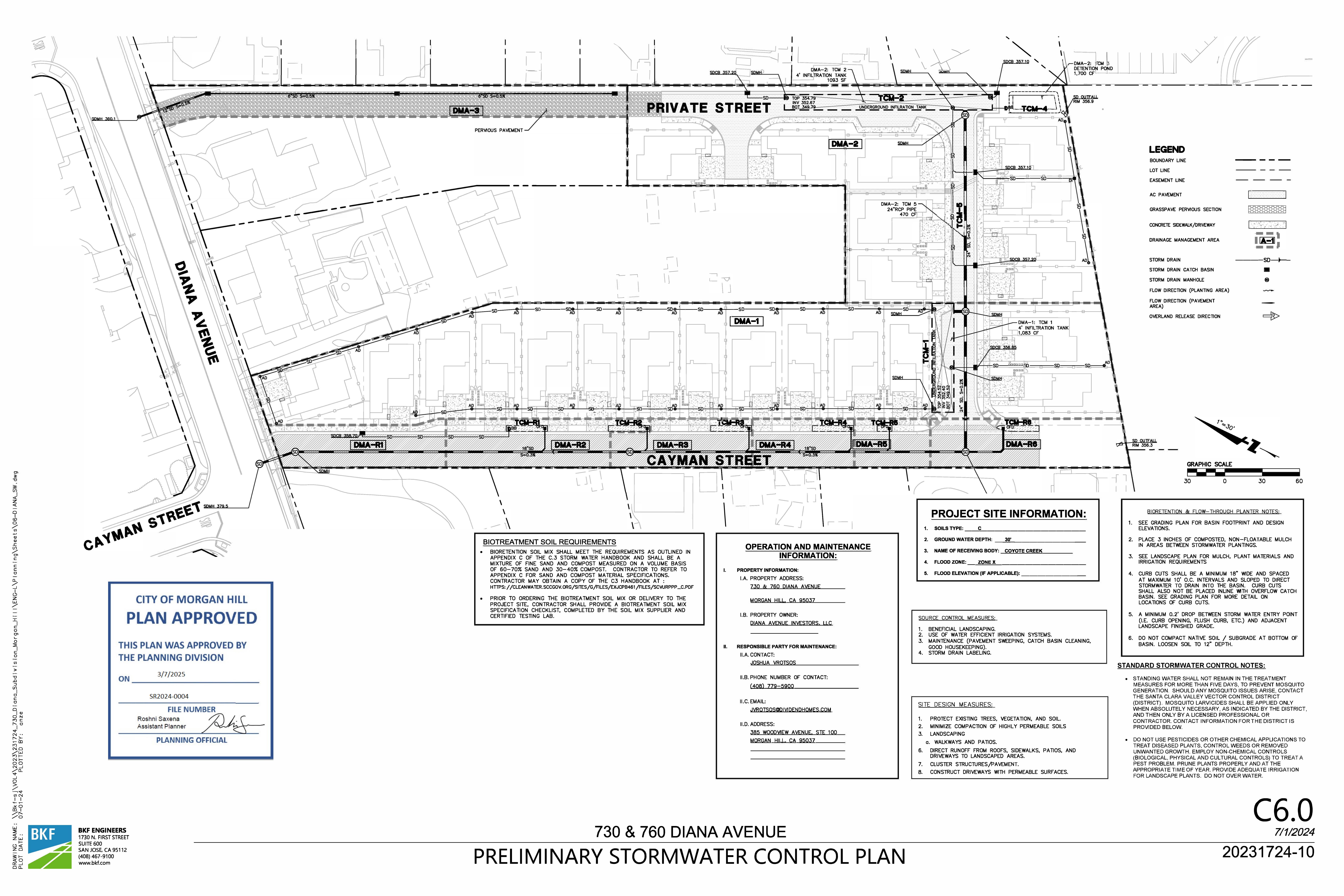
PLANNING OFFICIAL
Roshni Saxena
Assistant Planner
Roshni Saxena

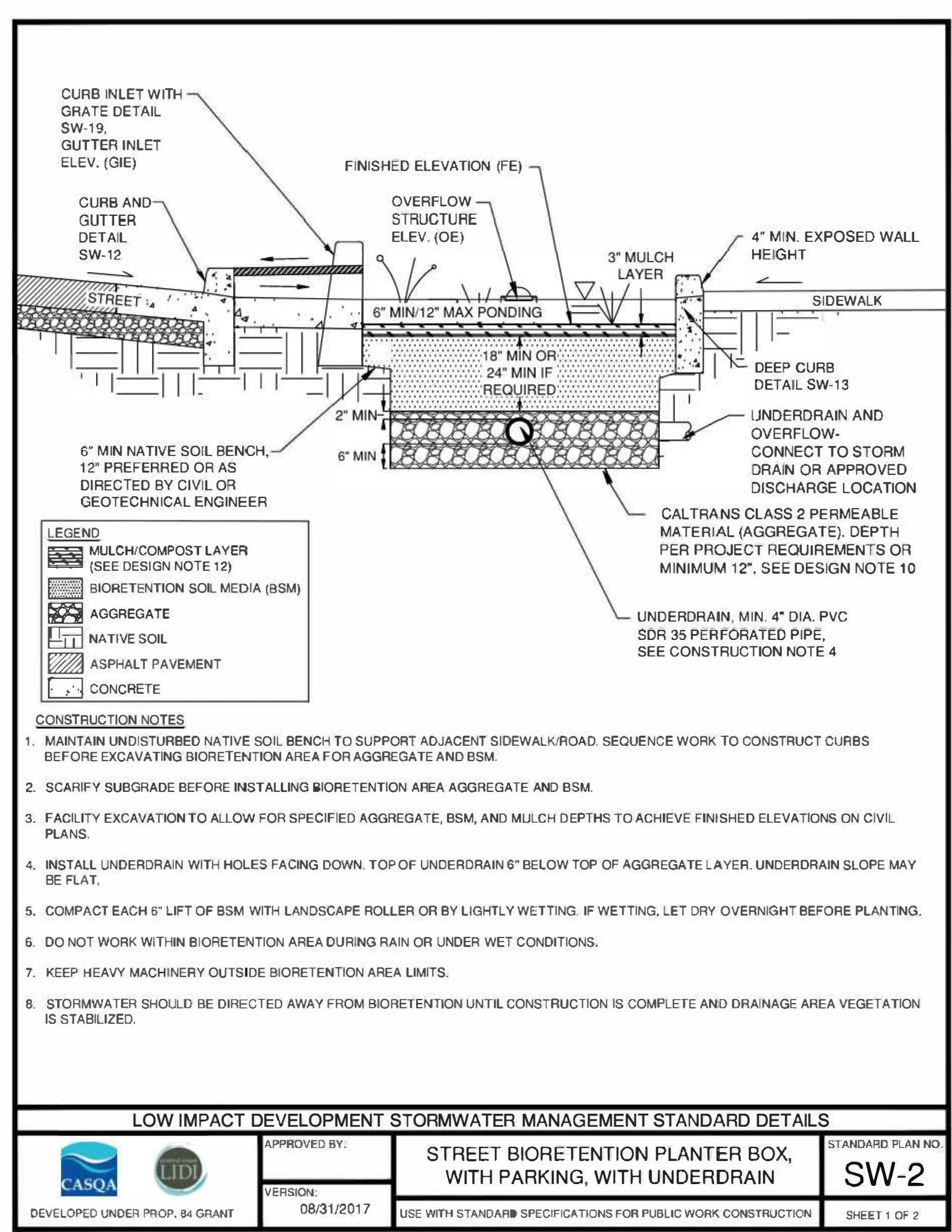


C5.0

7/1/2024

20231724-10





DESIGN NOTES

1. BIOPRETENTION FACILITY DESIGN SHOULD OPTIMIZE THE FLAT BOTTOM DIMENSIONS (I.E. WIDTH, LENGTH) TO MAXIMIZE THE FUNCTIONAL AREA OF THE FACILITY.
2. CAPTURE AND CONVEY OVERFLOW TO STORM DRAIN SYSTEM (DETAIL SW-22, SW-23). ALTERNATIVELY, CONVEY OVERFLOW TO APPROVED DISCHARGE LOCATION THROUGH OTHER OVERLAND METHODS (I.E. CURB CUTS, SIDEWALK UNDERDRAIN WEIR, ETC.).
3. PROVIDE SPOT ELEVATIONS AT INLETS AND OVERFLOW STRUCTURES ON CIVIL PLANS (FE, OOE, GIE, SIE), PER DETAIL SW-18.
4. DUE TO SITE VARIABILITY, TO ENSURE THE LONG-TERM STRUCTURAL STABILITY OF THE BIOPRETENTION FACILITY AND ANY ADJACENT INFRASTRUCTURE CONSULT WITH A GEOTECHNICAL ENGINEER.
5. A VERTICAL LINER MAY BE USED FOR BIOPRETENTION FACILITIES TO PREVENT LATERAL FLOW AND TO SEPARATE THE NATIVE SOIL FROM THE BSM AND THE AGGREGATE. HOWEVER A HORIZONTAL LINER SHALL NOT BE USED.
6. DO NOT USE FILTER FABRIC BETWEEN BSM AND AGGREGATE.
7. PROVIDE CAPPED, THREADED PVC CLEANOUT FOR UNDERDRAIN, 4" MIN. DIA. WITH SWEEP BEND.
8. PROVIDE A CLEAN-OUT/OBSERVATION PORT IN EACH FACILITY, PER BIOPRETENTION TECHNICAL SPECIFICATIONS.
9. ON LONGITUDINAL SLOPE, USE CHECK DAMS (DETAILS SW-20, SW-21)
10. USE AND DEPTH OF AGGREGATE DETERMINED BY FACILITY SIZING. IF CALTRANS CLASS 2 PERMEABLE IS NOT AVAILABLE, SUBSTITUTE CLASS 3 PERMEABLE WITH AN OVERLYING 3" DEEP CHOKING LAYER OF EITHER CALTRANS COURSE AGGREGATE 1/2" (NO. 4) OR 3/4" X (NO. 4) OPEN-GRADED AGGREGATE.
11. BIOPRETENTION SOIL MEDIA (BSM) SPECIFICATION PER BIOPRETENTION TECHNICAL SPECIFICATIONS.
12. PLANT SELECTION PER BIOPRETENTION TECHNICAL SPECIFICATIONS.
13. MULCH PER BIOPRETENTION TECHNICAL SPECIFICATIONS.
14. LOCATE ENERGY DISSIPATION AS SPECIFIED IN INLET DETAILS.
15. AVOID DECORATIVE USE OF COBBLE THAT CAN INTERFERE WITH INFILTRATION.

CONSTRUCTION NOTES

1. MAINTAIN UNDISTURBED NATIVE SOIL BENCH TO SUPPORT ADJACENT SIDEWALK/ROAD. SEQUENCE WORK TO CONSTRUCT CURBS BEFORE EXCAVATING BIOPRETENTION AREA FOR AGGREGATE AND BSM.
2. SCARIFY SUBGRADE BEFORE INSTALLING BIOPRETENTION AREA AGGREGATE AND BSM.
3. FACILITY EXCAVATION TO ALLOW FOR SPECIFIED AGGREGATE, BSM, AND MULCH DEPTHS TO ACHIEVE FINISHED ELEVATIONS ON CIVIL PLANS.
4. INSTALL UNDERDRAIN WITH HOLES FACING DOWN. TOP OF UNDERDRAIN 6" BELOW TOP OF AGGREGATE LAYER. UNDERDRAIN SLOPE MAY BE FLAT.
5. COMPACT EACH 6" LIFT OF BSM WITH LANDSCAPE ROLLER OR BY LIGHTLY WETTING. IF WETTING, LET DRY OVERNIGHT BEFORE PLANTING.
6. DO NOT WORK WITHIN BIOPRETENTION AREA DURING RAIN OR UNDER WET CONDITIONS.
7. KEEP HEAVY MACHINERY OUTSIDE BIOPRETENTION AREA LIMITS.
8. STORMWATER SHOULD BE DIRECTED AWAY FROM BIOPRETENTION UNTIL CONSTRUCTION IS COMPLETE AND DRAINAGE AREA VEGETATION IS STABILIZED.

LOW IMPACT DEVELOPMENT STORMWATER MANAGEMENT STANDARD DETAILS

		APPROVED BY:	STREET BIOPRETENTION PLANTER BOX, WITH PARKING, WITH UNDERDRAIN	STANDARD PLAN NO.
CASQA	LIDI			SW-2
DEVELOPED UNDER PROP. 84 GRANT	VERSION: 08/31/2017	USE WITH STANDARD SPECIFICATIONS FOR PUBLIC WORK CONSTRUCTION		SHEET 1 OF 2

LOW IMPACT DEVELOPMENT STORMWATER MANAGEMENT STANDARD DETAILS

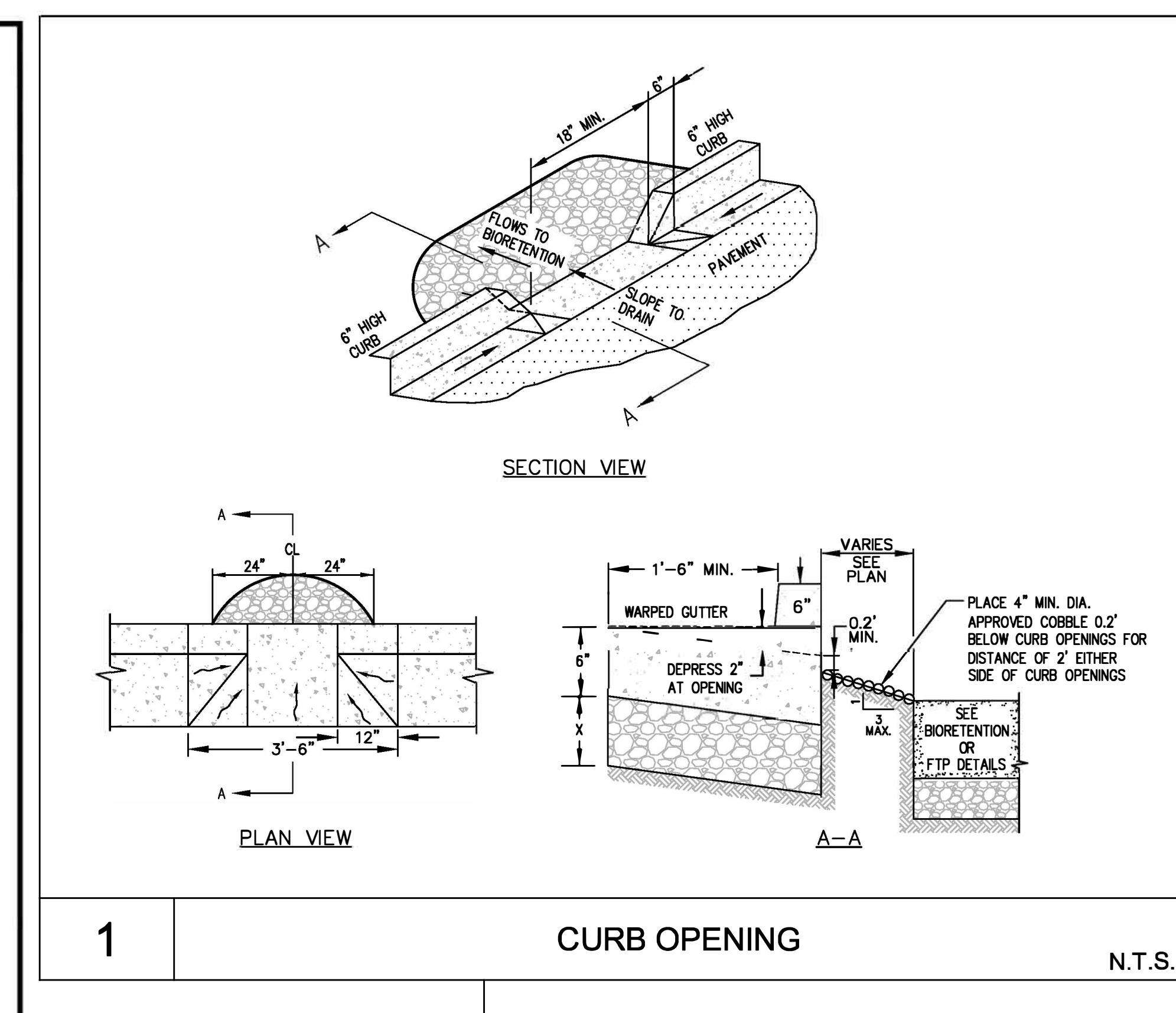
		APPROVED BY:	STREET BIOPRETENTION PLANTER BOX, WITH PARKING, WITH UNDERDRAIN	STANDARD PLAN NO.
CASQA	LIDI			SW-2
DEVELOPED UNDER PROP. 84 GRANT	VERSION: 08/31/2017	USE WITH STANDARD SPECIFICATIONS FOR PUBLIC WORK CONSTRUCTION		SHEET 2 OF 2

TABLE 1 ROUTINE MAINTENANCE ACTIVITIES FOR BIOPRETENTION AREAS		
NO.	MAINTENANCE TASK	FREQUENCY OF TASK
1	REMOVE OBSTRUCTIONS, WEEDS, DEBRIS AND TRASH FROM BIOPRETENTION AREA AND ITS INLETS AND OUTLETS; AND DISPOSE OF PROPERLY.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
2	INSPECT BIOPRETENTION AREA FOR STANDING WATER. IF STANDING WATER DOES NOT DRAIN WITHIN 2-3 DAYS, TILL AND REPLACE THE SURFACE BIOTREATMENT SOIL WITH THE APPROVED SOIL MIX AND REPLANT.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
3	CHECK UNDERDRAINS FOR CLOGGING. USE THE CLEANOUT RISER TO CLEAN ANY CLOGGED UNDERDRAINS.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
4	MAINTAIN THE IRRIGATION SYSTEM AND ENSURE THAT PLANTS ARE RECEIVING THE CORRECT AMOUNT OF WATER (IF APPLICABLE).	QUARTERLY
5	ENSURE THAT THE VEGETATION IS HEALTHY AND DENSE ENOUGH TO PROVIDE FILTERING AND PROTECT SOILS FROM EROSION. PRUNE AND WEED THE BIOPRETENTION AREA. REMOVE AND/OR REPLACE ANY DEAD PLANTS.	ANNUALLY, BEFORE THE WET SEASON BEGINS
6	USE COMPOST AND OTHER NATURAL SOIL AMENDMENTS AND FERTILIZERS INSTEAD OF SYNTHETIC FERTILIZERS, ESPECIALLY IF THE SYSTEM USES AN UNDERDRAIN.	ANNUALLY, BEFORE THE WET SEASON BEGINS
7	CHECK THAT MULCH IS AT APPROPRIATE DEPTH (2 - 3 INCHES PER SOIL SPECIFICATIONS) AND REPLENISH AS NECESSARY BEFORE WET SEASON BEGINS. IT IS RECOMMENDED THAT 2" - 3" OF ARBOR MULCH BE REAPPLIED EVERY YEAR.	ANNUALLY, BEFORE THE WET SEASON BEGINS
8	INSPECT THE ENERGY DISSIPATOR AT THE INLET TO ENSURE IT IS FUNCTIONING ADEQUATELY, AND THAT THERE IS NO SCOUR OF THE SURFACE MULCH. REMOVE ACCUMULATED SEDIMENT.	ANNUALLY, BEFORE THE WET SEASON BEGINS
9	INSPECT OVERFLOW PIPE TO ENSURE THAT IT CAN SAFELY CONVEY EXCESS FLOWS TO A STORM DRAIN. REPAIR OR REPLACE ANY DAMAGED OR DISCONNECTED PIPING. USE THE CLEANOUT RISER TO CLEAR UNDERDRAINS OF OBSTRUCTIONS OR CLOGGING MATERIAL.	ANNUALLY, BEFORE THE WET SEASON BEGINS
10	REPLACE BIOTREATMENT SOIL AND MULCH, IF NEEDED. CHECK FOR STANDING WATER, STRUCTURAL FAILURE AND CLOGGED OVERFLOWS. REMOVE TRASH AND DEBRIS. REPLACE DEAD PLANTS.	ANNUALLY, BEFORE THE WET SEASON BEGINS
11	INSPECT BIOPRETENTION AREA USING THE ATTACHED INSPECTION CHECKLIST.	ANNUALLY, BEFORE THE WET SEASON

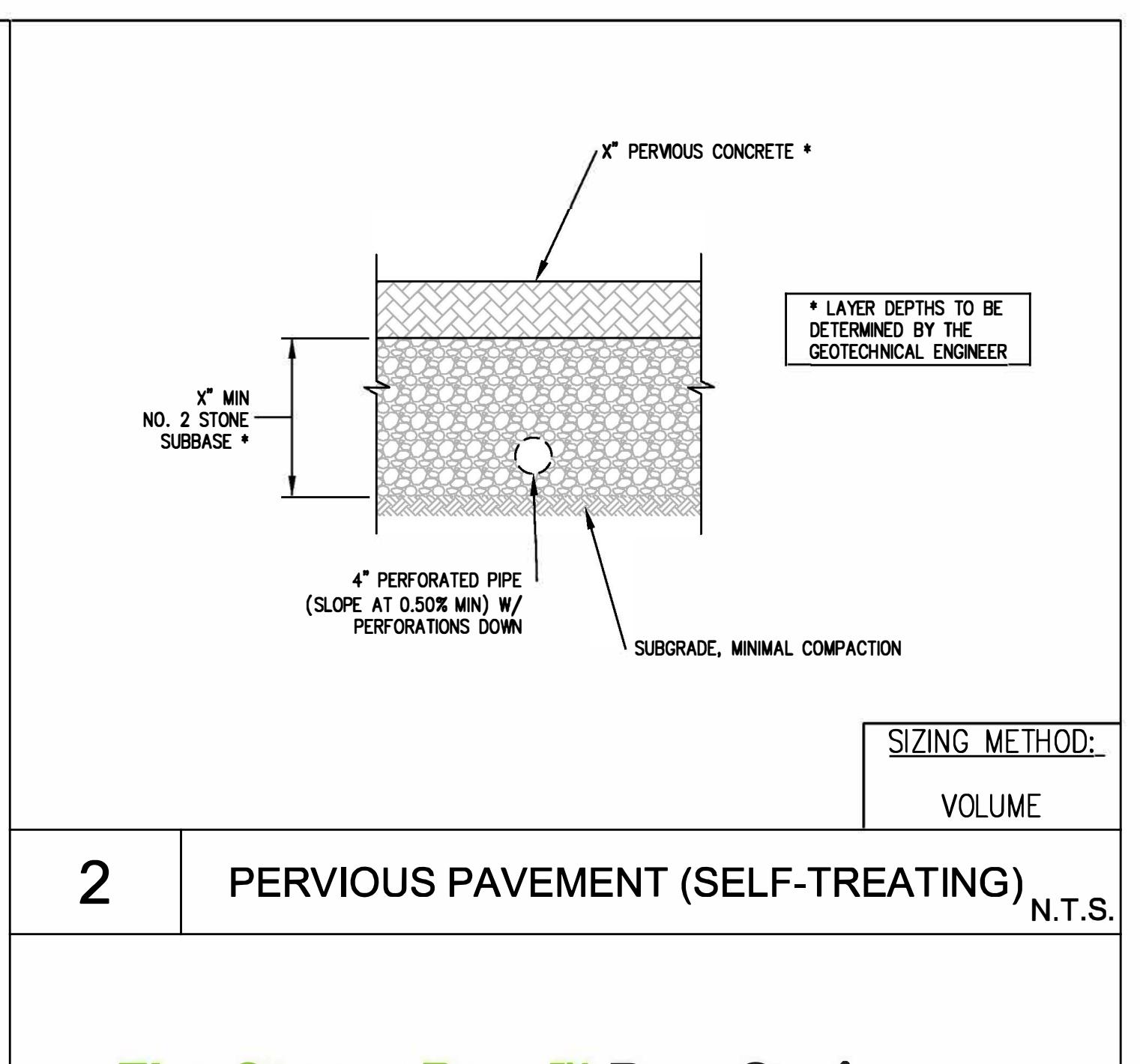
TABLE 1 ROUTINE MAINTENANCE ACTIVITIES FOR FLOW-THROUGH PLANTERS		
NO.	MAINTENANCE TASK	FREQUENCY OF TASK
1	INSPECT THE PLANTER SURFACE AREA, INLETS AND OUTLETS FOR OBSTRUCTIONS AND TRASH; CLEAR ANY OBSTRUCTIONS AND REMOVE TRASH.	QUARTERLY
2	INSPECT PLANTER FOR STANDING WATER. IF STANDING WATER DOES NOT DRAIN WITHIN 2-3 DAYS, THE SURFACE BIOTREATMENT SOIL SHOULD BE TILLED OR REPLACED WITH THE APPROVED SOIL MIX AND REPLANTED. USE THE CLEANOUT RISER TO CLEAR ANY UNDERDRAINS OF OBSTRUCTIONS OR CLOGGING MATERIAL.	QUARTERLY
3	CHECK FOR ERODED OR SETTLED BIOTREATMENT SOIL MEDIA. LEVEL SOIL WITH RAKE AND REMOVE/REPLANT VEGETATION AS NECESSARY.	QUARTERLY
4	MAINTAIN THE VEGETATION AND IRRIGATION SYSTEM. PRUNE AND WEED TO KEEP FLOW-THROUGH PLANTER NEAT AND ORDERLY IN APPEARANCE.	QUARTERLY
5	EVALUATE HEALTH AND DENSITY OF VEGETATION. REMOVE AND REPLACE ALL DEAD AND DISEASED VEGETATION. REMOVE EXCESSIVE GROWTH OF PLANTS THAT ARE TOO CLOSE TOGETHER.	ANNUALLY, BEFORE THE RAINY SEASON BEGINS
6	USE COMPOST AND OTHER NATURAL SOIL AMENDMENTS AND FERTILIZERS INSTEAD OF SYNTHETIC FERTILIZERS, ESPECIALLY IF THE SYSTEM USES AN UNDERDRAIN.	ANNUALLY, BEFORE THE RAINY SEASON BEGINS
7	INSPECT THE OVERFLOW PIPE TO MAKE SURE THAT IT CAN SAFELY CONVEY EXCESS FLOWS TO A STORM DRAIN. REPAIR OR REPLACE ANY DAMAGED OR DISCONNECTED PIPING. USE THE CLEANOUT RISER TO CLEAR UNDERDRAINS OF OBSTRUCTIONS OR CLOGGING MATERIAL.	ANNUALLY, BEFORE THE RAINY SEASON BEGINS
8	INSPECT THE ENERGY DISSIPATOR AT THE INLET TO ENSURE IT IS FUNCTIONING ADEQUATELY, AND THAT THERE IS NO SCOUR OF THE SURFACE MULCH. REMOVE ANY ACCUMULATION OF SEDIMENT.	ANNUALLY, BEFORE THE RAINY SEASON BEGINS
9	INSPECT AND, IF NEEDED, REPLACE WOOD MULCH. IT IS RECOMMENDED THAT 2" TO 3" OF COMPOSTED ARBOR MULCH BE APPLIED ONCE A YEAR.	ANNUALLY, BEFORE THE RAINY SEASON BEGINS
10	INSPECT SYSTEM FOR EROSION OF BIOTREATMENT SOIL MEDIA, LOSS OF MULCH, STANDING WATER, CLOGGED OVERFLOWS, WEEDS, TRASH AND DEAD PLANTS. IF USING ROCK MULCH, CHECK FOR 3" OF COVERAGE.	ANNUALLY AT THE END OF THE RAINY SEASON AND/OR AFTER LARGE STORM EVENTS,
11	INSPECT SYSTEM FOR STRUCTURAL INTEGRITY OF WALLS, FLOW SPREADERS, ENERGY DISSIPATORS, CURB CUTS, OUTLETS AND FLOW SPLITTERS.	ANNUALLY AT THE END OF THE RAINY SEASON AND/OR AFTER LARGE STORM EVENTS,

730 & 760 DIANA AVENUE

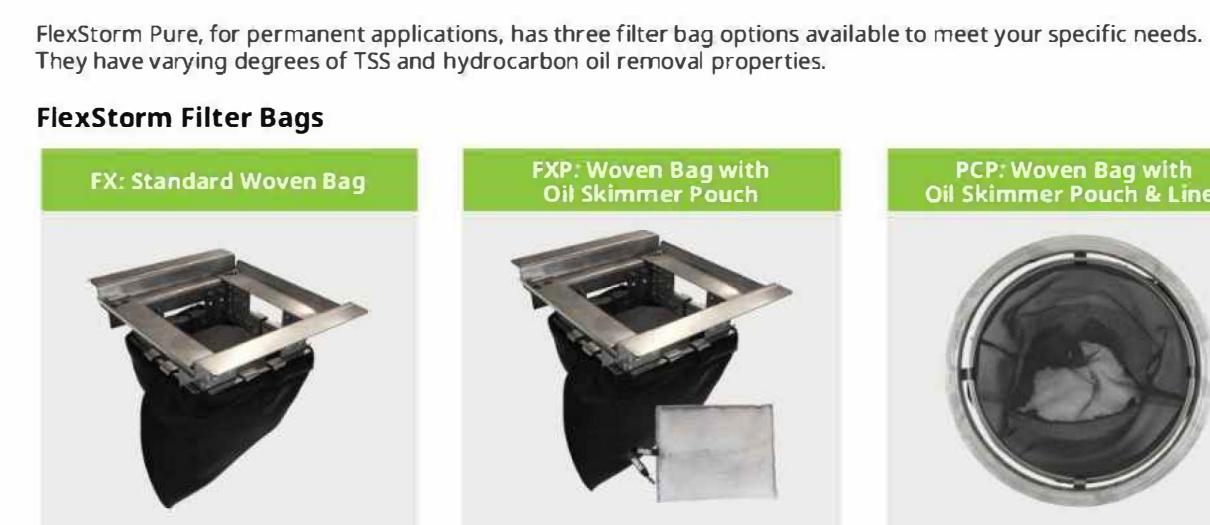
PRELIMINARY STORMWATER CONTROL DETAILS & NOTES



1 CURB OPENING N.T.S.



FlexStorm Pure™ Bag Options



Filter Bag Test Results

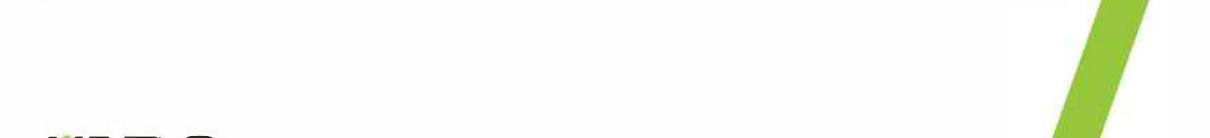
FX	TSS Filtration Efficiency = 85%
PCP	TSS Filtration Efficiency = 97%

* Large scale, 1st party testing per ASTM D 7351 modified for inlet filters

Total Bypass Capacity

Bypass capacity will vary with each size drainage structure. FlexStorm designs filter bypass to meet the minimum design flow of the particular drainage structure.

Standard Bag Sizes (match frame sizes)	Solids Storage Capacity (ft ³ /in ³)	Filtered Flow Rate at 50% Max (CFS)	Oil Retention (Oz)
Small	1.6 (0.5)	1.2	89 168
Medium	2.1 (0.6)	1.7	89 204
Large	3.8 (1.2)	2.7	89 262
XL	4.2 (1.3)	3.6	178 319



4 FLEXSTORM PURE INSERTS (OR APPROVED EQUAL FOR ANY UPSTREAM STRUCTURES WITH OPEN GRATES)

**CITY OF MORGAN HILL
PLAN APPROVED**

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 3/7/2025

FILE NUMBER SR2024-0004

FILE NUMBER Roshni Saxena
Assistant Planner

PLANNING OFFICIAL 

C6.1 **7/1/2024** **20231724-10**

ONSITE STORMWATER CALCULATION TABLES

TREATMENT CONTROL MEASURE SUMMARY TABLE																				
DMA #	TCM #	Location	Treatment Type	LID or Non-LID	Sizing Method	Drainage Area (SF)	Impervious Area (SF)	Pervious Area (Permeable Pavement) (SF)	Pervious Area (Other) (SF)	Runoff Coeff. "C"+	% Onsite Area Treated by LID or Non-LID TCM	Bioretention		Infiltration	Overflow Riser Height (in)	85th% (1.2" Rain) Volume(CF)++	95th% (1.7" Rain) Volume(CF)++	24 hr 25 year total rainfall (5.25" Rain) Volume(CF)+++	Impervious Area Type	Comments
												Bioretention Area Required (4%)(SF)	Bioretention Area Provided (SF)							
1	1	Onsite	Subsurface Infiltration System	LID	N/A	56,016	30,083	0	25,933	0.364	54.15%	-	-	-	2,037	3,692	11,139	Roadway, Sidewalk, Roof	Infiltration Tank (2.5 in/hr, 4' deep tank)	
2	2	Onsite	Subsurface Infiltration System	LID	N/A	47,430	31,500	0	15,930	0.461	45.85%	-	-	-	2,188	3,966	11,966	Roadway, Sidewalk, Roof	Infiltration Tank (2.5 in/hr, 4' deep tank)	
3	-	Onsite	Self-treating areas	LID	N/A	9,600	0	7,100	2,500	0.040	9.28%	-	-	-	-	-	-	-	Permeable Pavement	
Totals:						113,046	61,583	7,100	44,363	N/A	109.28%	0	0	N/A	-	7,658	-	-	-	

Footnotes:

+ $C=0.858i^3 - 0.78i^2 + 0.774i + 0.04$, where "i" is the fraction of the tributary area that is impervious

++ TCM required storage volume equals full 95th% runoff with native soil infiltration if necessary

+++ Per City of Morgan Hill Master Plan, Sizing for Volume Retention in underground structures and ponding basins requires 1.25 Safety Factor

TREATMENT CONTROL MEASURE RETENTION VOLUME SIZING TABLE									
DMA #	TCM #	Location	Treatment Type	TCM Surface Area (SF)	TCM Retention Depth (ft)	TCM below ground volume (CF)	Infiltration Volume over 24 hours ³ (CF)	TCM total volume (CF)	Volume Check ³
1	1	Onsite	Subsurface Infiltration System	1,083	2.88	3,114	5,415	8,529	OK
2	2	Onsite	Subsurface Infiltration System	1,093	2.88	3,142	5,465	8,607	OK

Footnotes:

³Infiltration Rate set to 2.5 in/hr per percolation test

TREATMENT CONTROL MEASURE OVERLAND RELEASE SIZING TABLE											
DMA #	TCM #	Location	Retention Type	Pre Project Overland Release Volume allowed (CF)	Overland Release Volume Retention Required (CF)	Infiltration Tank Surface Area (SF)	Infiltration Volume over 24 hours ³ (CF)	Infiltration Tank Below Ground Volume (4' depth)	Detention Pond (CF)	TCM total volume (CF)	Volume Check
1	1, 2	Onsite	TCM 1: Infiltration Tank	4,901	6,237	1,515	5,415	4,332	0	8,529	OK
2	2, 3	Onsite	TCM 2: Infiltration Tank TCM 3: Detention Pond	2,075	9,891	1,940	5,465	4,372	1,300	9,907	OK

OFFSITE STORMWATER CALCULATION TABLES

TREATMENT CONTROL MEASURE SUMMARY TABLE																				
DMA #	TCM #	Location	Treatment Type	LID or Non-LID	Sizing Method	Drainage Area (SF)	Impervious Area (SF)	Pervious Area (Permeable Pavement) (SF)	Pervious Area (Other) (SF)	Runoff Coeff. "C"+	% Onsite Area Treated by LID or Non-LID TCM	Bioretention Area Required (4%)(SF)	Bioretention Area Provided (SF)	Infiltration	Overflow Riser Height (in)	85th% (1.2" Rain) Volume(CF)++	95th% (1.7" Rain) Volume(CF)++	24 hr 25 year total rainfall (5.25" Rain) Volume(CF)+++	Impervious Area Type	Comments
R1	R1	Offsite	Bioretention unlined w/ underdrain	LID	2C. Flow: 4% Method **	3,700	3,600	0	100	0.845	12.56%	148	148	3/7/2025	6,237	6,237	6,237	Roadway, Sidewalk	In Ground Flow Through Planter Box	
R2	R2	Offsite	Bioretention unlined w/ underdrain	LID	2C. Flow: 4% Method **	5,720	3,470	0	2,250	0.414	19.42%	148	148	SR2024-0004	9,891	9,891	9,891	Roadway, Sidewalk	In Ground Flow Through Planter Box	
R3	R3	Offsite	Bioretention unlined w/ underdrain	LID	2C. Flow: 4% Method **	5,945	3,445	0	2,500	0.394	20.18%	148	148	FILE NUMBER Roshni Saxena Assistant Planner 	5,465	5,465	5,465	Roadway, Sidewalk	In Ground Flow Through Planter Box	
R4	R4	Offsite	Bioretention unlined w/ underdrain	LID	2C. Flow: 4% Method **	5,698	3,448	0	2,250	0.413	19.34%	147	147	PLANNING OFFICIAL	4,372	4,372	4,372	Roadway, Sidewalk	In Ground Flow Through Planter Box	
R5	R5	Offsite	Bioretention unlined w/ underdrain	LID	2C. Flow: 4% Method **	2,052	1,152	0	900	0.381	6.97%	50	50		5,759	5,759	5,759	Roadway, Sidewalk	In Ground Flow Through Planter Box	
R6	R6	Offsite	Bioretention unlined w/o underdrain	LID	2C. Flow: 4% Method **	6,340	3,240	0	3,100	0.346	21.52%	142	142		6,237	6,237	6,237	Roadway, Sidewalk	In Ground Flow Through Planter Box	

Footnotes:

** Sizing for Bioretention Area Required calculated using the 4% Method ($[Impervious\ Area + 0.1 \times Pervious\ Area] \times 0.04$)

+ $C=0.858i^3 - 0.78i^2 + 0.774i + 0.04$, where "i" is the fraction of the tributary area that is impervious

++ TCM required storage volume equals full 95th% runoff with native soil infiltration if necessary

+++ Per City of Morgan Hill Master Plan

TREATMENT CONTROL MEASURE RETENTION VOLUME SIZING TABLE													
DMA #	TCM #	Location	Treatment Type	TCM Top Surface Area (SF)	TCM Bottom Surface Area (SF)	TCM above ground volume (CF)	Ponding depth (in)	Bio soil media depth (in) ¹	Drain rock depth (in) ²	TCM below ground volume (CF)	Infiltration Volume over 24 hours ³ (CF)	TCM total volume (CF)	Volume Check
R1	R1	Offsite	Bioretention unlined w/o underdrain	148	148	148	12	18	20	154	740	1,042	OK
R2	R2	Offsite	Bioretention unlined w/o underdrain	148	148	148	12	18	18	144	740	1,032	OK
R3	R3	Offsite	Bioretention unlined w/o underdrain	148	148	148	12	18	18	144	740	1,032	OK
R4	R4	Offsite	Bioretention unlined w/o underdrain	148	148	148	12	18	18	144	740	1,032	OK
R5	R5	Offsite	Bioretention unlined w/o underdrain	52	52	52	12	18	18	51	260	363	OK
R6	R6	Offsite</											

landscape plans for:
703 DIANA AVENUE
DIANA AVENUE INVESTORS LLC
MORGAN HILL, CA 95003

DATE JULY 1, 2024
PROJECT APPLICANT DIANA AVENUE INVESTORS, LLC
PROJECT ADDRESS 703 DIANA AVENUE, MORGAN HILL
APN 726-06-013
TYPE NEW RESIDENTIAL
TOTAL LANDSCAPE AREA 18,533 SQ. FT.
WATER SUPPLY POTABLE
WATER PURVEYOR CITY OF MORGAN HILL WATER DIVISION

CHECKLIST OF LANDSCAPE DOCUMENTATION PACKAGE

APPLICANT AND OWNER CONTACT INFORMATION

DIANA AVENUE INVESTORS, LLC
385 WOODVIEW AVENUE, SUITE 100
MORGAN HILL, CA 95037
JVROTSOS@DIVIDENDHOMES.COM
408.779.5900

SOIL MANAGEMENT REPORT

SEE SHEET L-2.2

LANDSCAPE DESIGN PLANS

SEE SHEETS L-1.0 THRU L-2.3

IRRIGATION SYSTEM DESIGN PLANS

SEE SHEETS L-3.0 THRU L-3.3

LANDSCAPE AUDIT REPORT

COMPLETED AFTER INSTALLATION

GRADING DESIGN PLAN OR SURVEY

SEE CIVIL SHEETS

SHEET INDEX
CS COVER SHEET
T1.0 EXISTING TREE LOCATION MAP
T1.1 EXISTING TREE INVENTORY
L-1.0 SITE FURNISHINGS
L-1.1 SITE FURNISHINGS
L-2.0 PLANTING PLAN NORTH
L-2.1 PLANTING PLAN SOUTH
L-2.2 PLANTING PLAN, NOTES, & SOILS REPORT
L-2.3 PLANTING DETAILS & NOTES
L-3.0 HYDROZONE MAP & WATER USE CALCULATION
L-3.1 IRRIGATION PLAN NORTH
L-3.2 IRRIGATION PLAN SOUTH
L-3.3 IRRIGATION DETAILS & NOTES

730 DIANA AVENUE
DIANA AVENUE INVESTORS LLC,
MONTEREY ROAD MORGAN HILL, CA

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Architect - 2024

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CITY OF MORGAN HILL	
PLAN APPROVED	
THIS PLAN WAS APPROVED BY THE PLANNING DIVISION	
ON	3/7/2025
SR2024-0004	
FILE NUMBER	
Roshni Saxena Assistant Planner	
	
PLANNING OFFICIAL	

REVISIONS

COVER SHEET

JOB NO. 202311

SCALE no scale

DRAWN MA

DATE 7.1.2024

SHEET **CS**

NOTES:

1. There are no slopes greater than 25% on site.
2. Mass grading is planned, therefore a soil analysis report can be submitted as part of certificate of completion

The developer will submit receipts and/or invoices for all compost and mulch purchases to Environmental Services Division after final construction.

owner/applicant signature _____ date _____

I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape and irrigation design plan.

Michael A. Arnone _____ 7.1.2024
landscape architect signature _____ date _____

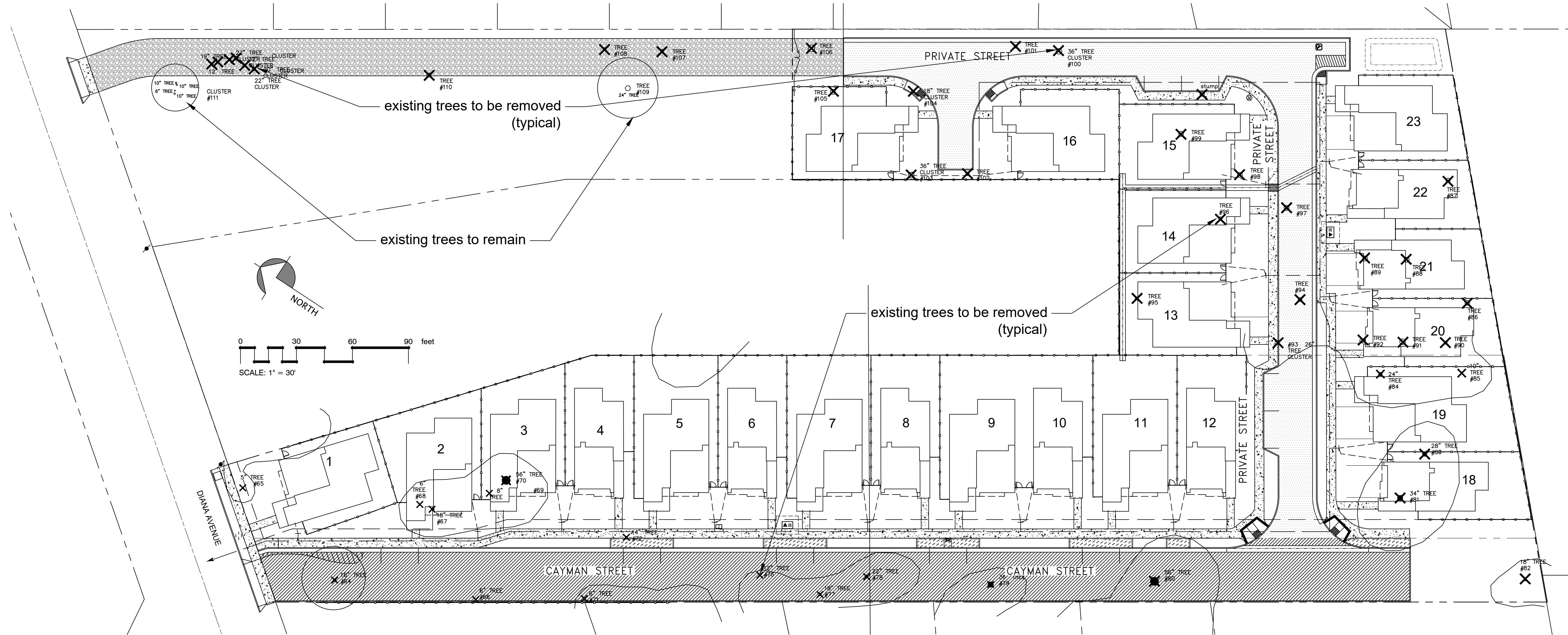
After installation of landscaping on property, I agree to have an irrigation audit, landscape audit, irrigation schedule, and maintenance schedule conducted by a Certified Irrigation Auditor and submit it to the City for final project sign off.

owner/applicant signature _____ date _____

I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete landscape documentation package.

owner/applicant signature _____ date _____





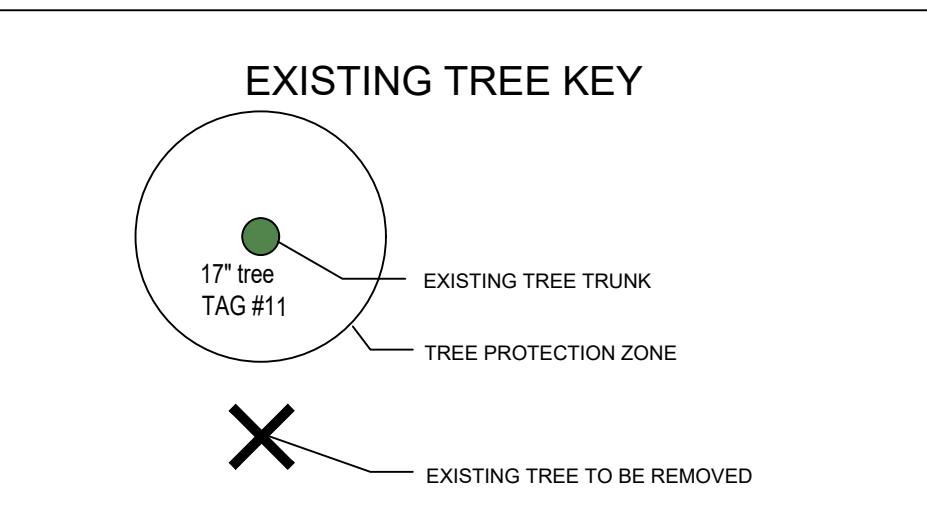
730 DIANA AVENUE
DIANA AVENUE INVESTORS LLC,
MONTEREY ROAD MORGAN HILL, CA

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ARCHITECT ASSUMES NO LIABILITY FOR THE
ACCURACY OF SAID PROPERTY LINE BOUNDARIES, FENCE
LINES OR PROPERTY CORNERS.

SEE SHEET T1.1 FOR ARBORIST TREE DATA



NOTE:

1. Information provided on this plan is based on the tree report by project arborist Ray Morneau, 650.964.7664 or ray@rmarborist.com updated April 23, 2024.
2. Contractor shall contact project arborist for direction on setting up tree protective fencing around existing trees to be preserved and protected.
3. Per tree report by project arborist, the trunks are measured at 54" above soil height or as noted.

TREE REPLACEMENT TABLE

TOTAL TREES SURVEYED

48

TREES TO BE REMOVED

47

EXISTING TREES TO REMAIN

2

NEW TREES TO BE PLANTED

95

TOTAL TREES FOR PROJECT AT COMPLETION

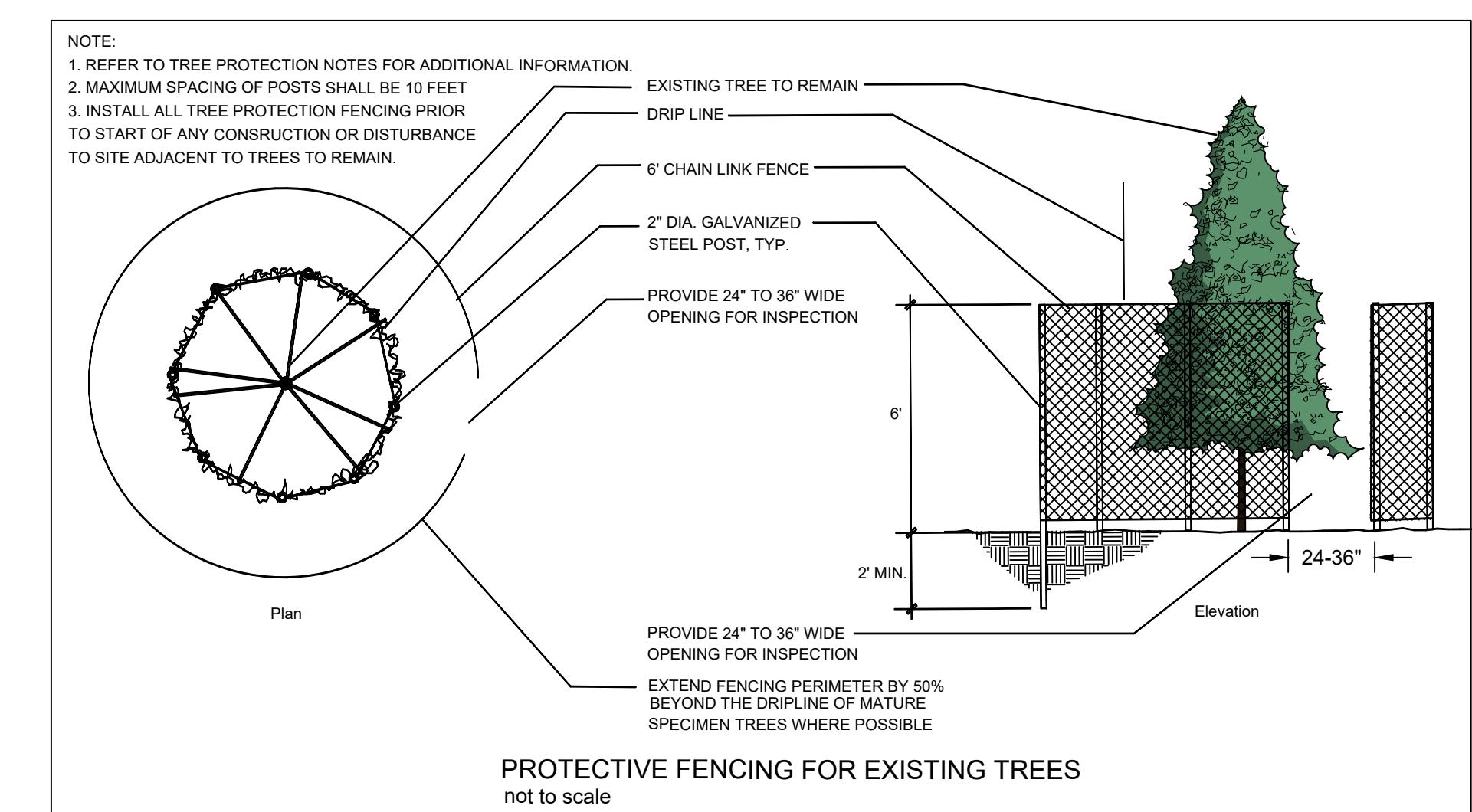
97

Note: All new trees will be from 24" box containers

REVISIONS



EXISTING TREES LOCATION MAP



JOB NO. 202311
SCALE 1" = 30' - 0"
DRAWN MA SHEET
CHECK
DATE 7.1.2024 T-1.0



**CITY OF MORGAN HILL
PLAN APPROVED**

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 3/7/2025

SR2024-0004

FILE NUMBER
Roshni Saxena
Assistant Planner

PLANNING OFFICIAL





































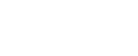














































































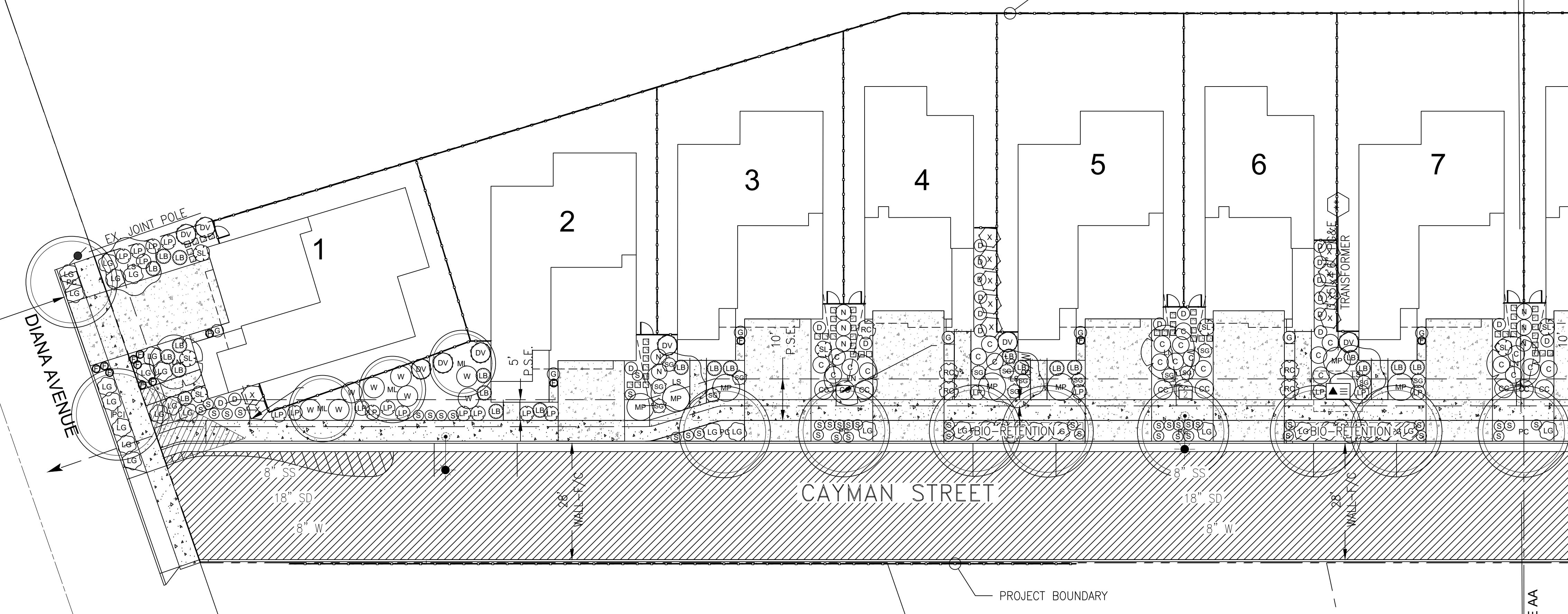




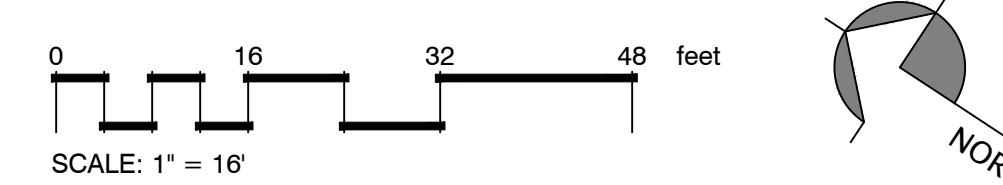




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PLANT SCHEDULE				
CODE	BOTANICAL / COMMON NAME	CONT	QTY	WATER USE
TREES				
LN	Lagerstroemia indica x fauriei 'Natchez' / Natchez Crape Myrtle	24" box	11	Low
LS	Laurus x 'Saratoga' / Saratoga Hybrid Laurel	24" box	14	Low
ML	Melaleuca linariifolia / Flaxleaf Paperbark	24" box	39	Low
PC	Pistacia chinensis / Chinese Pistache	24" box	20	Low
QA	Quercus agrifolia / Coast Live Oak	24" box	11	Very low - Low
SHRUBS				
AR	Arctostaphylos hookeri 'Monterey Carpet' / Monterey Carpet Hooker's Manzanita	5 gal	34	Low
CC	Ceanothus x 'Centennial' / Centennial Wild Lilac	5 gal	84	Low
C	Cistus x hybridus / White Rockrose	1 gal	60	Low
D	Dieteres bicolor / Fortnight Lily	1 gal	77	Low
DV	Dodonea viscosa 'Green' / Green Hopseed Bush	5 gal	27	Low
LG	Lantana x 'New Gold' / New Gold Lantana	1 gal	72	Low
LP	Lavandula x intermedia 'Provence' / Provence Lavendin	5 gal	70	Low
MP	Myoporum parvifolium 'Putah Creek' / Putah Creek Myoporum	1 gal	18	Low
N	Nandina domestica / Heavenly Bamboo	5 gal	50	Low
RC	Rhaphiolepis indica 'Clara' / Clara Indian Hawthorn	5 gal	52	Low
SG	Salvia greggii / Autumn Sage	5 gal	29	Low
SL	Salvia leucantha 'Purple Velvet' / Purple Velvet Mexican Bush Sage	5 gal	32	Low
S	Sisyrinchium bellum / Blue-eyed Grass	1 gal	85	Low
W	Westringia fruticosa / Coast Rosemary	5 gal	58	Low
X	Xylosma congestum / Shiny Xylosma	5 gal	43	Low
GRASSES				
F	Festuca mairei / Atlas Fescue	1 gal	53	Low
LB	Lomandra x 'Platinum Beauty' / Variegated Mat Rush	1 gal	33	Low
M	Muhlenbergia rigens / Deer Grass	1 gal	22	Low
VINES				
G	Gelsemium sempervirens / Carolina Jessamine	5 gal	24	Low
CODE	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
GROUND COVERS				
CD	Carex divisa / Berkeley Sedge	1 GAL	30" o.c.	64
				Low

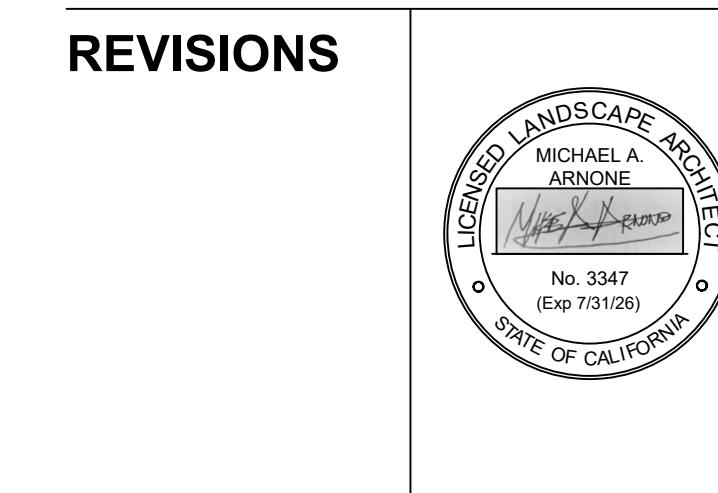


**730 DIANA AVENUE
DIANA AVENUE INVESTORS LLC,
MONTEREY ROAD MORGAN HILL, CA**

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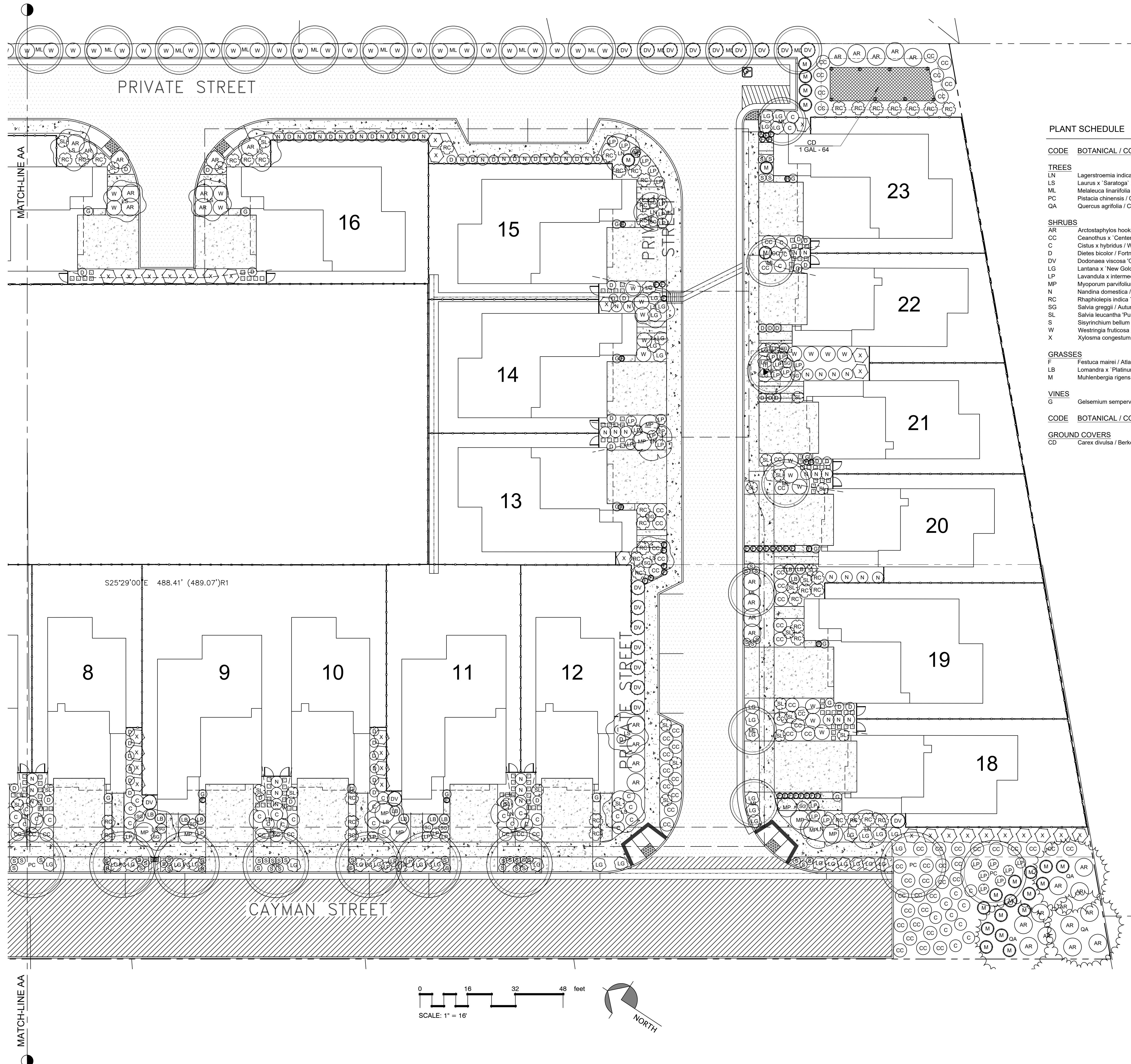
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**PLANTING PLAN
WEST**

JOB NO. 202311
SCALE 1/16" = 1' - 0"
DRAWN MA Michael A. Arnone **SHEET**
CHECK **DATE** 7.1.2024 **L-2.0**

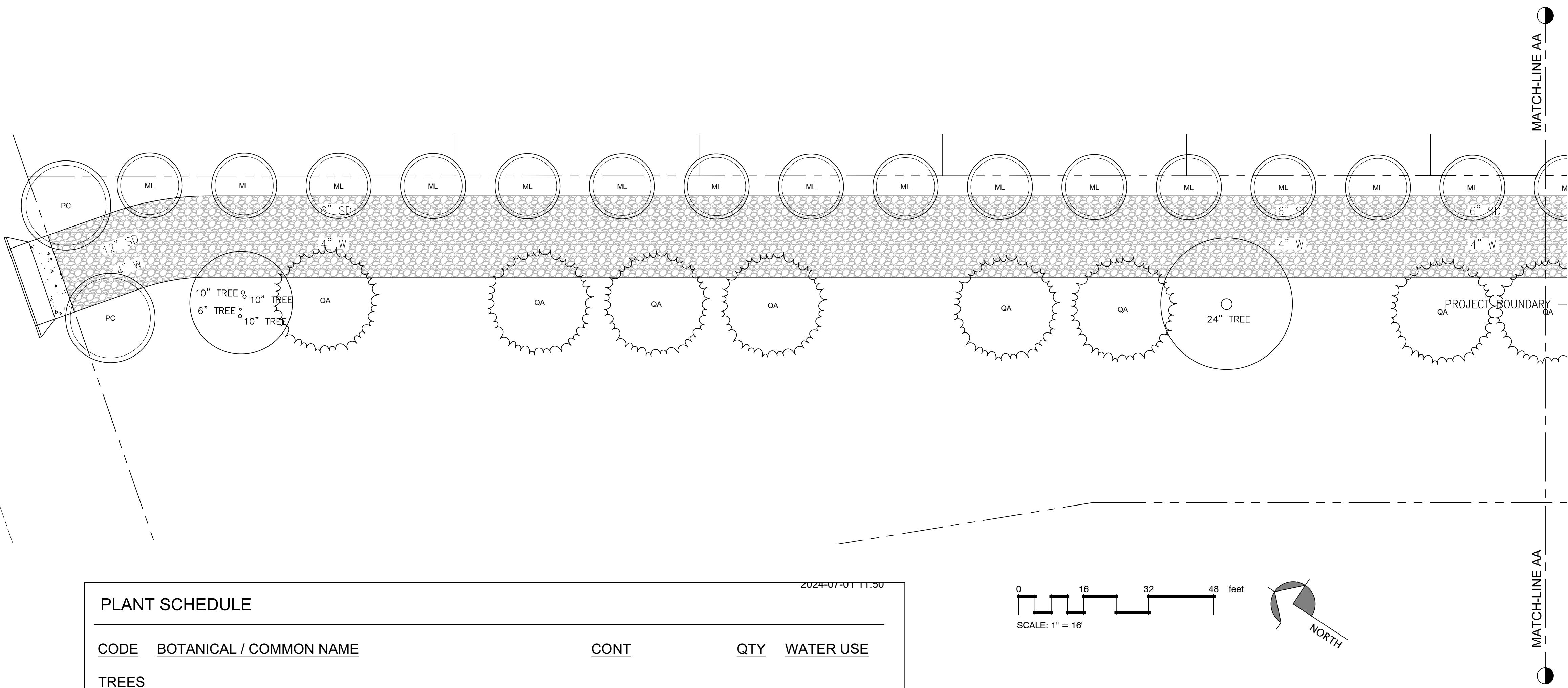
"I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plan"



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DIANA AVENUE INVESTORS LLC,
MONTEREY ROAD MORGAN HILL, CA

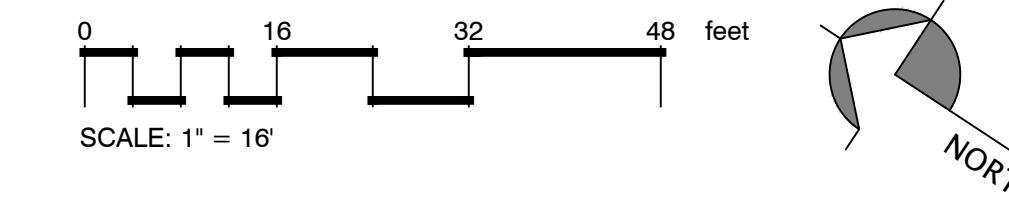
Michael Arnone + Associates
LANDSCAPE ARCHITECTURE





PLANT SCHEDULE

2024-07-01 11:50					
CODE	BOTANICAL / COMMON NAME	CONT	QTY	WATER USE	
TREES					
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G	Gelsemium sempervirens / Carolina Jessamine	5 gal	24	Low	
CODE BOTANICAL / COMMON NAME					
CONT	SPACING	QTY	WATER USE		
GROUND COVERS					
CD	Carex divisa / Berkeley Sedge	1 GAL	30" o.c.	64	Low



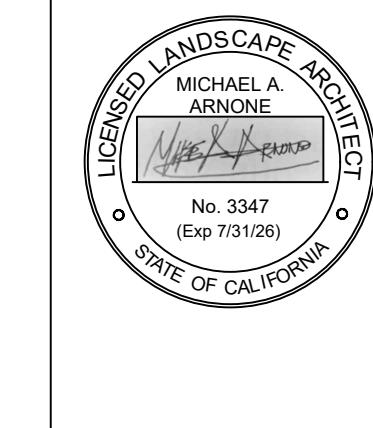
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DIANA AVENUE INVESTORS LLC,
MONTEREY ROAD MORGAN HILL, CA

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REVISIONS



CITY OF MORGAN HILL PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 3/7/2025

SR2024-0004

FILE NUMBER

Roshni Saxena
Assistant Planner

PLANNING OFFICIAL

PLANTING PLAN EAST

JOB NO. 202311

SCALE 1/16" = 1' - 0"

DRAWN MA

SHEET

CHECK

DATE 7.1.2024

L-2.2

"I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plan."

Michael A. Arnone

date 7.1.2024

TREES



Lagerstroemia indica x fauriei 'Natchez'
Natchez Crape Myrtle



Laurus nobilis 'Saratoga'
Sweet Bay



Melaleuca linariifolia
Flaxleaf Paperbark



Pistacia chinensis
Chinese Pistache



Quercus agrifolia
Coast Live Oak



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DIANA AVENUE INVESTORS LLC,
MONTEREY ROAD MORGAN HILL, CA

SHRUBS



Arctostaphylos hookeri 'Monterey Carpet'
Monterey Carpet Hooker's Manzanita



Ceanothus x 'Centennial'
Centennial Wild Lilac



Cistus hybridus
White Rockrose



Dieterichia bicolor
Fortnight Lily



Dodonaea viscosa 'Green'
Green Hopseed Bush



Lantana x 'New Gold'
New Gold Lantana



Lavandula x intermedia 'Provence'
Provence Lavender



Myoporum parvifolium 'Putah Creek'
Putah Creek Myoporum



Nandina domestica
Heavenly Bamboo



Podocarpus macrophyllus 'Maki'
Maki Podocarpus



Raphiolepis indica 'Clara'
Clara Indian Hawthorn



Salvia leucantha 'Purple Velvet'
Purple Velvet Mexican Bush Sage



Salvia greggii
Autumn Sage



Sisyrinchium bellum
Blue-eyed Grass



Westringia fruticosa
Coast Rosemary



Xylosma congestum
Shiny Xylosma

VINES



Gelsemium sempervirens
Carolina Jessamine

RETENTION BASIN



Carex divisa
Berkeley Sedge

ORNAMENTAL GRASSES



Festuca mairei
Atlas Fescue Grass



Lomandra longifolia 'Platinum Beauty'
Variegated Mat Rush



Muhlenbergia rigens
Deer Grass

PLANT IMAGES

JOB NO. 202311

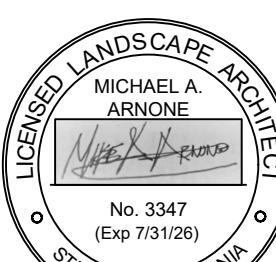
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DATE 7.1.2024

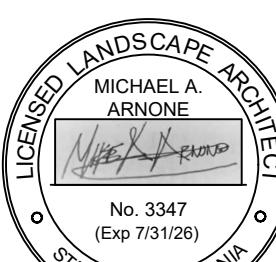


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REVISIONS



No. 3347
(Exp 7/31/26)

STATE OF CALIFORNIA

LICENCED LANDSCAPE ARCHITECT

MICHAEL A. ARNONE

Arnone Associates

LANDSCAPE ARCHITECT

730 DIANA AVENUE

MORGAN HILL, CA

MONTEREY ROAD

2024

LANDSCAPE ARCHITECT

730 DIANA AVENUE

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MONTEREY ROAD

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LANDSCAPE ARCHITECT

730 DIANA AVENUE

MORGAN HILL, CA

MONTEREY ROAD

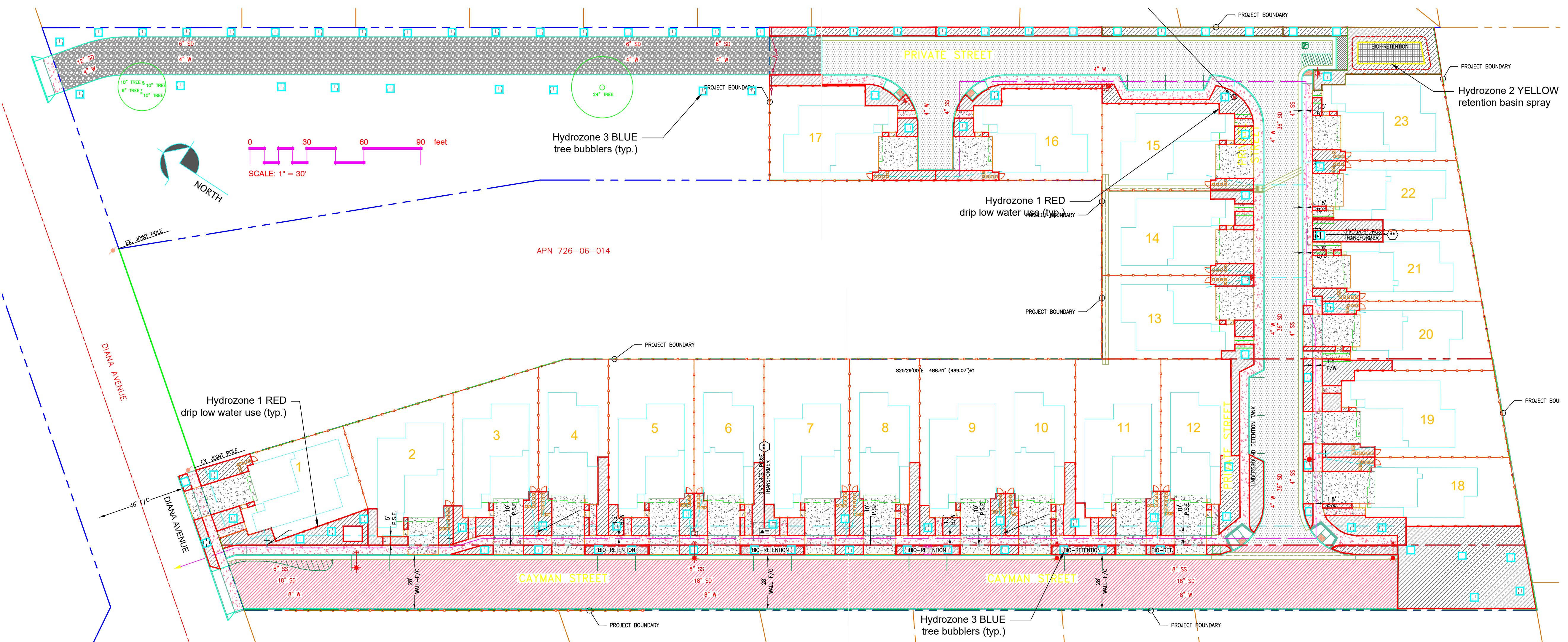
2024

LANDSCAPE ARCHITECT

730 DIANA AVENUE

MORGAN HILL, CA

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MONTEREY ROAD MORGAN HILL, CA

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MAWA CALCULATIONS

Maximum Applied Water Allowance Calculations for New and Rehabilitated Residential Landscapes

Messages and Warnings

Click on the blue cell on right to Pick City Name

Morgan Hill

Name of City

49.50ETo (inches/year)

384Overhead Landscape Area (ft2)

18149Drip Landscape Area (ft2)

0SLA (ft2)

Results:
(ETo) x (0.62) x [(0.55 x LA) + (1.0 - 0.55) X SLA]]

Total Landscape Area

18,533.00

312,827.77Gallons
41,819.13Cubic Feet
418.19HCF
0.96Acre-feet
0.31Millions of Gallons

MAWA calculation incorporating Effective Precipitation (Optional)
Precipitation (Optional)

ETo of City from Appendix A

Total Landscape Area

Special Landscape Area

Enter Effective Precipitation

Results:

MAWA = [(ETo - Eppt) x (0.62)] x [(0.55 x LA) + ((1.0 - 0.55) x SLA)]

Gallons
Cubic Feet
HCF
Acre-feet
Millions of Gallons

ETWU CALCULATIONS

Estimated Total Water Use

Equation: ETWU = ETo x 0.62 x [(PF x HA)/IE] + SLA; Considering precipitation ETWA = (ETo-Eppt) x 0.62 x [(PF x HA)/IE] + SLA]

Messages and Warnings

Irrigation Efficiency Default Value for overhead 0.75 and drip 0.81.

Plant Water Use Type	Plant Factor
Very Low	0 - 0.1
Low	0.2 - 0.3
Medium	0.4 - 0.6
High	0.7 - 1.0
SLA	1

Select System

From the

Dropdown List

click on cell below

Hydrozone

Zone 1

Drip

Zone 2

Overhead Spray

Zone 3

Drip

Plant Water Use

Type (s) (low,

medium, high)

Plant Factor

(PF)

Hydrozone Area

(HA) (ft2) Without

SLA

Irrigation

Efficiency

(IE)

(PF x HA (ft2))/IE

Hydrozone Area

(HA) (ft2) Without

SLA

Irrigation

Efficiency

(IE)

(PF x HA (ft2))/IE

6,201

358

521

7,080

0

0

18,533

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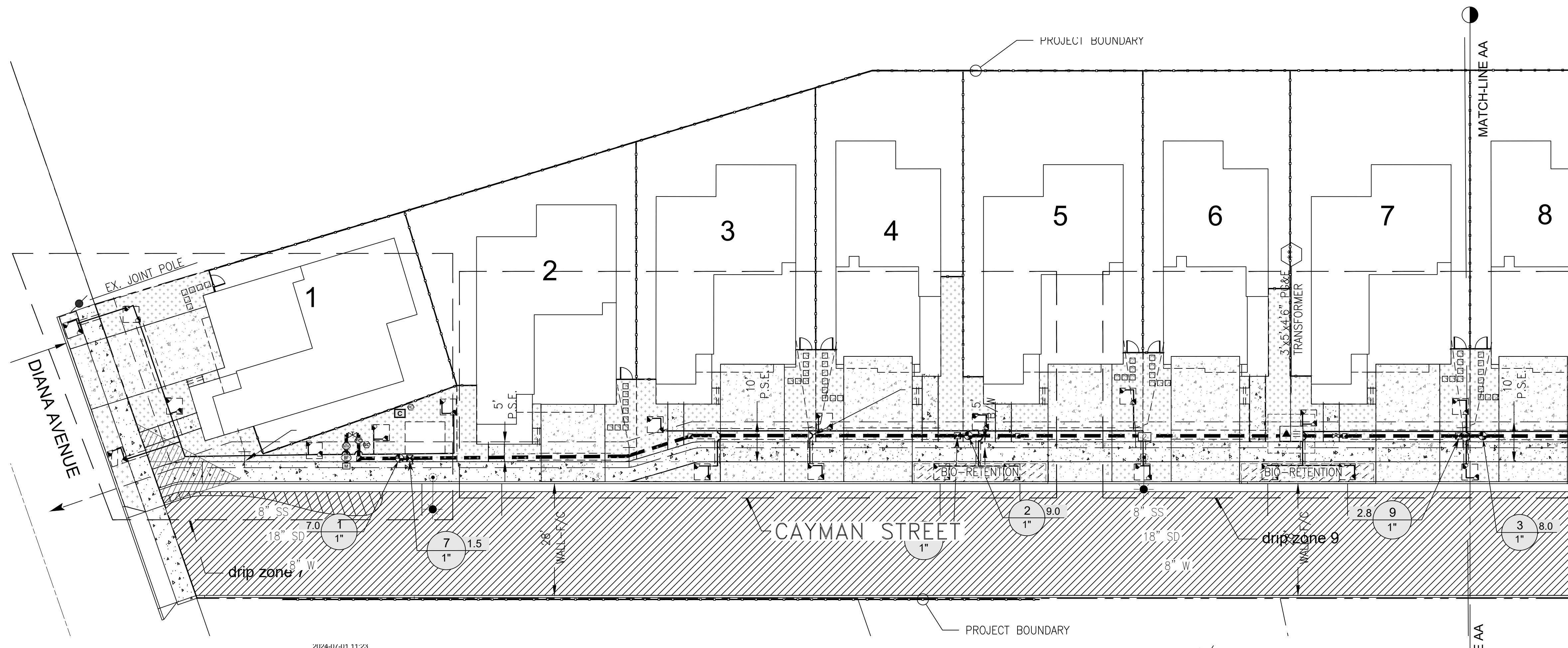
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IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	Hunter MP800SR PRS40-CV Turf Rotator, 6.0° pop-up with check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PRS40 body. ADJ=Orange and Gray (arc 90-210), 360=Lime Green and Gray (arc 360)	8	40
	Hunter MSBN-5IQ Multi-Stream Bubbler Nozzle, pressure-compensating, 0.50 GPM, 90 Degree, female thread	190	15
	Hunter IC2-101-25 Drip Control Zone Kit. 1" ICV Globe Valve with 1" HY100 filter system. Pressure Regulation: 25psi. Flow Range: 2 GPM to 20 GPM. 150 mesh stainless steel screen.	12	
	Area to Receive Drip Emitters Rain Bird XB-PC (2) Single Outlet, Pressure Compensating Drip Emitters. Flow rates of 0.5gph=blue, 1.0gph=black, and 2.0gph=red. Comes with a self-piercing barb inlet x barb outlet. Emitters: 0.5 GPH emitters (2 assigned to each 1 gal plant) 1.0 GPH emitters (2 assigned to each 5 gal plant) 2.0 GPH emitters (4 assigned to each 15 gal plant)	16,543 s.f.	
	Hunter IBV-BSP-FS 1in., 1-1/2in., 2in., and 3in. Brass Electric Remote Control Valve, Globe Configuration, with BSP Threaded Inlet/Outlet, for Commercial/Municipal Use. With Filter Sentry Factory Installed Option.	13	
	Rain Bird 44-LRC 1" Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Locking Thermoplastic Rubber Cover, and 2-Piece Body	19	
	Landscape Products Inc. BBV 1/2in., 3/4in., 1in., 1-1/4in., 1-1/2in., 2in., 2-1/2in., 3in. Full Port Brass Ball Valve. Suitable for a full range of liquids and gases in residential and commercial applications.	2	
	Rain Bird EFB-CP-PRS-D 1-1/2" 1", 1-1/4", 1-1/2", 2" Brass Master Valve, that is Contamination Proof w/ Self-Flushing Filter Screen. Globe Configuration, Reclaimed Water Compatible, and Purple Handle Cover. Designates Non-Potable Water Use. With Pressure Regulator.	1	
	Febo 625Y 1-1/2" Reduced Pressure Backflow Preventer	1	
	Hunter HCC-3200-M/CC-PED-SS (2) 32 Station Outdoor Wi-Fi enabled, full-functioning controller with touchscreen & three ICM-800 Module. Commercial Use. Stainless Steel Pedestal.	1	
	Hunter SOIL-CLICK The Soil-Click probe uses proven technology to measure moisture within the root zone. When the probe senses that the soil has reached its desired moisture level, it will shut down irrigation, preventing water waste.	1	
	Hunter WR-CLICK Rain Sensor, install within 1000 ft of controller, in line of sight, 22-28 VAC/DC 100 mA power from timer transformer. Mount as noted.	1	
	Hunter FLOW-CLICK-200 (2) Flow Sensor SOV with Interface Panel, 2" Schedule 40 Sensor Body, 24 VAC, 2 amp, install Interface Panel as required.	1	
	1" IRR WATER METER	1	
Irrigation Lateral Line: PVC Class 315 SDR 13.5			
24,158 l.f.			
Irrigation Mainline: PVC Schedule 40			
2,001 l.f.			
Pipe Sleeve: PVC Schedule 80			
801.8 l.f.			

IRRIGATION NOTES

- Contractor shall notify U.S.A. (Underground Service Alert) at 811, prior to start of any excavation or trenching.
- Contractor shall review all plans and documents pertaining to the project prior to the start of work to coordinate work with other trades. Contractor shall install irrigation system in accordance with all local codes and ordinances.
- Water service for irrigation will be taken from the new landscape irrigation meter. Verify location of meter in field prior to start of work. Contractor shall tee off the service line and install the mainline, remote control valves, drip valve assemblies, quick coupler valves, and drip tubing as shown.
- Contractor shall install manual shutoff valves at locations shown for maintenance and repair.
- Bubbler valves have been designed to operate at a maximum of 9 gallons per minute at 15 p. s. i. Drip valves have been designed to operate at a maximum of 5 gallons per minute at 20 p. s. i. Irrigation contractor shall verify a static pressure of at least 75 p.s.i. at the point of connection prior to the installation of the irrigation system. Contractor shall read static pressure at point of connection prior to installation of irrigation system. Should the p.s.i. or the g.p.m. be insufficient to operate either system, contractor shall notify landscape architect and request review of design. In line pressure regulators or booster pumps may be required if static pressure is above or below the required dynamic pressure. Extra stations are available on both of the controllers if needed.
- All irrigation emission devices must meet the requirements set in the American National Standards Institute (ANSI) standard, American Society of Agricultural and Biological Engineers'/International Code Council's (ASABE/ICC) 802-2014 "Landscape Irrigation Sprinkler and Emitter Standard."
- Contractor shall install a pedestal mount controller to be located at a power source to be provided.
- All electrical connections for the controller shall be installed by a licensed electrical contractor. All work shall comply with the most current standards and codes at the time of installation.
- The Wireless solar sync rain sensors should be installed as per manufacturer's instructions in an open area. The soil moisture sensors shall be installed as per manufacturer's instructions in a planting area adjacent to the irrigation mainline.
- Irrigation design is diagrammatic. Mainline, valves, laterals and other irrigation equipment may be shown outside of planting beds for graphic clarity. All irrigation equipment shall be located in adjacent planting beds.
- Irrigation pipe depths: Mainlines under paving shall have 24" cover over pipes. Lateral lines under paving shall have 18" cover over pipes. Mainlines in planting beds shall have 12" of cover over pipes. Laterals in planting beds shall have 12" cover over pipes.
- Sleeves shall be located as per plan and as needed to reach all planting areas to be irrigated. Irrigation contractor shall coordinate placement of all irrigation sleeves with general contractor and concrete sub contractor to be sure all areas will be accessible for irrigation lines and drip tubing.
- Lateral lines (non pressure lines) sizing guidelines shall be as follows: 3/4" O.D. - 0 to 10 GPM; 1" O.D. - 11 to 15 GPM; 1 1/4" O.D. - 16 to 25 GPM; 1 1/2" O.D. 26 to 30 GPM; 2" O.D. 31 to 55 GPM. Refer to Irrigation Legend and plan sheets for further data.
- Control wires shall be 14 gauge UF direct burial wire. Use red for control wire and white for common wire. Contractor shall run one spare common and one spare control wire to each of the end valves. All low voltage wire connections shall be made only at remote control boxes. All connections shall be made with a 2' coil of wire for service. Connections shall be made with RainBird 'Snap-Tite' connectors or equal.
- Contractor shall determine the number and location of emitters based on the plant counts and actual plant locations in the field. Contractor shall adjust all drip distribution tubing to effectively irrigate all plant material.
- Contractor shall provide a minimum of one drip end cap assembly per drip zone for ease of flushing system.
- All mainline shall be 1.5" Sch. 40 PVC. All laterals shall be $\frac{3}{4}$ " Class 315 PVC unless noted as 1".
- Irrigation shall run between 7:00pm and 9:00am.

"I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plan"

Michael A. Arnone

date 7.1.2024

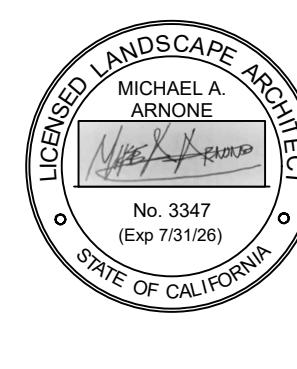
730 DIANA AVENUE
DIANA AVENUE INVESTORS LLC,
MONTEREY ROAD MORGAN HILL, CA

Michael Arnone + Associates
LANDSCAPE ARCHITECTURE

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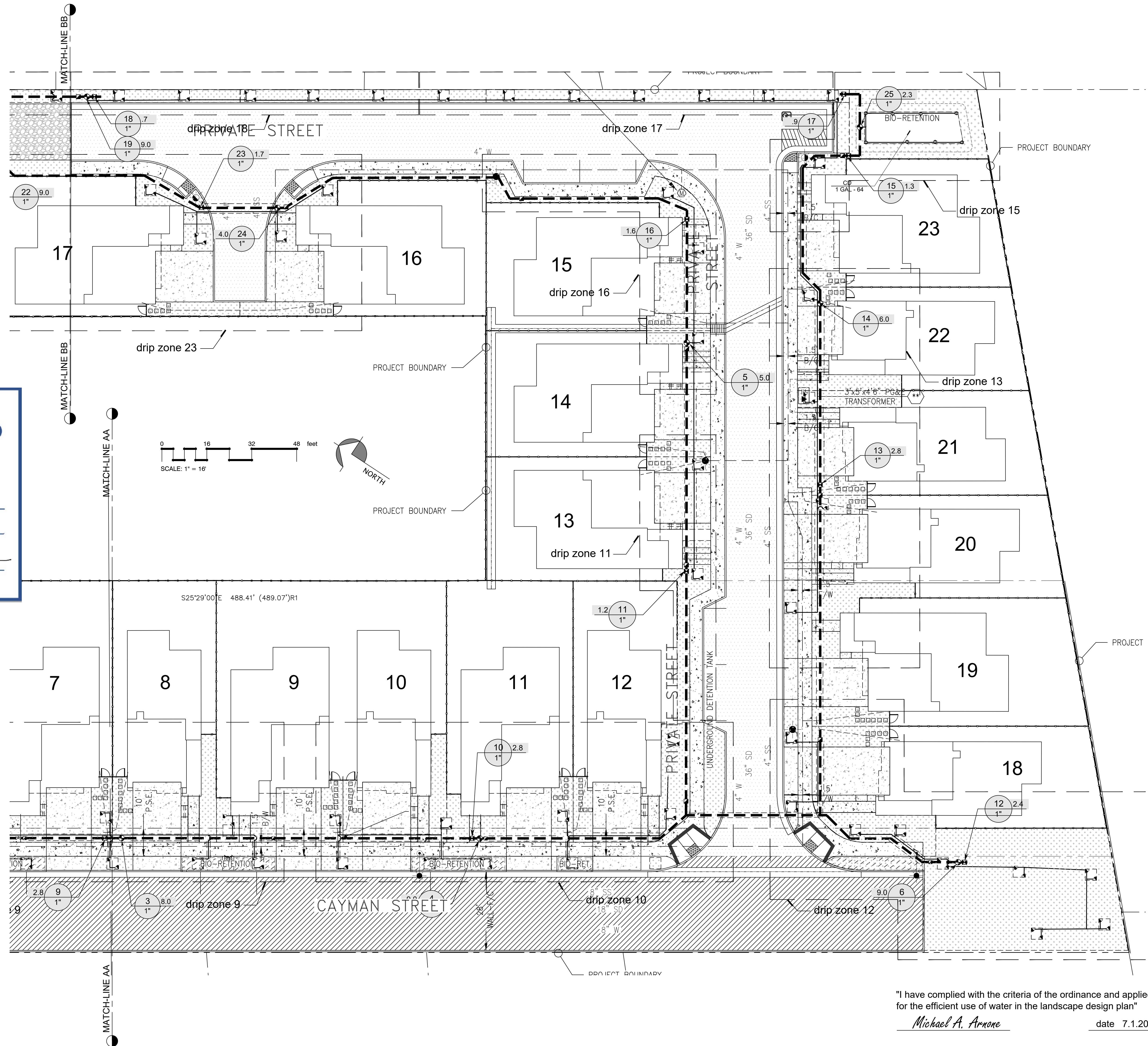
OWNER SHALL ASSUME RESPONSIBILITY FOR COMPLIANCE WITH ALL EASEMENTS, SETBACK REQUIREMENTS AND OTHER APPLICABLE LOCAL, STATE AND FEDERAL LAW. NECESSARY PERMITS REQUIRED TO PERFORM WORK SHOWN ON PLANS. BASE INFORMATION HAS BEEN PROVIDED BY THE OWNER. MICHAEL ARNONE LANDSCAPE ARCHITECT ASSUMES NO LIABILITY FOR THE ACCURACY OF SAME PROPERTY LINE BOUNDARIES, FENCE LINES OR PROPERTY CORNERS.

REVISIONS



IRRIGATION PLAN WEST

JOB NO. 202311
SCALE 1/16" = 1' - 0"
DRAWN MA
CHECK
DATE 7.1.2024 L-3.1



**730 DIANA AVENUE
DIANA AVENUE INVESTORS LLC,
MONTEREY ROAD MORGAN HILL, CA**

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REVISIONS



**IRRIGATION PLAN
SOUTH**

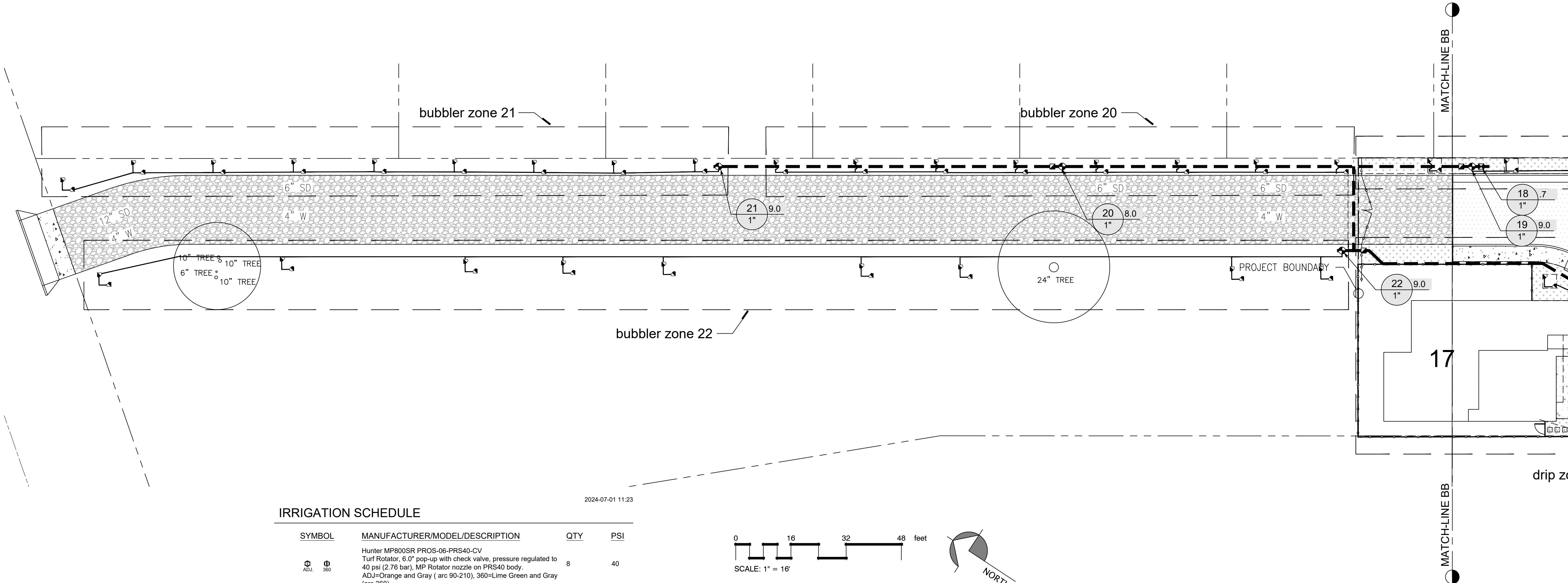
**JOB NO. 202311
SCALE 1/16" = 1'-0"
DRAWN MA
CHECK
DATE 7.1.2024**

L-3.2

"I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plan"

Michael A. Arnone

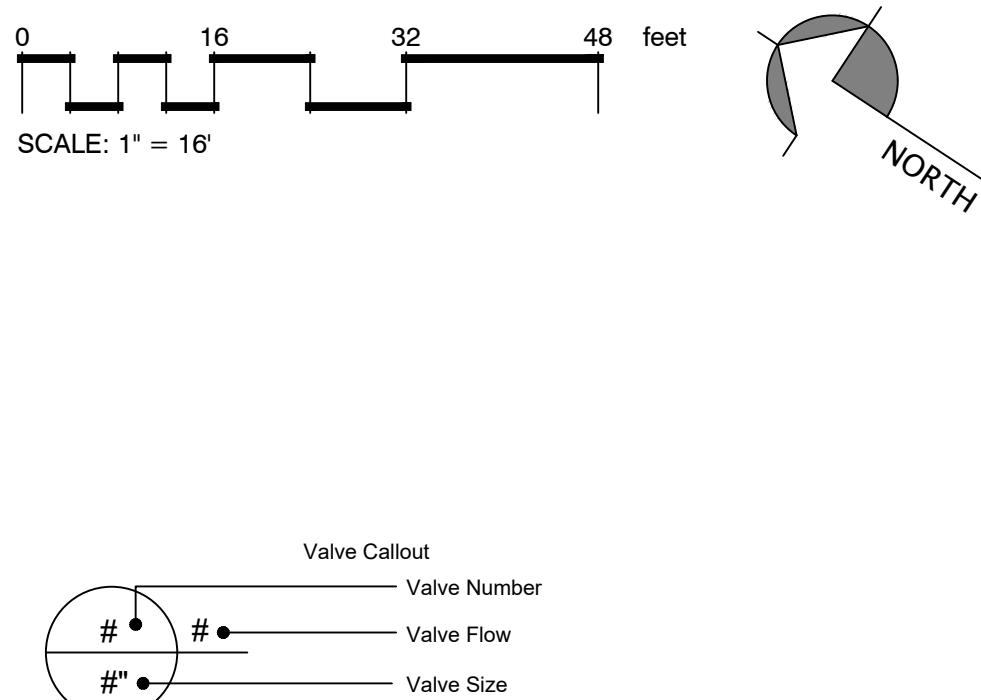
date 7.1.2024




Michael Arnone + Associates
 LANDSCAPE ARCHITECTURE
 730 DIANA AVENUE
 DIANA AVENUE INVESTORS LLC,
 MONTEREY ROAD MORGAN HILL, CA

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	Hunter MP8000R PROS-06-PRS40-CV Turf Rotator, 6.0' pop-up with check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PRS40 body. ADJ-Orange and Gray (arc 90-210), 360-Lime Green and Gray (arc 360)	8	40
	Hunter MSBN-50Q Multi-Stream Bubbler Nozzle, pressure-compensating, 0.50 GPM, 90 Degree, female thread	190	15
	Hunter ICZ-101-25 Drip Control Zone Kit, 1" ICV Globe Valve with 1" HY100 filter system. Pressure Regulation: 25psi. Flow Range: 2 GPM to 20 GPM. 150 mesh stainless steel screen.	12	
	Area to Receive Drip Emitters Rain Bird X8-PC (2) Single Outlet, Pressure Compensating Drip Emitters. Flow rates of 0.5gph=blue, 1.0gph=black, and 2.0gph=red. Comes with a self-piercing barb inlet x barb outlet. Emitter Notes: 0.5 GPH emitters (2 assigned to each 1 gal plant) 1.0 GPH emitters (2 assigned to each 5 gal plant) 2.0 GPH emitters (4 assigned to each 15 gal plant)	16,543 s.f.	
	Hunter IBV-BSP-FS 1in, 1-1/2in, and 3in. Brass Electric Remote Control Valve, Globe Configuration, with BSP Threaded Inlet/Outlet, for Commercial/Municipal Use. With Filter Sentry Factory Installed Option.	13	
	Rain Bird 44-LRC 1" Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Locking Thermoplastic Rubber Cover, and 2-Piece Body.	19	
	Landscape Products Inc. BBV 1/2in, 3/4in, 1in, 1-1/4in, 1-1/2in, 2in, 2-1/2in, 3in. Full Port Brass Ball Valve. Suitable for a full range of liquids and gases in residential and commercial applications.	2	
	Rain Bird EFB-CP-PRS-D 1-1/2" 1", 1-1/4", 1-1/2", 2" Brass Master Valve, that is Contamination Proof w/ Self-Fushing Filter Screen. Globe Configuration, Reclaimed Water Compatible, and Purple Handle Cover. Designates Non-Potable Water Use. With Pressure Regulator.	1	
	Febco 825Y 1-1/2" Reduced Pressure Backflow Preventer	1	
	Hunter HCC-3200-MICC-PED-SS (2) 32 Station Outdoor Wi-Fi enabled, full-functioning controller with touchscreen & three ICM-800 Module. Commercial Use. Stainless Steel Pedestal.	1	
	Hunter WR-CLIK The Soil-CLIK probe uses proven technology to measure moisture within the root zone. When the probe senses that the soil has reached its desired moisture level, it will shut down irrigation, preventing water waste.	1	
	Hunter FLOW-CLIK-200 (2) Flow Sensor SOV with Interface Panel, 2" Schedule 40 Sensor Body, 24 VAC, 2 amp, install Interface Panel as required.	1	
	1" IRR WATER METER	1	
—	Irrigation Lateral Line: PVC Class 315 SDR 13.5	24,158 l.f.	
—	Irrigation Mainline: PVC Schedule 40	2,001 l.f.	
—	Pipe Sleeve: PVC Schedule 80	801.8 l.f.	



CITY OF MORGAN HILL PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 3/7/2025

SR2024-0004

FILE NUMBER

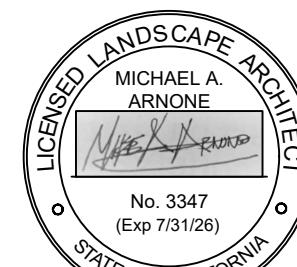
Roshni Saxena
Assistant Planner

PLANNING OFFICIAL

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REVISIONS



IRRIGATION PLAN EAST

JOB NO. 202311
SCALE 1/16" = 1' - 0"
DRAWN MA
CHECK
DATE 7.1.2024 **SHEET** L-3.3

"I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plan"

Michael A. Arnone

date 7.1.2024

CITY OF MORGAN HILL
PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 3/7/2025

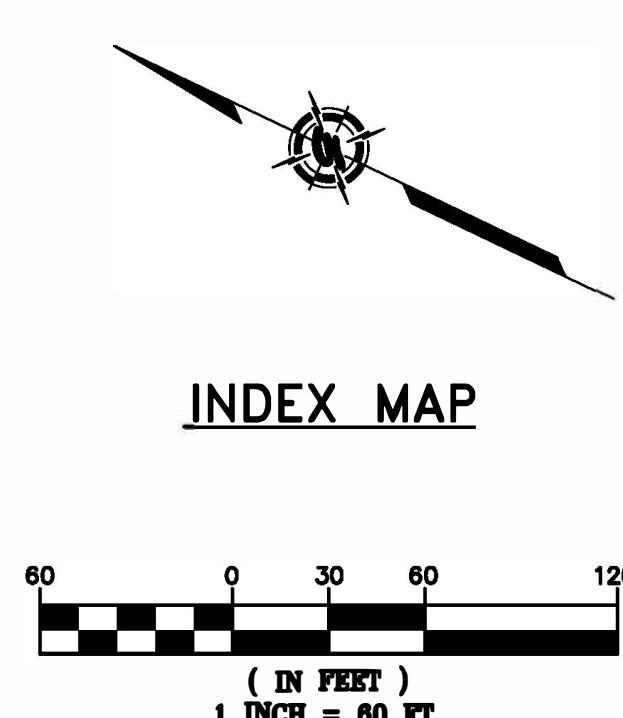
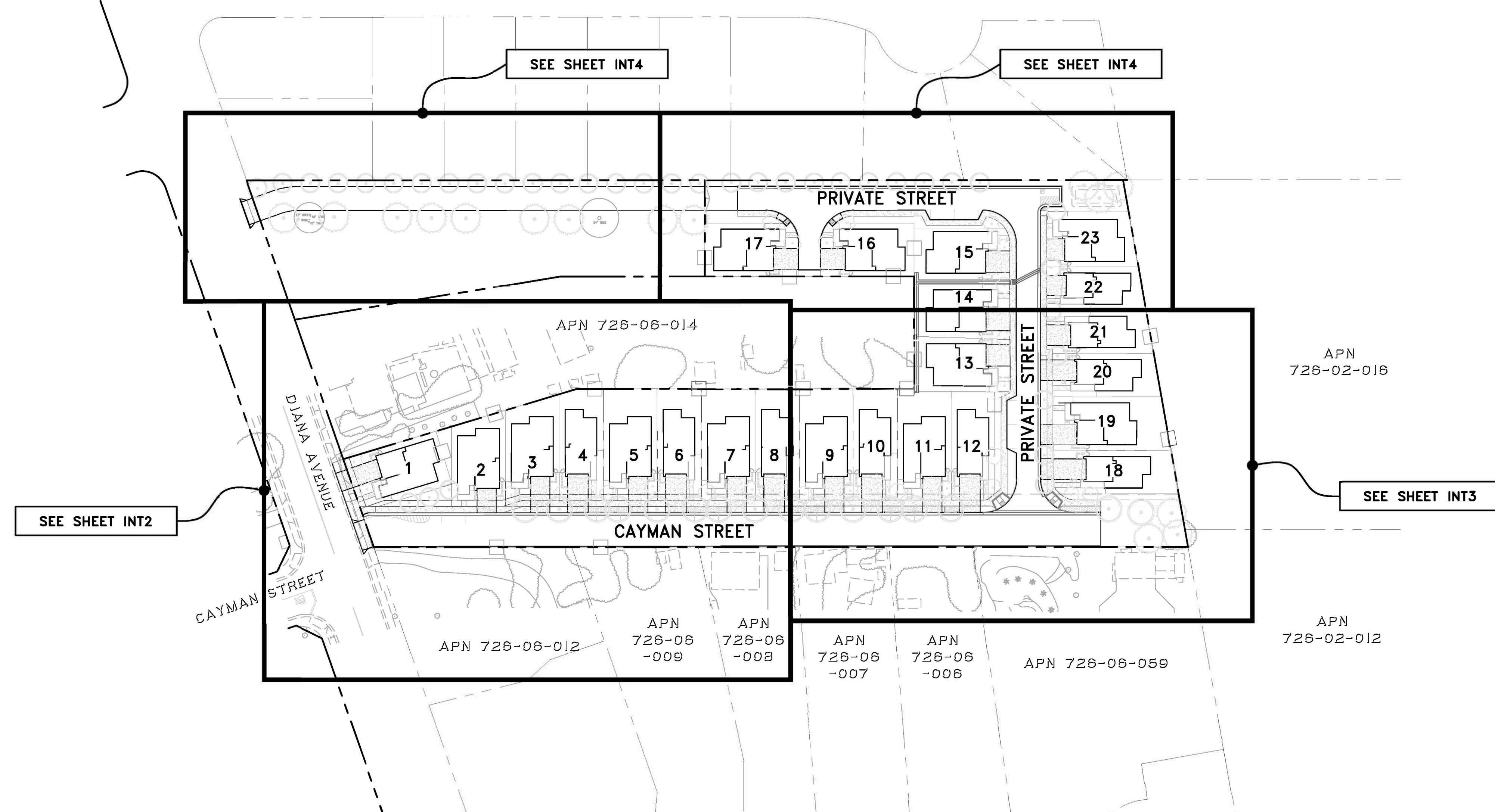
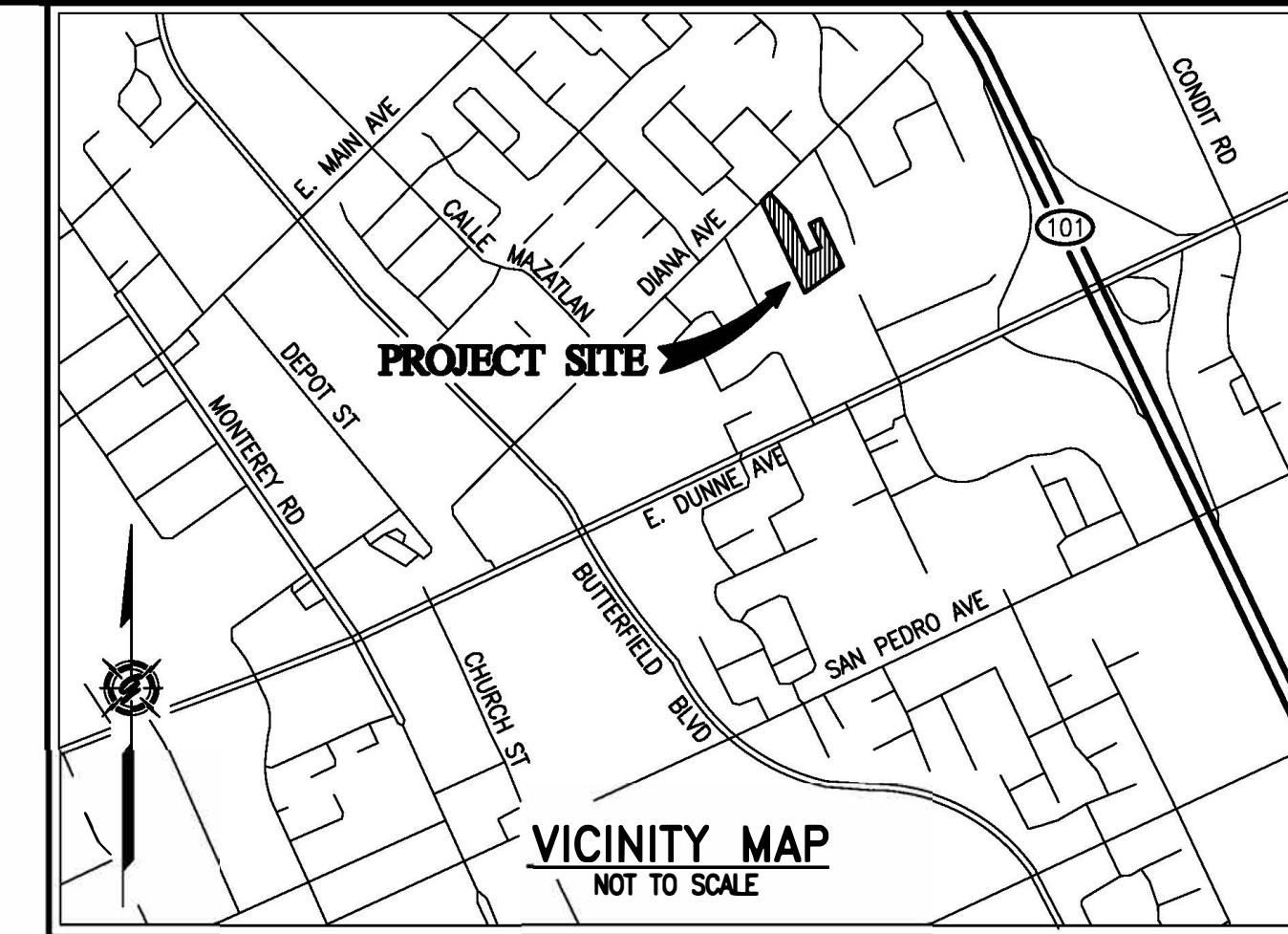
SR2024-0004

FILE NUMBER

Roshni Saxena
Assistant Planner

[Signature]
PLANNING OFFICIAL

DIVIDEND HOMES
730 DIANA AVENUE
MORGAN HILL, CALIFORNIA



APPROVED	
REVISIONS	DESCRIPTION
SYMBOL	DATE

GIACALONE
DESIGN SERVICES, INC.
5620 STONEBRIDGE MALL RD, #345 | PLACENTIA, CA 92858
(714) 467-1740 | www.giacalone.com

JOINT TRENCH INTENT TITLE SHEET
DIVIDEND HOMES
730 DIANA AVENUE
MORGAN HILL
CALIFORNIA

PROJECT MANAGER: B. FULLINGTON
DRAWN BY: M. MORFIN
CHECKED BY: D. CROWFOOT, P.E.
SCALE: 1=60'
JOB NUMBER: 23-185
DATE LAST MODIFIED: 07-01-24
SHEET
INT1 OF 4 SHEETS

PROJECT TEAM CONTACTS			
COMPANY:	CONTACT:	EMAIL:	PHONE:
DIVIDEND HOMES	JOSH VROTSOS	jvrotsos@dividendhomes.com	858 682-9062
BFK ENGINEERS	CHRISTIAN ANZELDE	canzelde@bfk.com	408-467-9102
MICHAEL ARNONE + ASSOCIATES	MICHAEL ARNONE	RKNOWN1@hotmail.com	831-462-4988
GIACALONE DESIGN SERVICES, INC.	B. FULLINGTON	brett@dryutilitydesign.com	925-467-1740

PG&E PM NO.			
ELECTRIC:	DESCRIPTION:	BY:	DATE:
RULE 15:	GAS DESIGN	GDSI	
RULE 16:	ELECTRIC DESIGN	GDSI	
RULE 20:	TELEPHONE LAYOUT		
RELOC:	CATV LAYOUT		
AFS:	STREET LIGHT PLANS - PUBLIC		
GAS:	STREET LIGHT PLANS - PRIVATE		
RULE 15:	IMPROVEMENT PLANS (ELECTRONIC FILE)	BKF	07-01-24
RELOC:			-

LATEST FILES RECEIVED			
DESCRIPTION:	BY:	DATE:	STATUS:
GAS DESIGN	GDSI		
ELECTRIC DESIGN	GDSI		
TELEPHONE LAYOUT			
CATV LAYOUT			
STREET LIGHT PLANS - PUBLIC			
STREET LIGHT PLANS - PRIVATE			
IMPROVEMENT PLANS (ELECTRONIC FILE)	BKF	07-01-24	-

PROJECT DESCRIPTION & SCOPE			
• NEW SERVICE TO 15 SFD'S (ELEC., GAS, TELE & CATV)			
• APPLICANT DESIGN/APPLICANT INSTALL			
•			
•			
•			
•			

SHEET INDEX	
SHEET	DESCRIPTION
INT1	JOINT TRENCH INTENT TITLE SHEET
INT2-INT4	JOINT TRENCH INTENT
EXH	CITY BROADBAND EXHIBIT
PRSL1	PRIVATE STREET LIGHTING TITLE SHEET
PRSL2	PRIVATE STREET LIGHTING SITE PLAN
PUSL1	PUBLIC STREET LIGHTING TITLE SHEET
PUSL2	PUBLIC STREET LIGHTING SITE PLAN

LEGEND

—— XJT
 —— PROPOSED TRENCH (DISTRIBUTION)
 - - - PROPOSED TRENCH (SERVICE)
 - - - PROPOSED STREET LIGHT TRENCH
 □□ EXISTING UTILITY SPLICE BOX
 (F.V.T.)
 (N.T.S.)
 (U.O.N.)
 FULL VEHICULAR TRAFFIC LID
 NOT TO SCALE
 UNLESS OTHERWISE NOTED

MATCHLINE - SEE SHEET INT4

APN 726-06-014

**CITY OF MORGAN HILL
PLAN APPROVED**

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 3/7/2025

FILE NUMBER

Roshni Saxena
Assistant Planner

Roshni Saxena
PLANNING OFFICIAL

**CITY OF MORGAN HILL
PLAN APPROVED**

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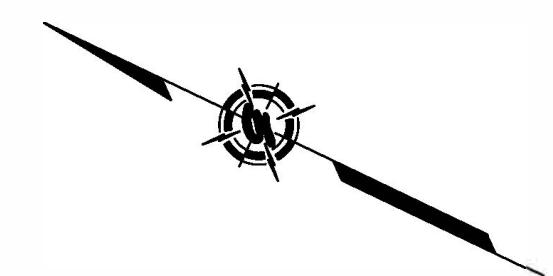
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SR2024-0004

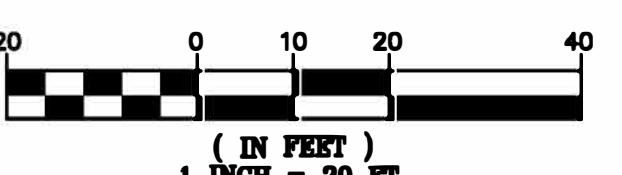
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Roshni Saxena
Assistant Planner

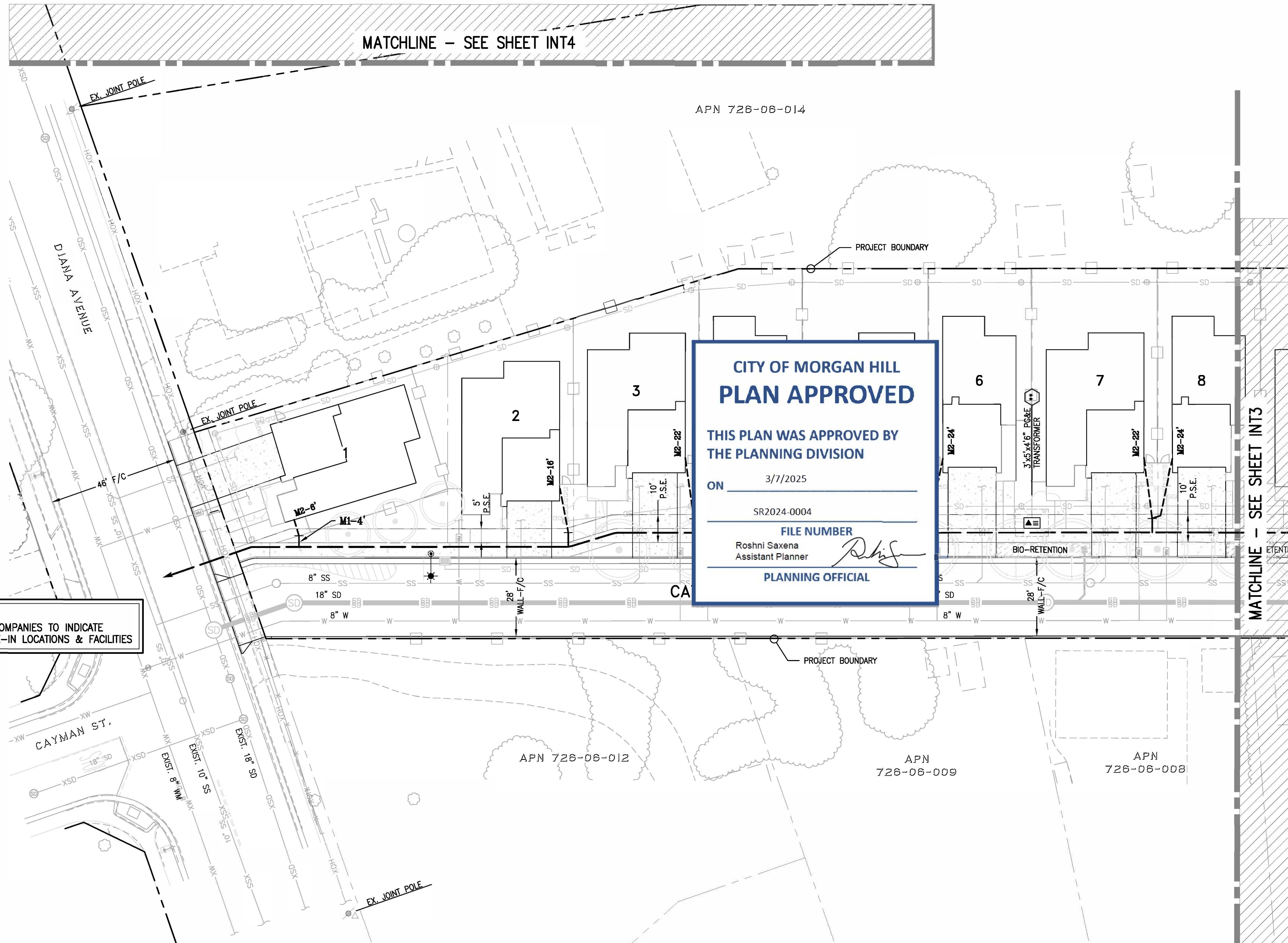
Roshni Saxena
PLANNING OFFICIAL



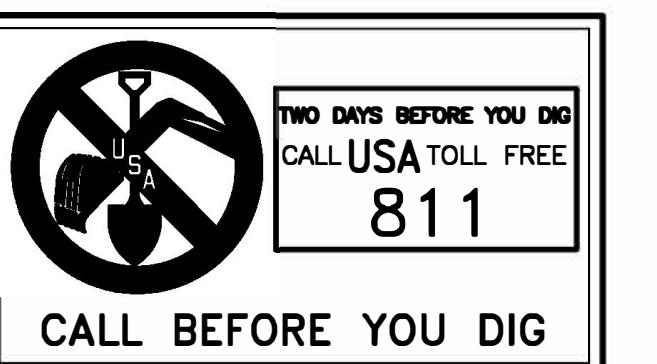
INDEX MAP



NOTE:
UTILITY COMPANIES TO INDICATE
THEIR TIE-IN LOCATIONS & FACILITIES



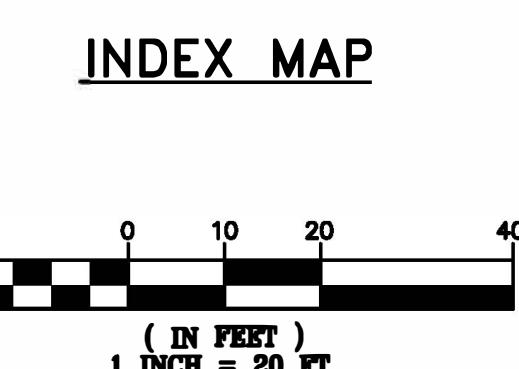
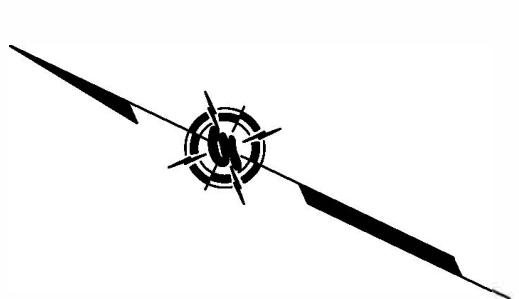
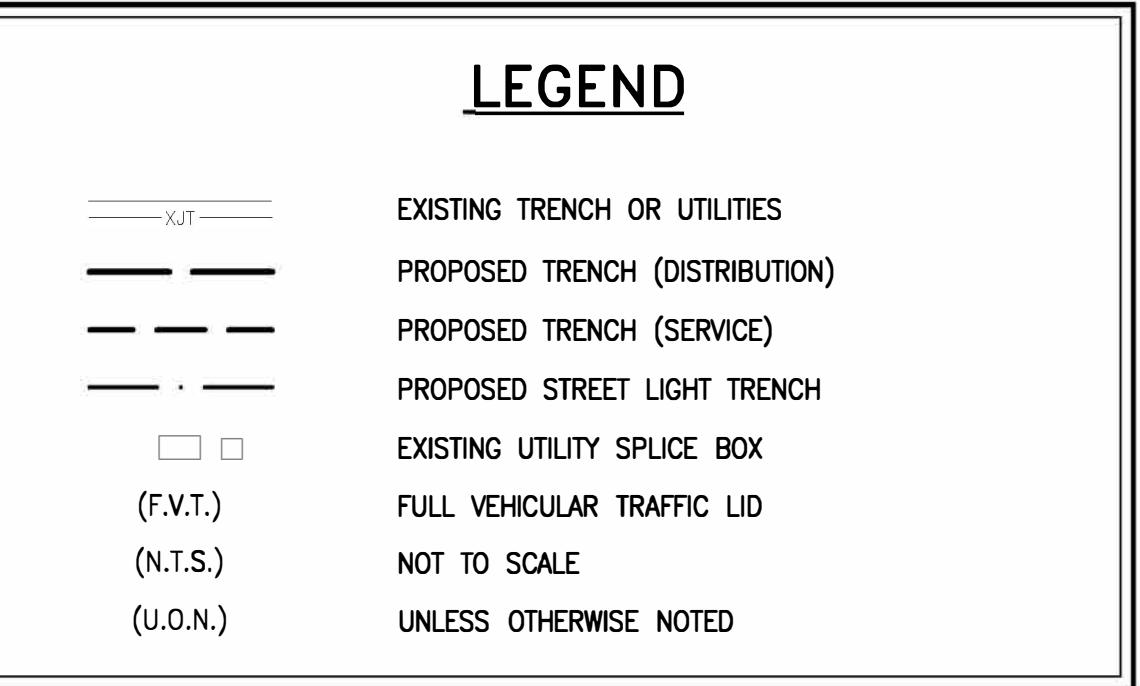
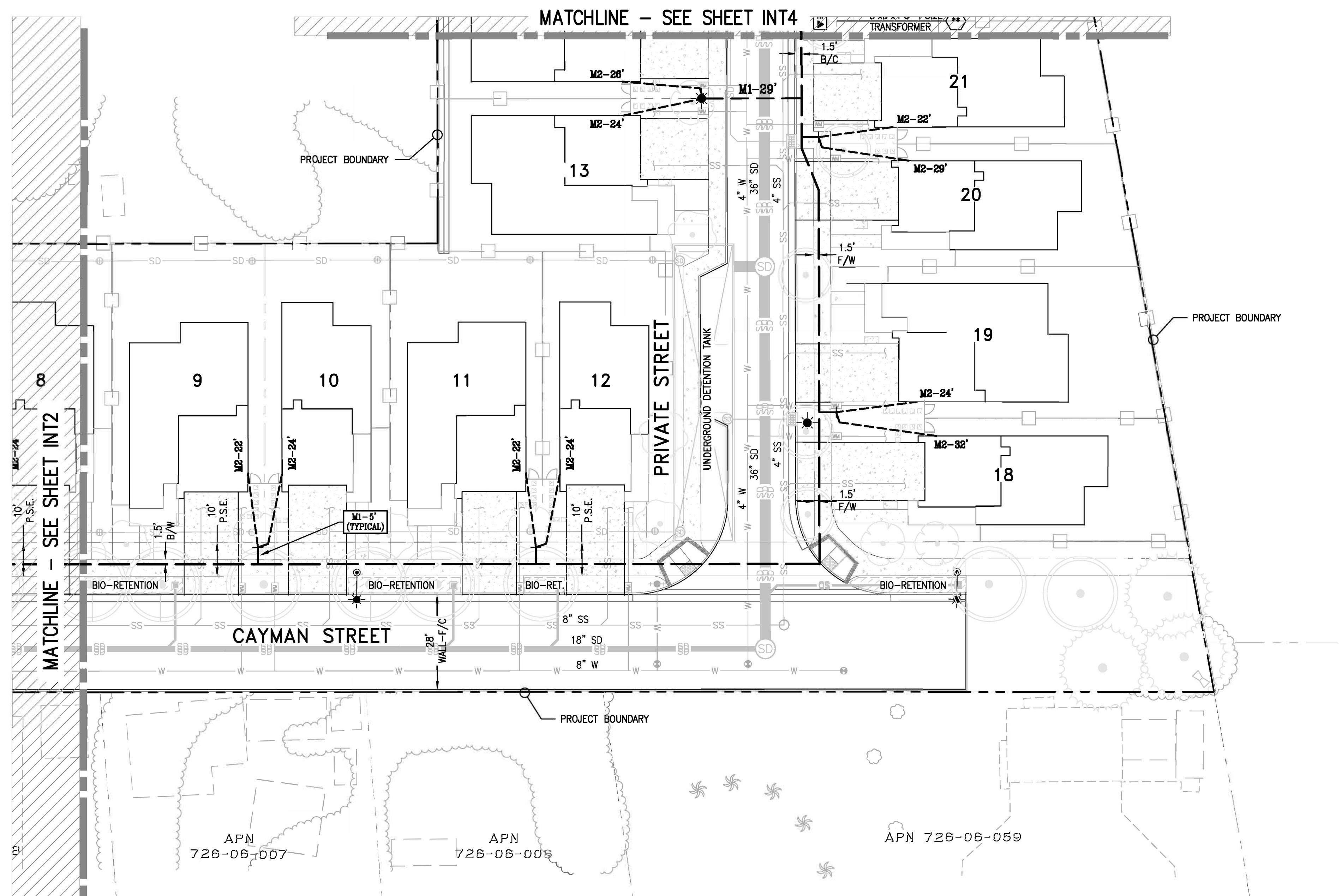
R/W, P.U.E. & P.S.E. ACQUISITION NOTE:
CONTRACTOR TO VERIFY RIGHT OF WAY, PUBLIC UTILITY EASEMENT
AND/OR PUBLIC SERVICE EASEMENT ACQUISITION WITH THE
APPLICANT PRIOR TO CONSTRUCTION WITHIN AREAS OF QUESTION.



PROJECT MANAGER: B. FULLINGTON
 DRAWN BY: M. MORFIN
 CHECKED BY: D. CROWFOOT, P.E.
 SCALE: 1=20'
 JOB NUMBER: 23-185
 DATE LAST MODIFIED: 07-01-24
 SHEET INT2
 OF 4 SHEETS

GIACALONE
 DESIGN SERVICES, INC.
 5620 STONEBRIDGE MALL RD., #345 | PLACENTIA, CA 92858
 800.467.1740 | WWW.GIACALONEDESIGN.COM

JOINT TRENCH INTENT
 DIVIDEND HOMES
 730 DIANA AVENUE
 MORGAN HILL
 CALIFORNIA

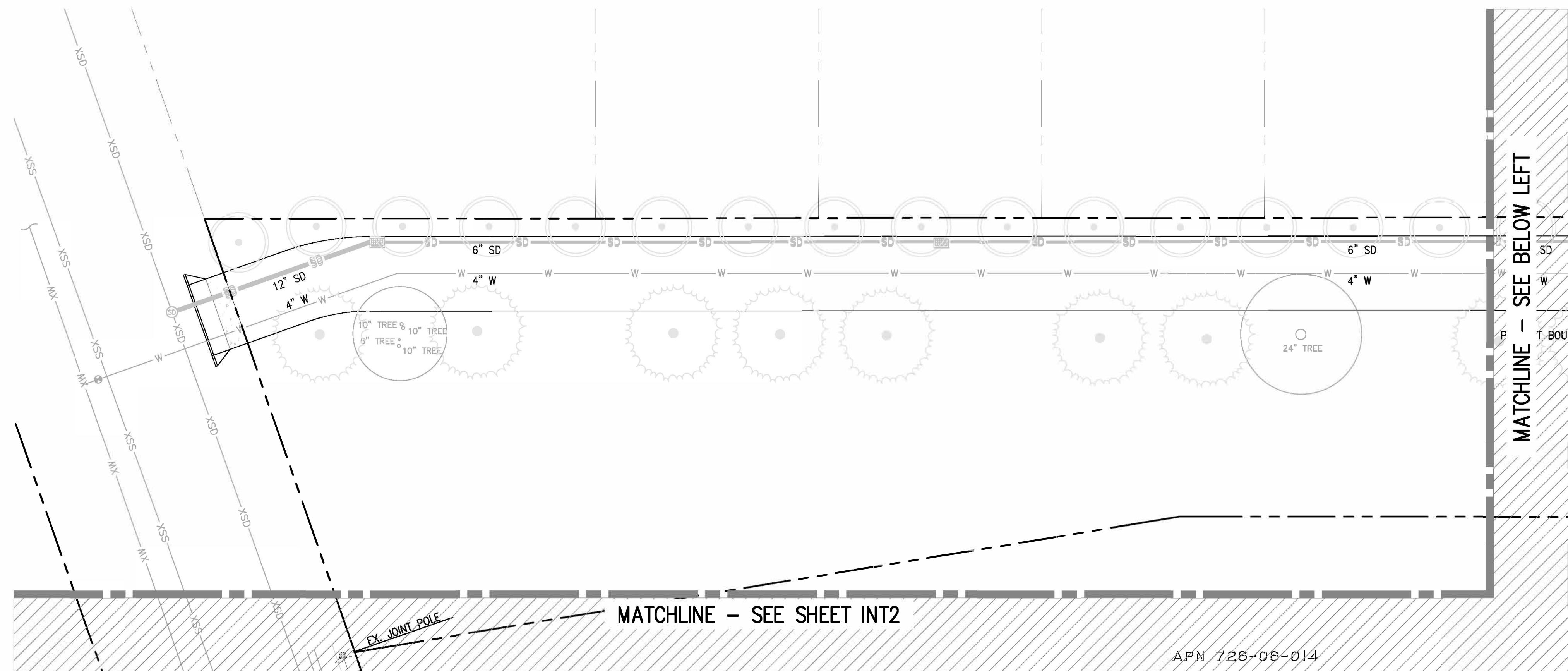


APPROVED	
REVISIONS	DESCRIPTION
SYMBOL	DATE
GIACALONE	
DESIGN SERVICES, INC.	
5620 STONEBRIDGE MALL RD., #345 PLEASANTON, CA 94568	
925.467.1740 WWW.GIACALONEDESIGN.COM	
JOINT TRENCH INTENT	
DIVIDEND HOMES	
730 DIANA AVENUE	
MORGAN HILL	
CALIFORNIA	
PROJECT MANAGER: B. FULLINGTON	
DRAWN BY: M. MORFIN	
CHECKED BY: D. CROWFOOT, P.E.	
SCALE: 1=20'	
JOB NUMBER: 23-185	
DATE LAST MODIFIED: 07-01-24	
INT3	
OF 4 SHEETS	

R/W, P.U.E. & P.S.E. ACQUISITION NOTE:
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TWO DAYS BEFORE YOU DIG
CALL USA TOLL FREE
811

CALL BEFORE YOU DIG



LEGEND

<u>LEGEND</u>	
— X —	EXISTING TRENCH OR UTILITIES
— — —	PROPOSED TRENCH (DISTRIBUTION)
— — — —	PROPOSED TRENCH (SERVICE)
— — · —	PROPOSED STREET LIGHT TRENCH
□ □	EXISTING UTILITY SPLICE BOX
(F.V.T.)	FULL VEHICULAR TRAFFIC LID
(N.T.S.)	NOT TO SCALE
(U.O.N.)	UNLESS OTHERWISE NOTED

CITY OF MORGAN HILL PLAN APPROVED

**THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION**

ON 3/7/2025

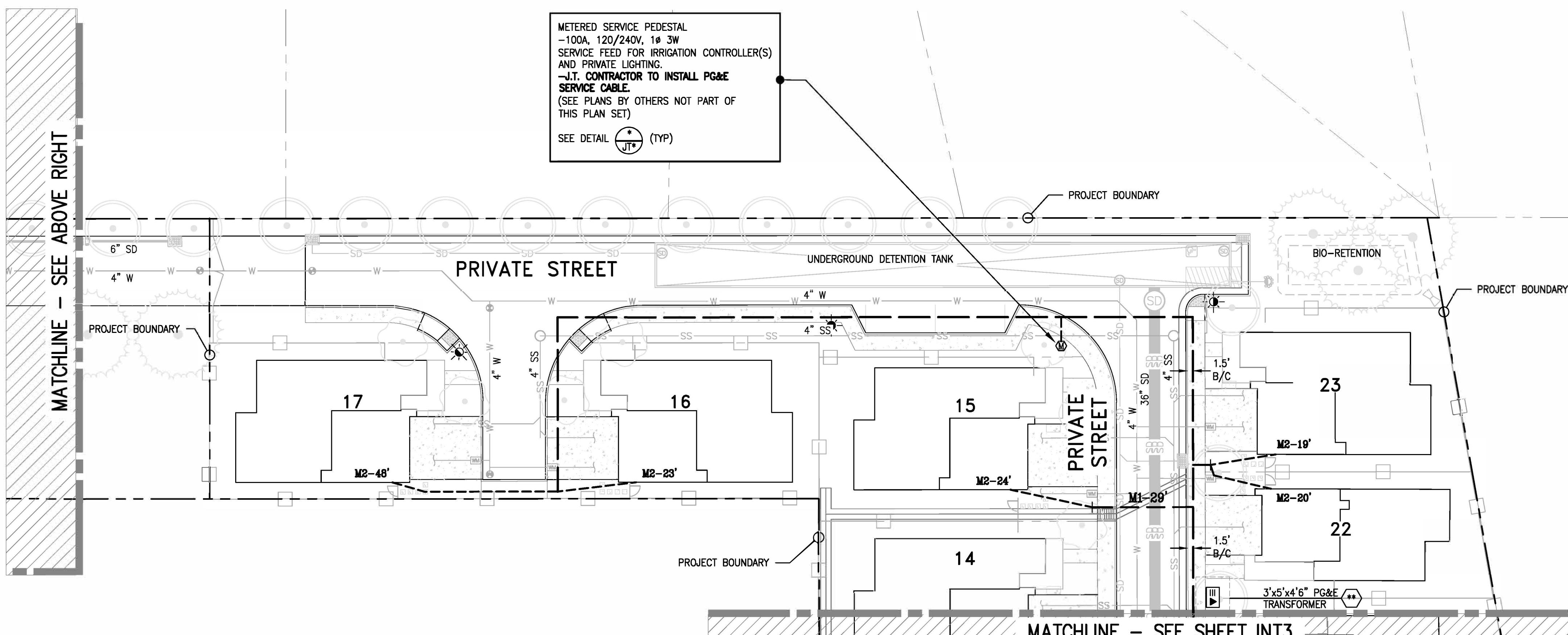
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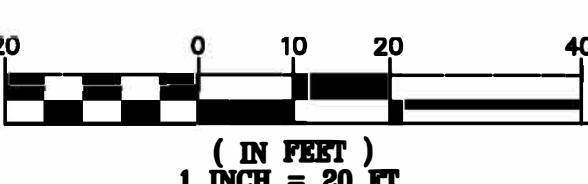
Roshni Saxena
Assistant Planner

PLANNING OFFICIAL

10 of 10 | Page | Page Number | Page Total | Page Content



DEX MAP



R/W, P.U.E. & P.S.E. ACQUISITION NOTE:

CONTRACTOR TO VERIFY RIGHT OF WAY, PUBLIC UTILITY EASEMENT AND/OR PUBLIC SERVICE EASEMENT ACQUISITION WITH THE APPLICANT PRIOR TO CONSTRUCTION WITHIN AREAS OF QUESTION.



PROJECT MANAGER:
B. FULLINGTON

DRAWN BY:
M. MORFIN

CHECKED BY:
D. CROWFOOT, P.E.

SCALE:
1"=20'

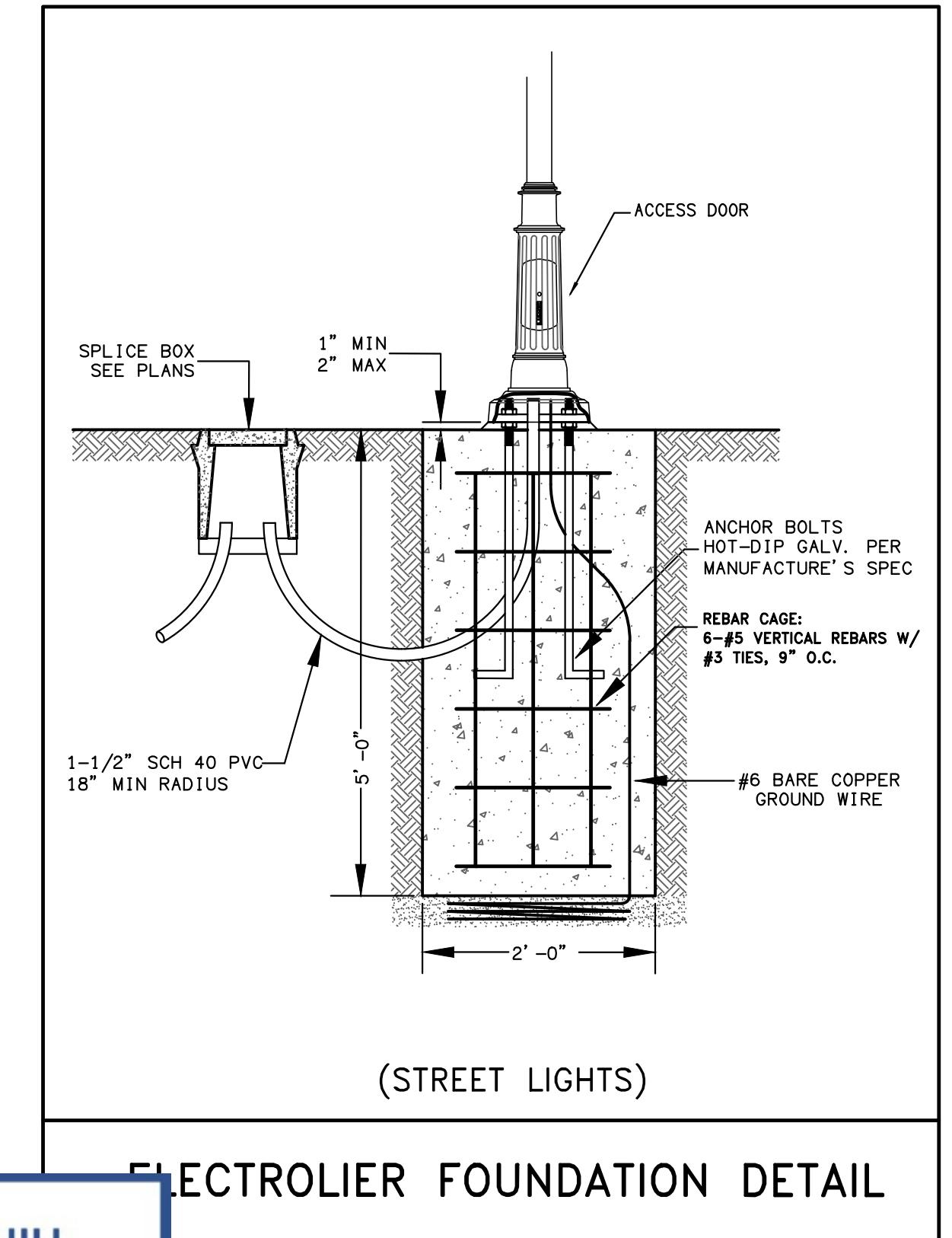
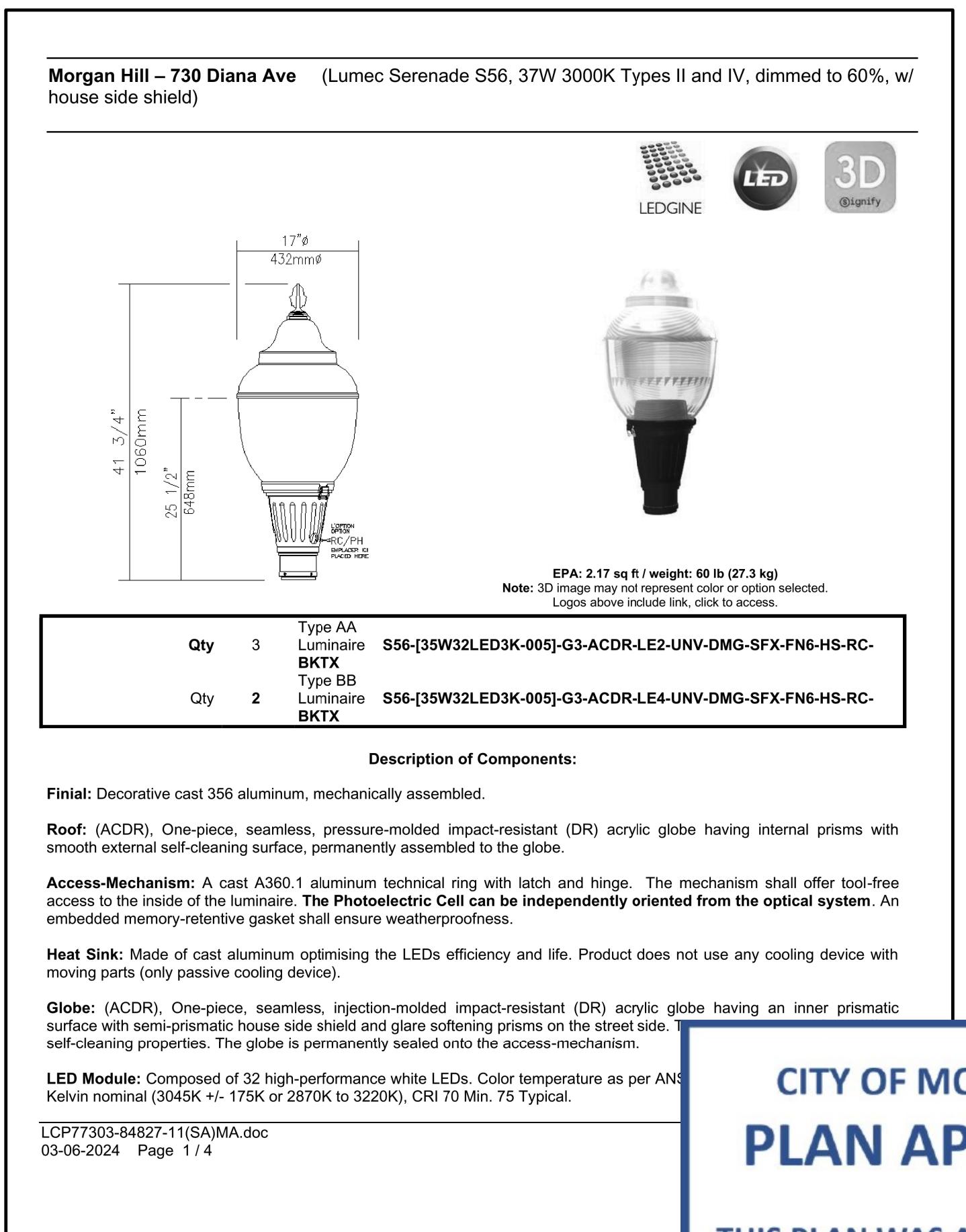
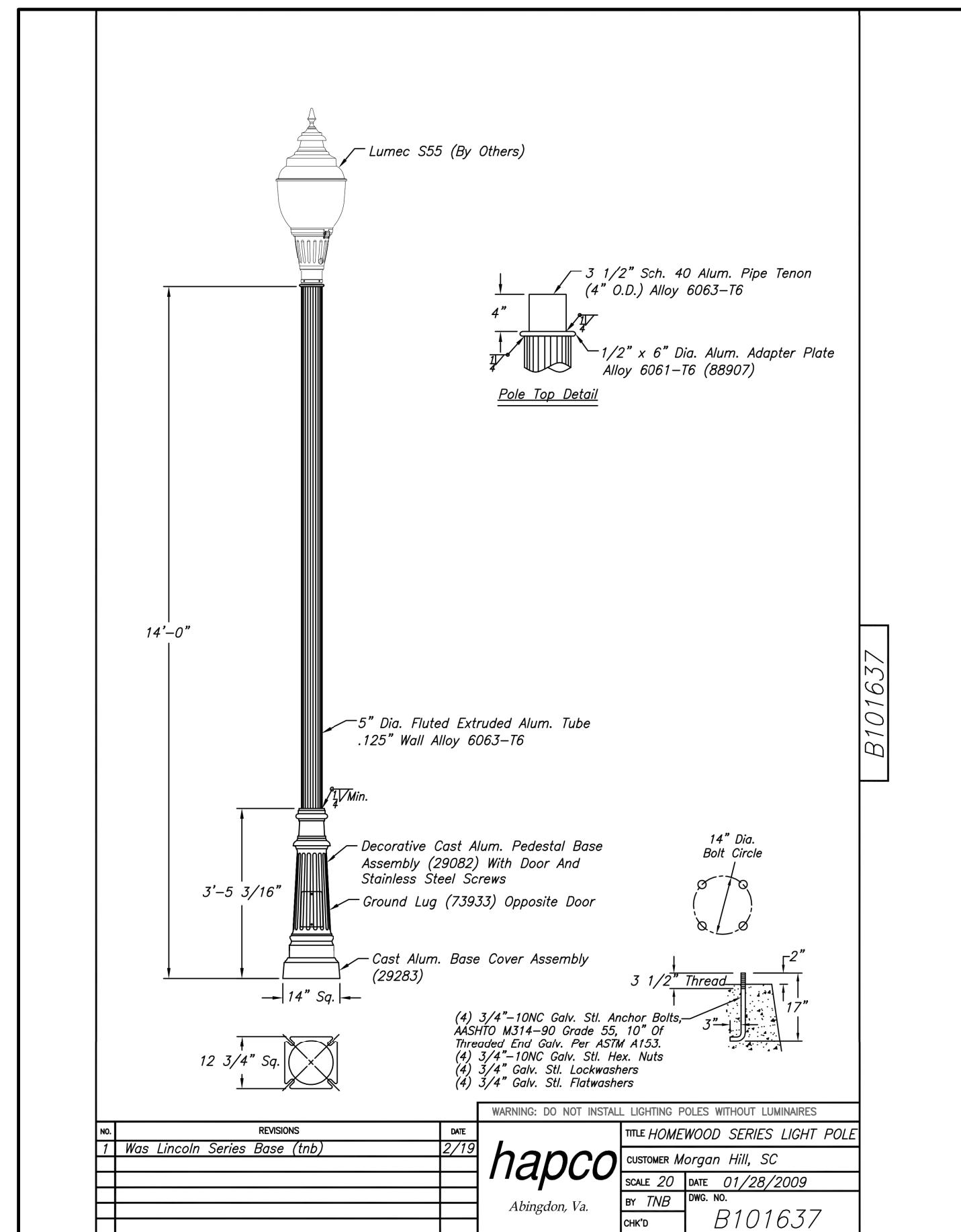
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23-185

DATE LAST MODIFIED:
07-01-24

INT 4

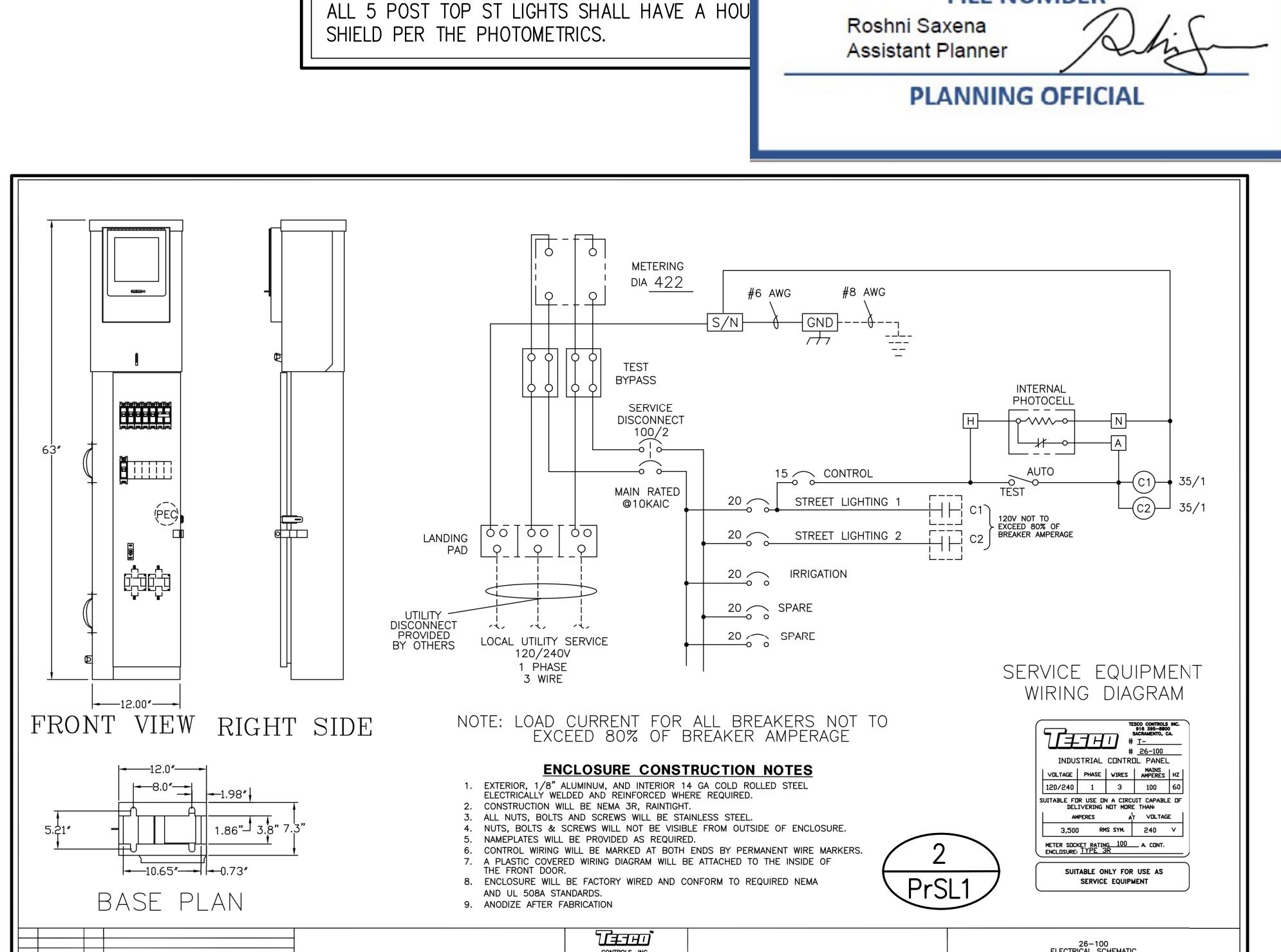
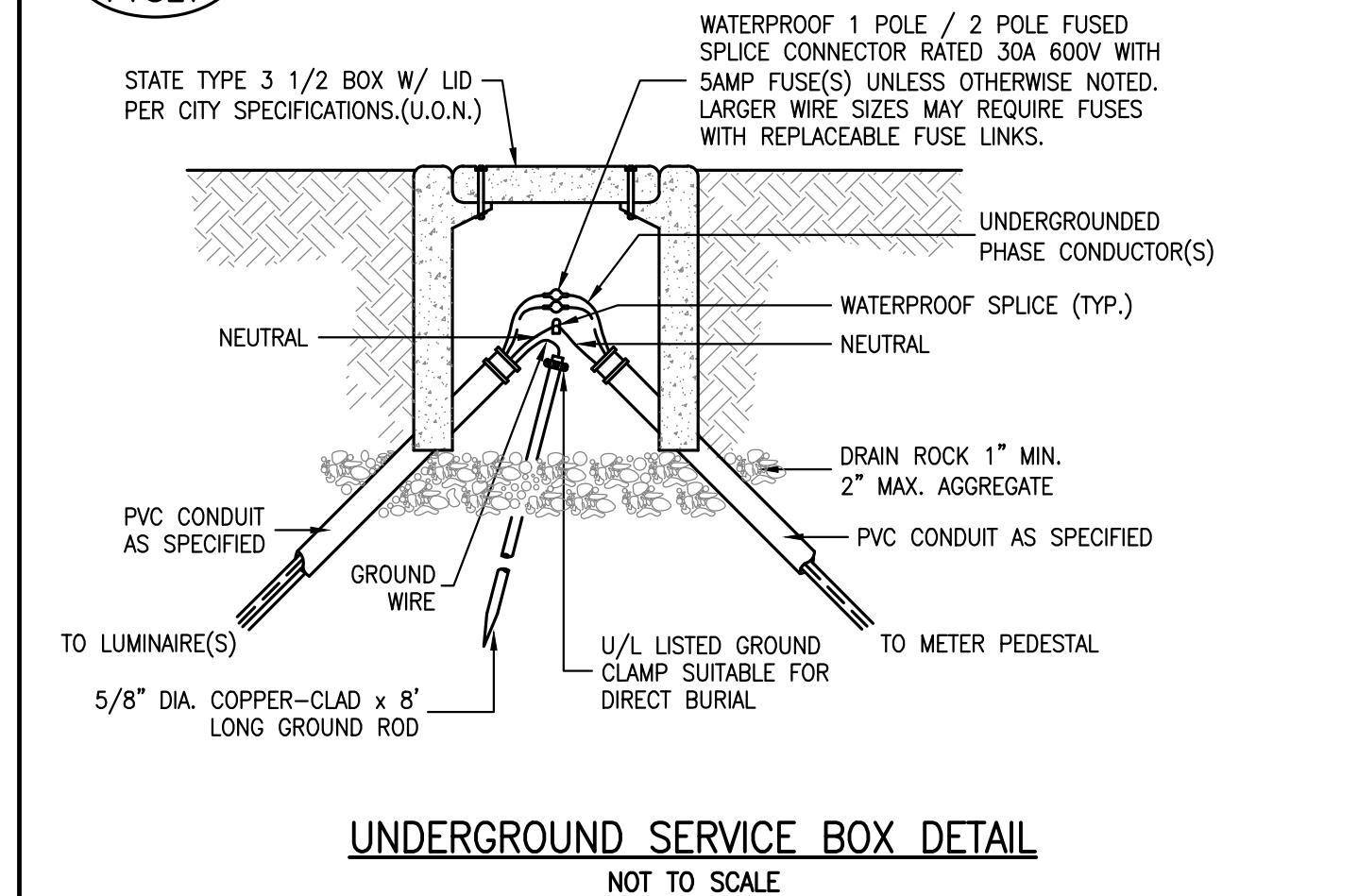
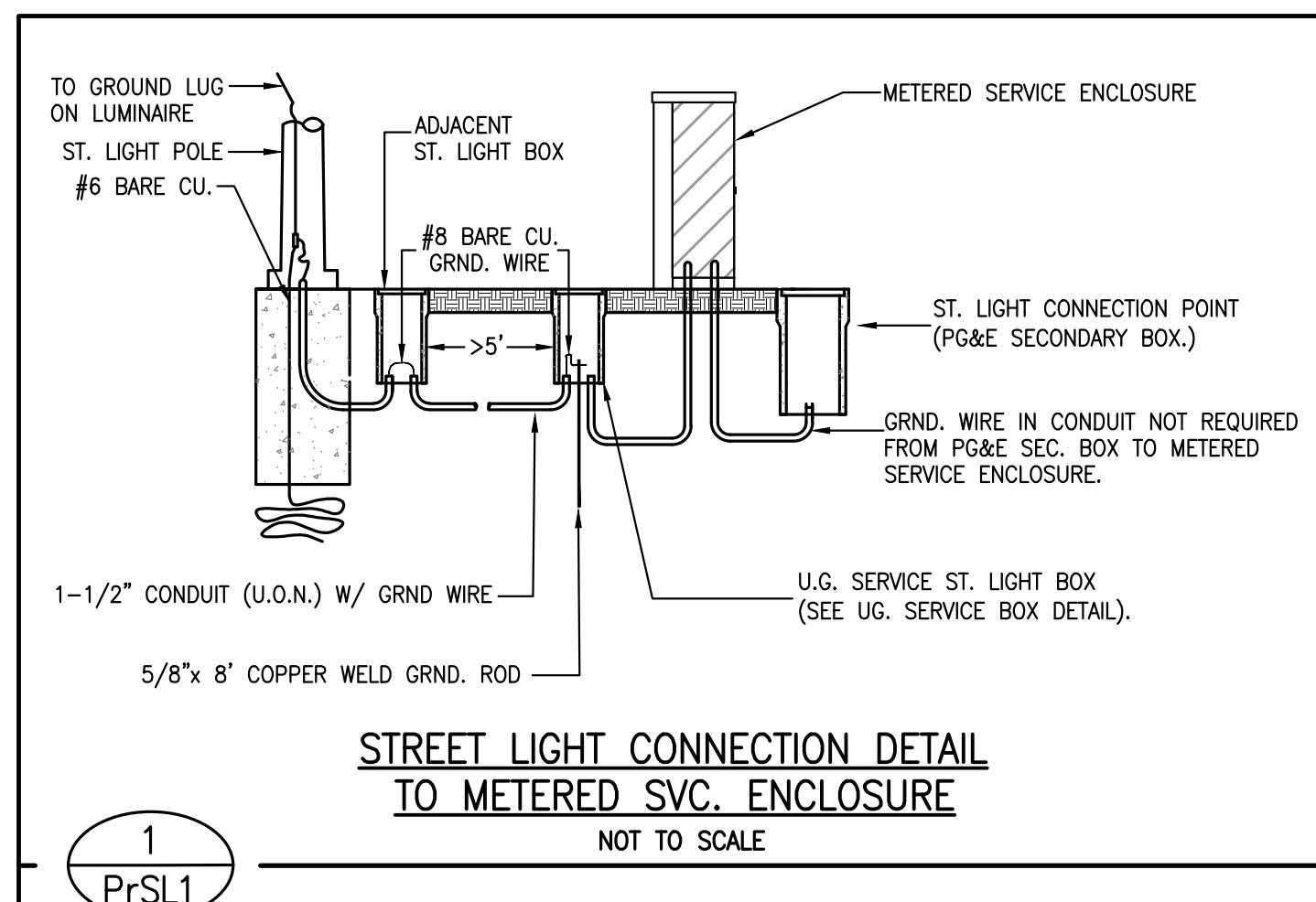
JOINT TRENCH INTENT
DIVIDEND HOMES
730 DIANA AVENUE
ILLINOIS
CALIFORNIA

BORELO PHASE 4 - PRIVATE STREET LIGHTING



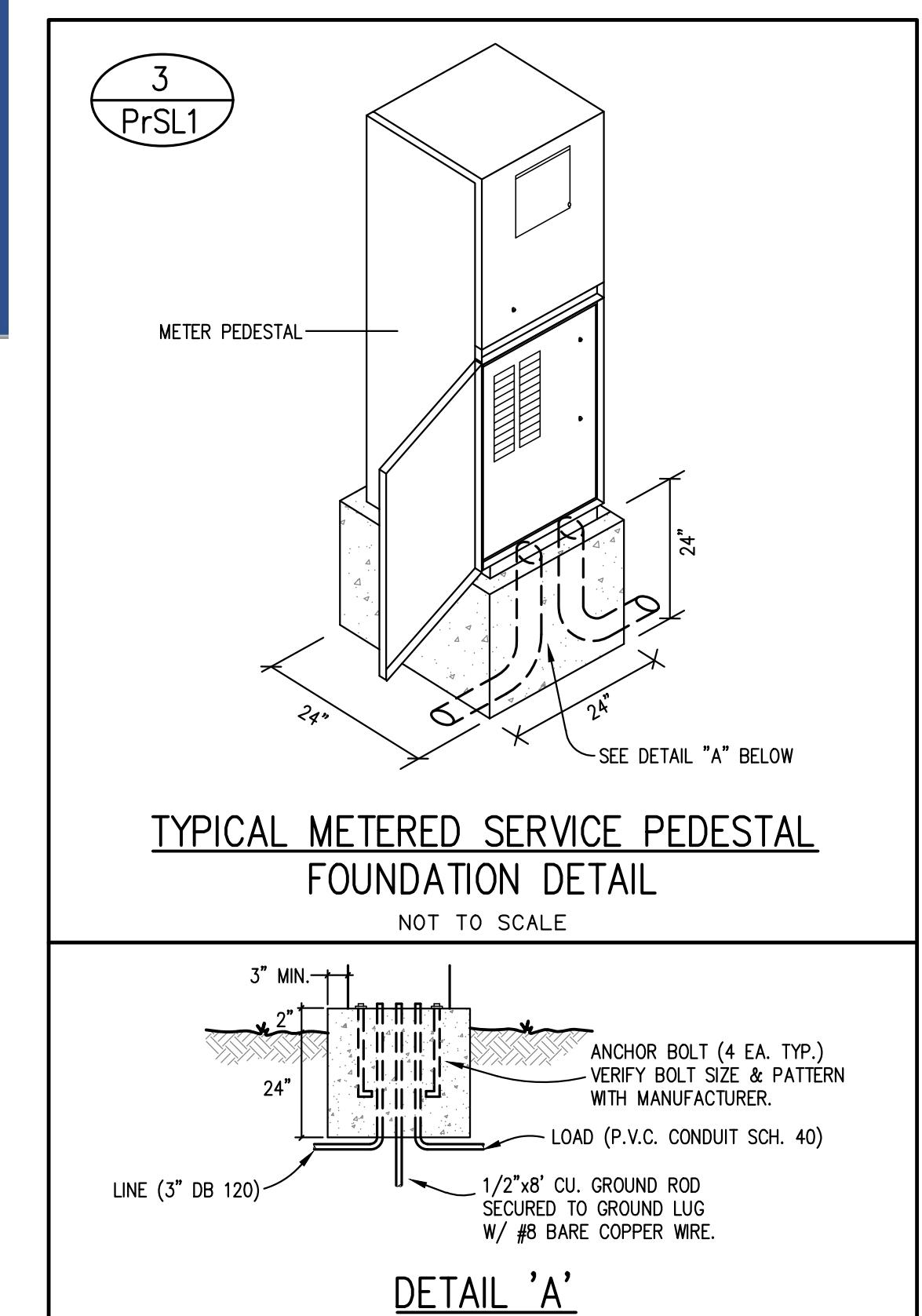
PRIVATE LIGHTING CONTRACTORS NOTES	
1. CONDUIT AND FITTINGS: ALL CONDUIT AND FITTINGS SHALL BE U.L. APPROVED, UNLESS OTHERWISE NOTED OR REQUIRED. SPOUTS PROVIDE PULL ROPE IN ALL EMPTY CONDUITS.	
2. CONDUIT DEPTH: 24" UNDER SIDEWALK; 24" UNDER PLANTER STRIP; 36" UNDER PAVEMENT.	
3. CABLE: CABLE SHALL BE U.L. LISTED, TYPE THW OR THWN WITH MINIMUM OF 3/64" (46 MIL) POLYVINYL CHLORIDE INSULATION, UNLESS OTHERWISE NOTED. U.L. LISTED 600 VOLT, NO. 10 IN POLE MAY BE USED.	
4. SPLICE BOXES: SPLICE BOXES SHALL NOT BE MORE THAN 200 FEET APART ON LONG RUNS. (PER CALTRANS DETAIL ES-8A).	
5. FUSES: EACH STREET LIGHT SHALL BE FUSED WITH WATERPROOF IN-LINE FUSE HOLDERS (BUSHMAN HEB SERIES) AT EACH ADJACENT SPLICE BOX WITH 5 AMP FUSE.	
6. SPLICING: ALL SPLICES SHALL BE MADE IN LIGHT BOXES ONLY. SPLICES SHALL BE IN ACCORDANCE WITH CALTRANS STANDARD METHOD 'B'. (PER CALTRANS DETAIL ES-13A).	

PRIVATE LIGHTING GENERAL NOTES	
1. ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE STATE FIRE MARSHALL, FEDERAL, AND ALL APPLICABLE CITY, COUNTY, STATE AND LOCAL UTILITY COMPANY REGULATIONS; N.E.C. AND THE LATEST APPROVED STANDARDS OF I.E.E.E., A.S.A., N.E.M.A., U.L. AND OSHA WHERE APPLICABLE. NOTHING IN THESE PLANS OR SPECIFICATIONS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE ABOVE. ALSO, ALL SECTIONS OF STATE OF CALIFORNIA PUC C.O. 95 SHALL APPLY.	
2. MATERIALS FURNISHED UNDER THIS SECTION OF THESE SPECIFICATIONS FOR WHICH U.L. STANDARDS HAVE BEEN ESTABLISHED SHALL BE LISTED AND BEAR THE LABEL OF UNDERWRITER'S LABORATORIES, INC.	
3. WHERE REQUIREMENTS OF APPLICABLE CODES AND STANDARDS CONFLICT WITH THE DRAWINGS OR THESE SPECIFICATIONS, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.	
4. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT FIRST NOTIFYING & OBTAINING APPROVAL FROM CITY/COUNTY AGENCY & GIACALONE DESIGN SERVICES, INC.	
5. CONTRACTOR TO INSTALL CIRCUIT GROUNDING AND GROUND WIRE IN CONDUIT PER N.E.C. STANDARDS AND LOCAL GOVERNING AGENCIES REQUIREMENTS.	
6. A LIST OF ALL MATERIALS & SUPPLIERS SHOULD BE PROVIDED TO AUTHORITY HAVING JURISDICTION FOR APPROVAL.	
7. GROUNDING & BONDING SHALL PROPERLY INTERCONNECT ALL METAL PARTS OF THE SYSTEM.	
8. ALL CONNECTIONS SHALL BE SECURED WITH LOCK NUTS AND INSULATED BUSHINGS.	
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING A COMPLETE OPERATING SYSTEM.	
10. GIACALONE DESIGN SERVICES, INC. ASSUMES NO RESPONSIBILITY FOR ANY VARIANCE BETWEEN THESE PLANS AND THE ACTUAL FIELD CONDITIONS. CONTRACTOR SHOULD REVIEW PROJECT SITE PRIOR TO SUBMITTING ITS BID.	
11. ANY CHANGES OR MODIFICATIONS TO PROPOSED LIGHT LOCATIONS SHALL BE APPROVED, IN WRITING, BY THE CITY/COUNTY AGENCY PRIOR TO INSTALLATION.	
12. AS-BUILT DRAWINGS SHALL BE SUBMITTED TO THE STREET LIGHT ADMINISTRATION DEPT. OF THE CITY/COUNTY PRIOR TO ACCEPTANCE OF THE PRIVATE LIGHTING SYSTEM.	

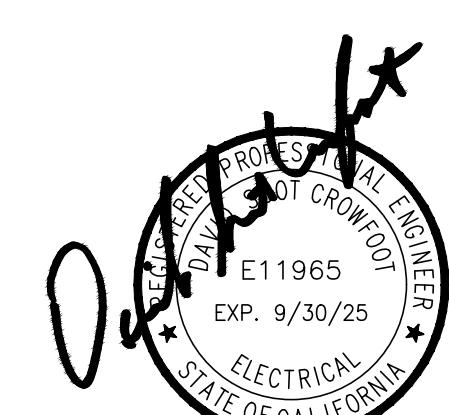
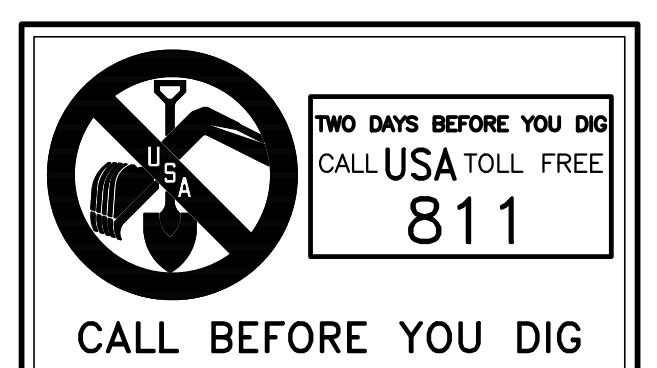


PUBLIC/PRIVATE LIGHTING: <input type="checkbox"/> PRIVATE
PC&E RATE SCHEDULE: <input type="checkbox"/> METERED
INSTALL IN JOINT TRENCH: <input type="checkbox"/>
INSTALL IN SEPARATE TRENCH: <input checked="" type="checkbox"/>
CITY PERMIT REQUIRED: <input checked="" type="checkbox"/>

LUMINAIRE SCHEDULE							
TYPE	LUMINAIRE	DIST.	MTG. HT.	ARM	POLE HT.	COLOR	MATERIAL
"AA" <input checked="" type="checkbox"/>	DECORATIVE POST TOP	37W, 32LED, 120V	TYPE LE2	16'-1"	-	14'-0"	BKTX ALUMINUM
"BB" <input checked="" type="checkbox"/>	DECORATIVE POST TOP	37W, 32LED, 120V	TYPE LE4	16'-1"	-	14'-0"	BKTX ALUMINUM



CAUTION:
CONTACT U.S.A. (811) (2) FULL WORKING DAYS PRIOR TO STARTING WORK IF EXISTING UTILITIES CONFLICT WITH POLE LOCATION, FIELD ADJUST TO CLEAR EXISTING UTILITIES A MINIMUM OF 3'-0".



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DESIGN SERVICES, INC.
5620 STONEBRIDGE MALL RD., #345 | PLEASANTON, CA 94588
925.467.1740 | WWW.GIACALONEDESIGN.COM

PRIVATE STREET LIGHTING TITLE SHEET
TOLL BROTHERS, INC.
BORELO PHASE 4
MORGAN HILL

PROJECT MANAGER: B. FULLINGTON
DRAWN BY: H. GALLARDO
CHECKED BY: CCP
SCALE: NONE
JOB NUMBER: 23-185
DATE LAST MODIFIED: 07-01-234
SHEET
PrSL1
OF 2 SHEETS

APPROVED

REVISIONS

SYMBOL DATE

**CITY OF MORGAN HILL
PLAN APPROVED**

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

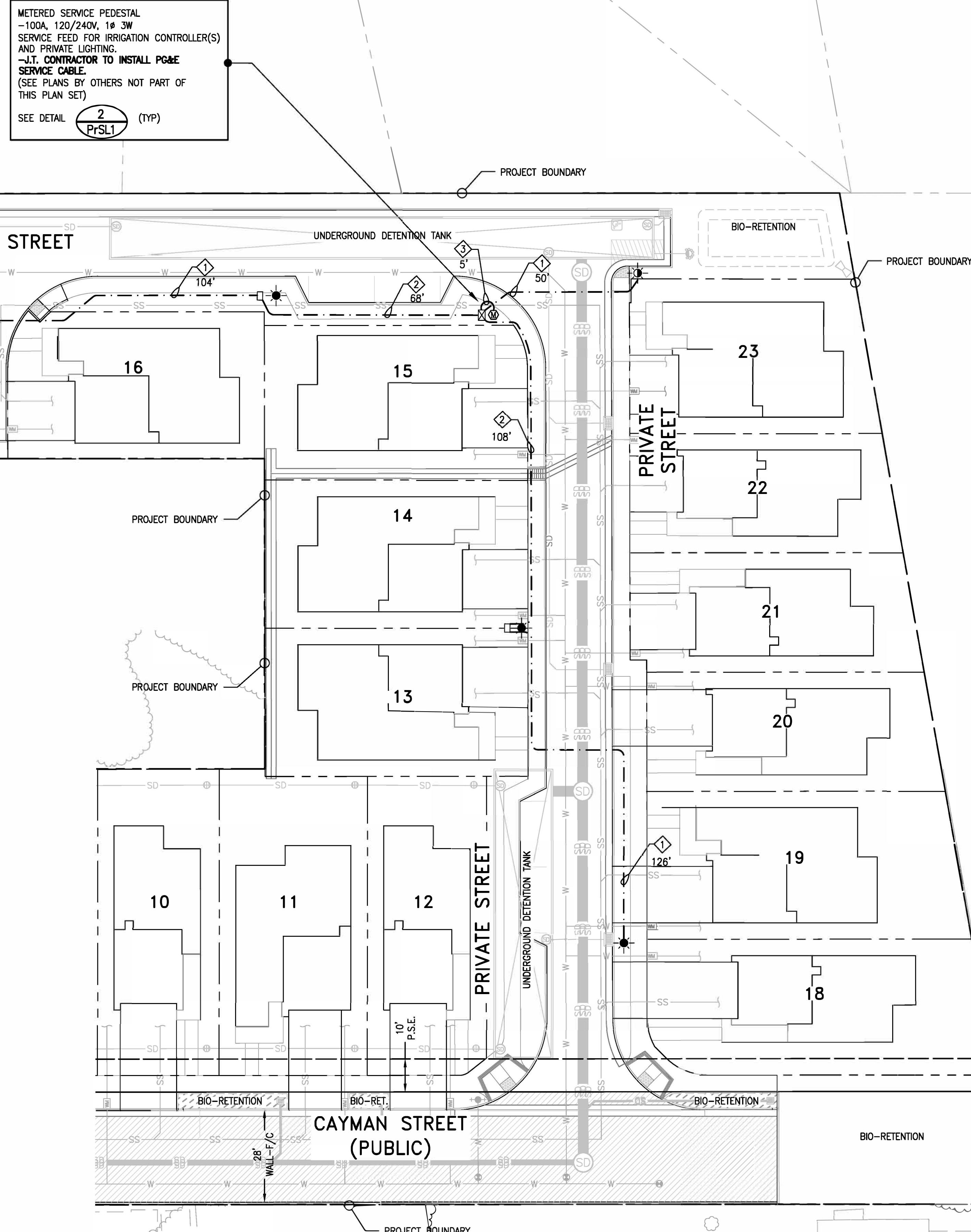
ON 3/7/2025

SR2024-0004

FILE NUMBER

Roshni Saxena
Assistant Planner

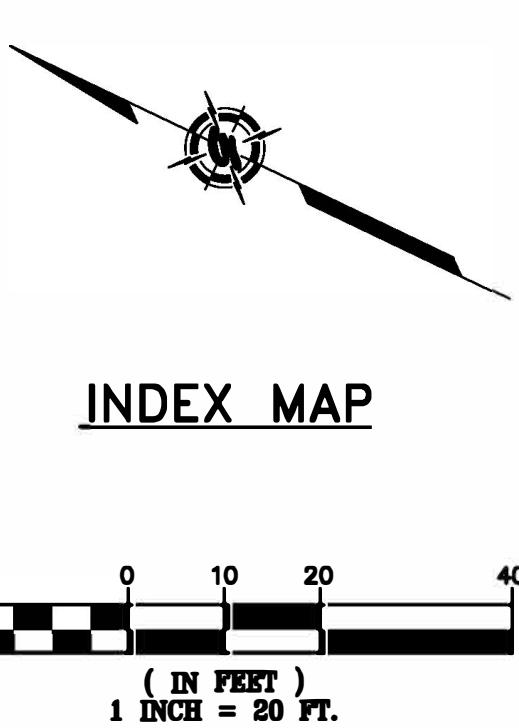
PLANNING OFFICIAL



LEGEND

- EXISTING TRENCH OR UTILITIES
- PROPOSED 1 1/2" SCH. 40 PVC CONDUIT
- PROPOSED POST TOP STREET LIGHT (37W)
- PROPOSED POST TOP STREET LIGHT (37W)
- STREET LIGHT BOX (STATE TYPE 3 1/2)
- STREET LIGHT BOX (STATE TYPE 5)
- METERED SERVICE PEDESTAL

AWG OR CABLE	RUN NUMBER	NUMBER OF CONDUCTORS		
		1	2	3
#4				
#6	GND	2	4	4
#8	GND			
#10	IRRIG.			2
#10	GND	1	1	
#12 IRRIG.	GND			1
	CONDUIT SIZE	1 1/2"	1 1/2"	1 1/2"



CAUTION:
CONTACT U.S.A. (811) (2) FULL WORKING DAYS PRIOR
TO STARTING WORK IF EXISTING UTILITIES CONFLICT WITH
POLE LOCATION, FIELD ADJUST TO CLEAR EXISTING
UTILITIES A MINIMUM OF 3'-0".

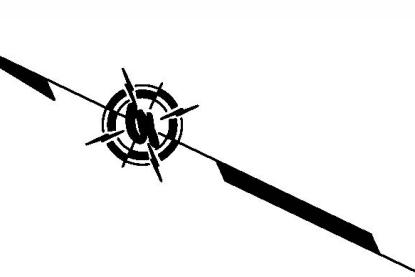
NOTE:
CONDUIT SHOWN SCHEMATICALLY. REFER TO JOINT TRENCH
COMPOSITE PLAN FOR EXACT TRENCH AND BOX LOCATIONS.



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DESIGN SERVICES, INC.
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PRIVATE STREET LIGHTING SITE PLAN
DIVIDEND HOMES
730 DIANA AVENUE
MORGAN HILL
CALIFORNIA

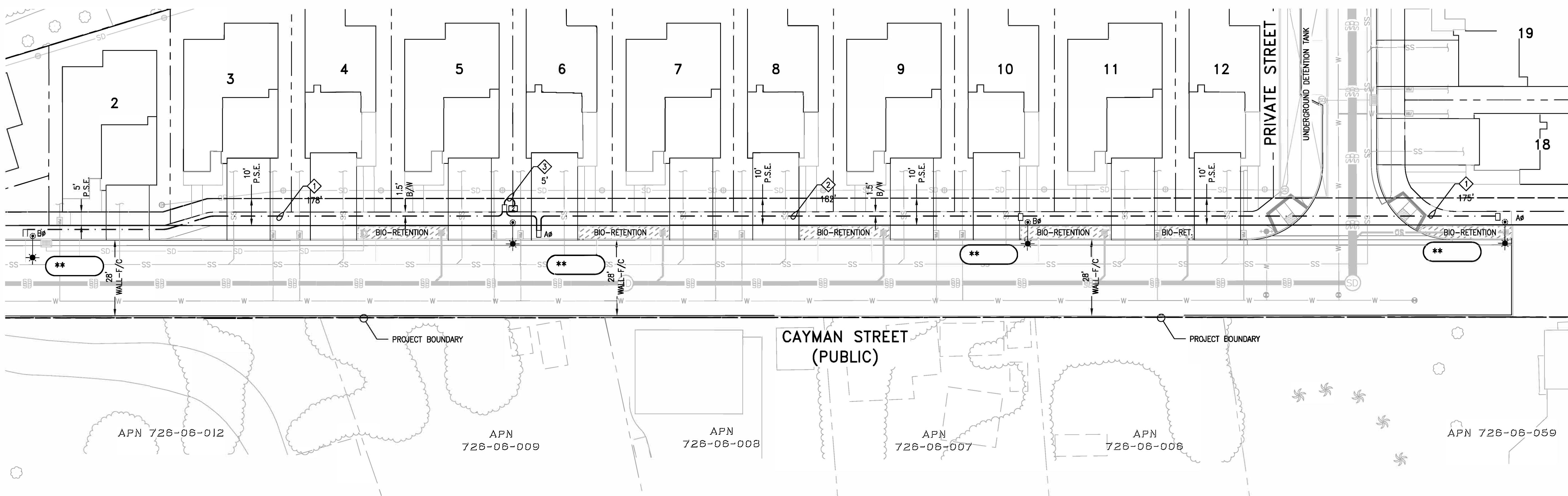
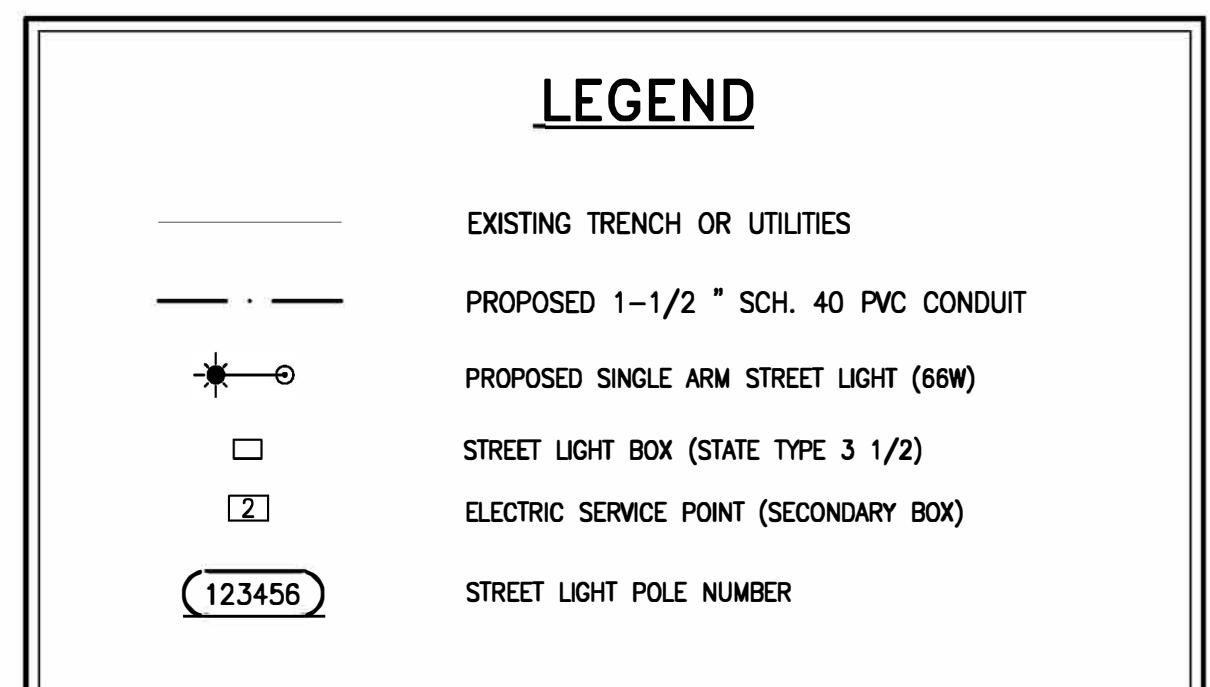
PROJECT MANAGER:
B. FULLINGTON
DRAWN BY:
H. GALLARDO
CHECKED BY:
CCP
SCALE:
1=20'
JOB NUMBER:
23-185
DATE LAST MODIFIED:
07-01-24
SHEET
PrSL2
OF 2 SHEETS



INDEX MAP

20 0 10 20 40
(IN FEET)
1 INCH = 20 FT.

AWG OR CABLE	RUN NUMBER		
	NUMBER OF CONDUCTORS		
	④	④	③
#4			
#6	GND		
#8	GND	2 4	4
#10	GND	1	1
#12	GND		
	CONDUIT SIZE	1½"	1½"
		1½"	1½"



**CITY OF MORGAN HILL
PLAN APPROVED**

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

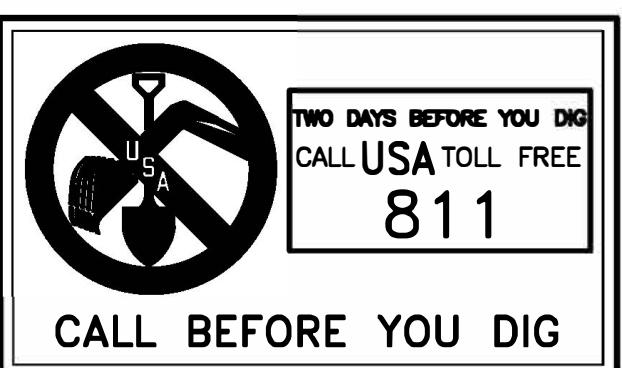
ON 3/7/2025

SR2024-0004

FILE NUMBER
Roshni Saxena
Assistant Planner
PLANNING OFFICIAL


CAUTION:
CONTACT U.S.A. (811) (2) FULL WORKING DAYS PRIOR
TO STARTING WORK IF EXISTING UTILITIES CONFLICT WITH
POLE LOCATION, FIELD ADJUST TO CLEAR EXISTING
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NOTE:
CONDUIT SHOWN SCHEMATICALLY. REFER TO JOINT TRENCH
COMPOSITE PLAN FOR EXACT TRENCH AND BOX LOCATIONS.

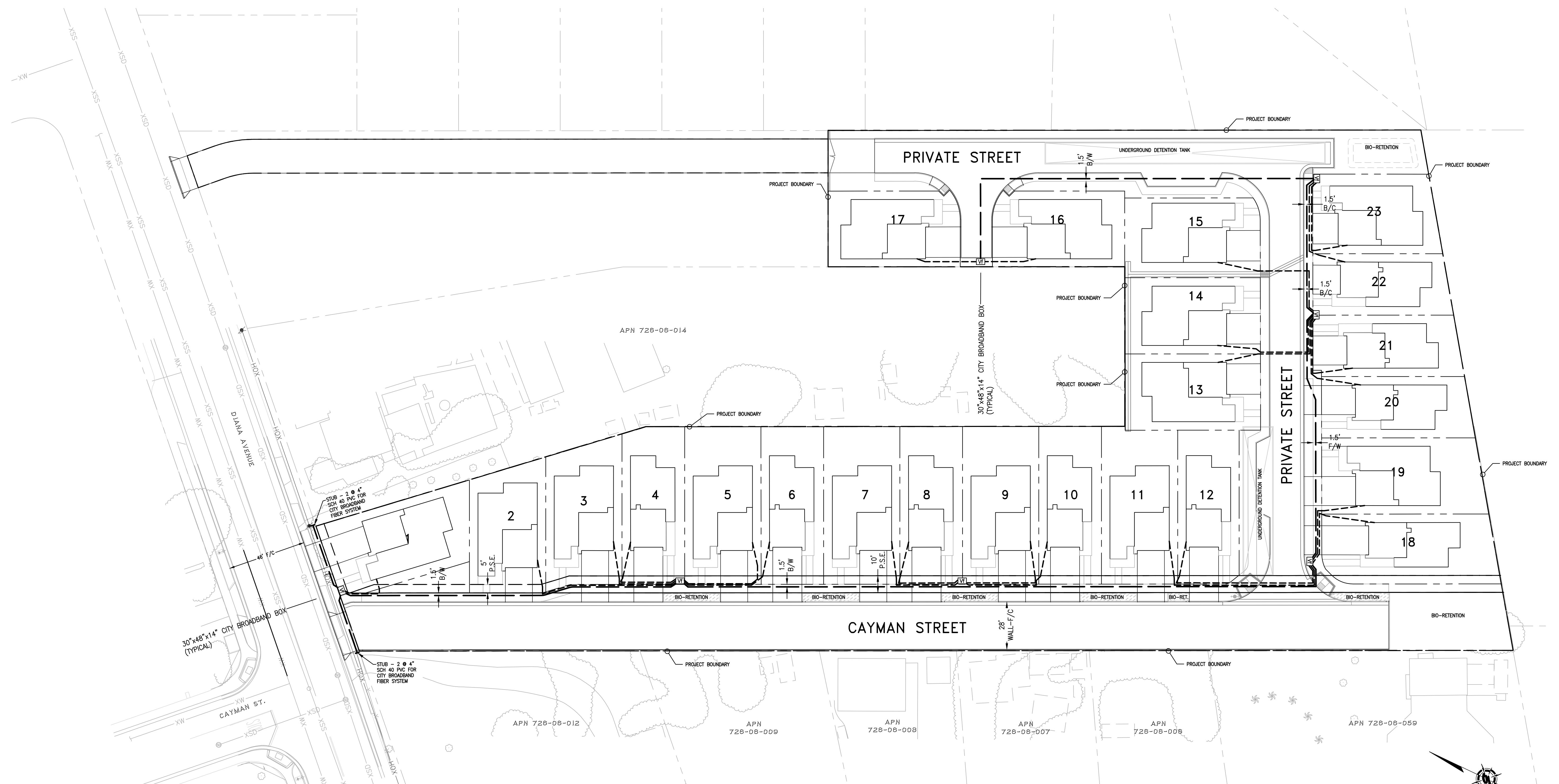


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928-467-1740 | www.giacalone.com

PUBLIC STREET LIGHTING SITE PLAN
DIVIDEND HOMES
730 DIANA AVENUE
MORGAN HILL
CALIFORNIA

PROJECT MANAGER:
B. FULLINGTON
DRAWN BY:
H. GALLARDO
CHECKED BY:
CCP
SCALE:
1=20'
JOB NUMBER:
23-185
DATE LAST MODIFIED:
07-01-24
SHEET
PuSL2
OF 2 SHEETS

CITY BROADBAND FIBER EXHIBIT- THIS IS A
SCHEMATIC DRAWING. ALL CITY BROADBAND CONDUITS
WILL BE INSTALLED IN THE JOINT TRENCH



**CITY OF MORGAN HILL
PLAN APPROVED**

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 3/7/2025

SR2024-0004

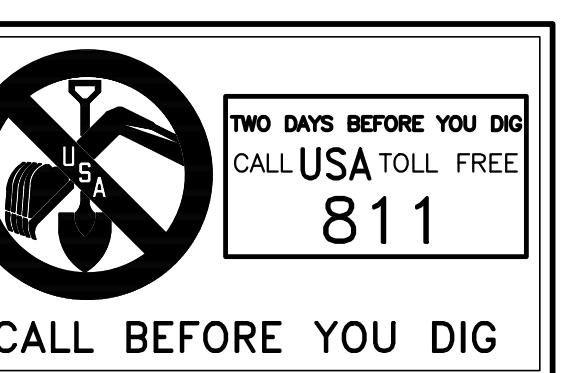
FILE NUMBER
Roshni Saxena
Assistant Planner

PLANNING OFFICIAL

LEGEND

- XJ EXISTING TRENCH OR UTILITIES
- 2 @ 4" SCH. 40 PVC CONDUIT (CITY BROADBAND DISTRIBUTION CONDUIT)
- - - 1 @ 2" SCH. 40 PVC CONDUIT (CITY BROADBAND SERVICE CONDUIT)
- □ EXISTING UTILITY SPLICE BOX
- VF PROPOSED STREET LIGHT
- EXISTING UTILITY POLE
- EXISTING UTILITY POLE GUY ANCHOR
- 30" x 48" x 14" CITY BROADBAND BOX (NO. 8 PULLBOX)

R/W, P.U.E. & P.S.E. ACQUISITION NOTE:
CONTRACTOR TO VERIFY RIGHT OF WAY, PUBLIC UTILITY EASEMENT
AND/OR PUBLIC SERVICE EASEMENT ACQUISITION WITH THE
APPLICANT PRIOR TO CONSTRUCTION WITHIN AREAS OF QUESTION.



INDEX MAP
30 0 15 30 60
(IN FEET)
1 INCH = 30 FT.

PROJECT MANAGER:
B. FULLINGTON
DRAWN BY:
B. FULLINGTON
CHECKED BY:
D. CROWFOOT, P.E.
SCALE:
1'=30'
JOB NUMBER:
23-185
DATE LAST MODIFIED:
07-01-24
SHEET

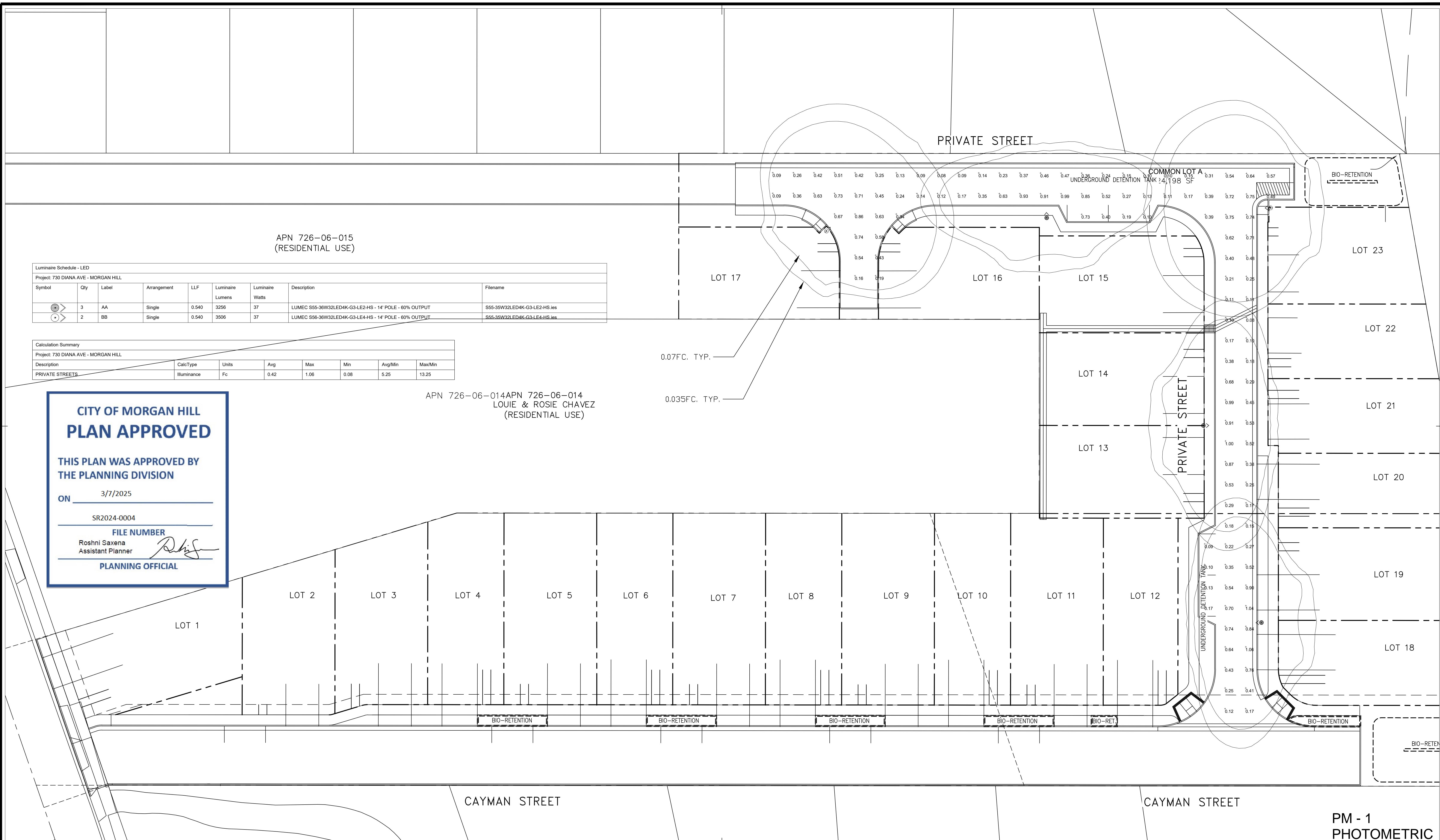
EXH

CITY BROADBAND FIBER EXHIBIT
DIVIDEND HOMES
730 DIANA AVENUE

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CALIFORNIA
MORGAN HILL

APPROVED



ALL VALUES SHOWN ARE MAINTAINED HORIZONTAL FOOTCANDLES AT GRADE

PHOTOMETRIC DATA USED AS INPUT FOR THESE CALCULATIONS IS BASED ON ESTABLISHED IES PROCEDURES AND PUBLISHED LAMP, RATINGS, FIELD PERFORMANCE WILL DEPEND ON ACTUAL LAMP, BALLAST, ELECTRICAL, AND SITE CHARACTERISTICS.

Calculations have been performed according to IES standards and good practice. Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature variation. Input data used to generate these calculations includes building dimensions, reflectances, furniture and architectural elements. These elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.



PROJECT DESCRIPTION
730 DIANA AVE
CITY OF MORGAN HILL

DRAWING NO. / INPUT FILE
22639REY.DWG / 22639REY.A32

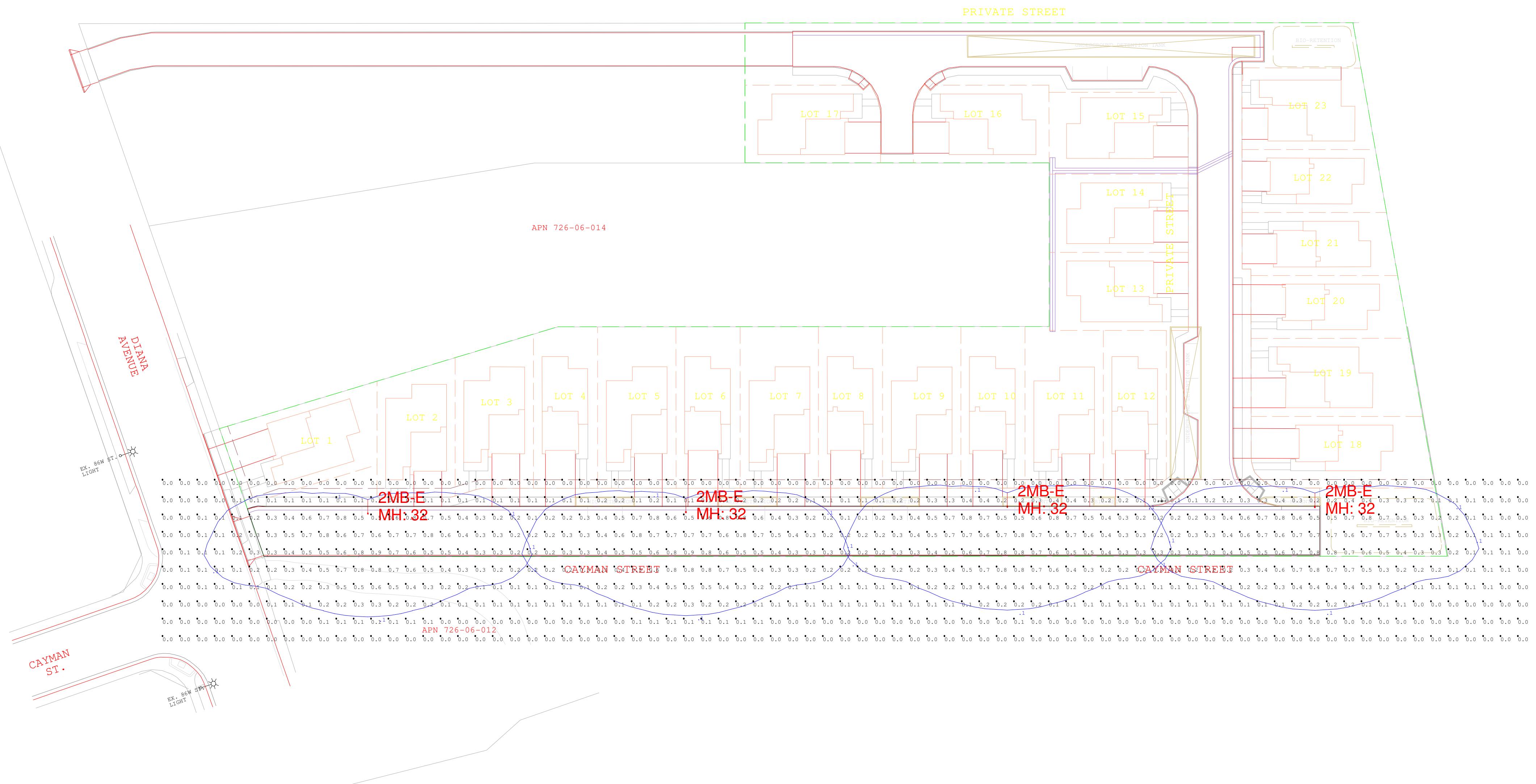
SCALE 1" = 20'
SHEET 1 OF 1
DATE 02.14.2024
REV X

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts
→	4	2MB-E	SINGLE	1.000	4579	66
						STR-LWY-2MB-HT-04-E-UL-525-40K-R-UTL

Calculation Summary (Footcandles calculated using LMF: 1.00)						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Fc	0.22	0.9	0.0	N.A.	N.A.
Cayman Street	Fc	0.48	0.9	0.1	4.80	9.00

NOTE: POLES AND 8' DAVIT ARMS BY OTHERS

*** CUSTOMER TO VERIFY ORDERING INFORMATION AND CATALOGUE NUMBER PRIOR TO PLACING ORDER ***



PM - 2
PHOTOMETRIC CONTINUED