

GENERAL NOTES

1. THESE GENERAL NOTES SHALL APPLY TO ALL WORK AND ALL DRAWINGS IN THIS SET AND SHALL EXTEND TO ANY CHANGES, EXTRAS, OR ADDITIONS AGREED TO DURING THE COURSE OF THE WORK.
2. BIDDERS ARE INSTRUCTED TO VISIT AND INSPECT PREMISES PRIOR TO SUBMITTING THEIR PROPOSALS AND TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS UNDER WHICH THE WORK WILL BE PERFORMED. NO SUBSEQUENT EXTRAS OR ADDITIONS WILL BE ALLOWED ON ANY CLAIM OF LACK OF KNOWLEDGE OF CONDITIONS OR CIRCUMSTANCES ABOUT WHICH THE BIDDER COULD HAVE INFORMED HIMSELF. APPOINTMENTS SHALL BE ARRANGED THROUGH THE OWNER'S REPRESENTATIVE.
3. BIDDERS SHALL MAKE KNOWN TO THE DESIGNER ANY LIMITATIONS, EXCLUSIONS, OR MODIFICATIONS TO THE PROJECT DURING BIDDING PHASE OF THE PROJECT. UNLESS NOTED THEY WILL BE PRESUMED INCLUDED BY THE OWNER.
4. THE PROJECT OWNER SHALL PAY ALL FEES AND SECURE ALL REQUIRED PERMITS FOR THE WORK INDICATED IN THESE DRAWINGS.
5. CONTRACTORS SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE PREMISES ON WHICH THE WORK IS PERFORMED AND FOR SAFETY OF ALL PERSONS AND PROPERTY ON THE SITE DURING PERFORMANCE OF THE CONTRACT. THESE REQUIREMENTS SHALL NOT BE LIMITED TO NORMAL WORKING HOURS, BUT SHALL APPLY CONTINUOUSLY.
6. THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERM "OR APPROVED EQUAL" IS USED, THE DESIGNER SHALL DETERMINE THE EQUALITY BASED UPON THE INFORMATION SUBMITTED BY THE CONTRACTOR FROM THE MANUFACTURER.
7. CONTRACTORS SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND VERIFY ALL GOVERNING DIMENSIONS AT THE BUILDING PRIOR TO THE COMMENCEMENT OF WORK. THEY SHALL EXAMINE ALL ADJOINING WORK OR AREAS UPON WHICH THE PERFORMANCE OF HIS WORK IS IN ANY WAY DEPENDENT. ANY VARIATIONS OR DISCREPANCIES SHALL BE REPORTED WITH ALL DUE EXPEDIENCY TO THE DESIGNER PRIOR TO THE FABRICATION OR ERECTION OF THE WORK IN QUESTION.
8. CONTRACTORS SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER THEIR JURISDICTION. AFTER EXECUTION OF THE CONSTRUCTION CONTRACT, THE AWARDED CONTRACTORS WILL RECEIVE THE COMPLETE SET OF DOCUMENTS AS "ISSUED FOR CONSTRUCTION."
9. ANY INFORMATION REQUIRED BY THE CONTRACTORS THAT IS NOT SHOWN ON THE DRAWINGS OR OTHER CONTRACT DOCUMENTS SHALL BE REQUESTED BY THE GENERAL CONTRACTOR FROM THE DESIGNER PRIOR TO BID OR COMMENCING ANY WORK.
10. NO PORTION OF WORK REQUIRING A SHOP DRAWING OR SAMPLE REVIEW SHALL BE COMMENCED UNTIL THE SUBMITTAL HAS BEEN APPROVED BY THE DESIGNER.
11. SHOULD THE CONTRACTORS BY THEIR OWN FAULT FAIL TO ADHERE TO THE CONSTRUCTION SCHEDULE, HE SHALL, AT THE DISCRETION OF THE OWNER, PERFORM WORK ON PREMIUM TIME TO CONFORM WITH THE SCHEDULE. ANY EXPENSES ATTRIBUTED TO SUCH WORK SHALL BE BORNE BY THAT CONTRACTOR.
12. CONTRACTORS SHALL SUPPLY PRIOR TO COMMENCING WORK A LIST OF ALL SUB CONTRACTORS TO THE DESIGNER. THE NAME OF THE PRINCIPLE CONTACT, THE ADDRESS AND THE PHONE NUMBER OF EACH SUB CONTRACTOR SHALL BE INCLUDED IN THE LIST.
13. CONTRACTORS SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE CITY AS TO THE HOURS OF AVAILABILITY, AND ALSO TO THE MANNER OF HANDLING MATERIALS, EQUIPMENT, AND DEBRIS TO AVOID CONFLICT AND INTERFERENCE WITH NORMAL OPERATIONS.
14. ALL DIMENSIONS SHOWN ARE TAKEN TO FACE OF FINISH. U.O.N.
15. A WEEKLY REPORT FORM, SIGNED BY THE CONTRACTOR'S SUPERINTENDENT, SHALL BE COMPLETED AND DELIVERED TO THE ARCHITECT AS REQUIRED BY THE OWNER. THIS REPORT SHALL INDICATE WORK IN PROGRESS AND ANY ITEMS TO BE RESOLVED.
16. CONTRACTORS SHALL BE ANSWERABLE TO THE OWNER'S REPRESENTATIVE FOR HIS WORK AND SHALL NOT ACCEPT INSTRUCTION FROM OTHER PERSONNEL WITHOUT VERIFICATION FROM THE DESIGNER. CONTRACTOR WILL BE LIABLE FOR ANY EXPENSE CAUSED BY THE EXECUTION OF WORK WITHOUT SUCH VERIFICATION AND FOR THE EXPENSES CAUSED BY ITS REMOVAL OR CORRECTION.
17. A REPRESENTATIVE OF THE GENERAL CONTRACTOR AUTHORIZED TO DISCUSS THE WORK AND RECEIVE INSTRUCTIONS FROM THE DESIGNER SHALL BE AVAILABLE AT ALL TIMES WHILE THE WORK IS IN PROGRESS.
18. GREAT CARE SHALL BE EXERCISED TO ASSURE THAT THE BUILDING SHALL BE PROTECTED FROM DAMAGE THAT COULD OCCUR BECAUSE OF THIS WORK AND CONTRACTORS SHALL PROVIDE PROTECTION FOR EXISTING AREAS AND NEW WORK AREAS. ANY DAMAGES DUE TO THIS WORK OR ACCIDENTS SHALL BE REPAIRED, REPLACED OR PATCHED AT THE DISCRETION OF THE OWNER. CONTRACTORS SHALL BEAR FINANCIAL RESPONSIBILITY FOR SUCH DAMAGE AND ANY WORK UNDERTAKEN TO CORRECT IT.
19. THE CONTRACTOR SHALL EXERCISE GREAT CARE IN PROTECTING ALL MATERIALS EXISTING ON THE JOB FROM DAMAGE AND SHALL MAINTAIN PROTECTION FOR ALL TRAFFIC AREAS OF THE BUILDING TO BE USED DURING EXECUTION OF WORK RELATING TO THIS CONTRACT WITH THE UNDERSTANDING THAT THE CONTRACTOR WILL RECTIFY ANY DAMAGE ATTRIBUTABLE TO HIS OPERATIONS.
20. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL WOODWORK, DOORS AND FRAMES AND SUCH WORK AS MAY BE SPECIFICALLY REQUESTED IN THE CONTRACT DOCUMENTS TO THE DESIGNER FOR WRITTEN APPROVAL. SHOP DRAWINGS SHALL SHOW ALL DIMENSIONS AND CONDITIONS. WHEN THE DESIGNER REQUIRES A REVISION AND RESUBMITTAL OF THE SHOP DRAWINGS SUCH RESUBMITTALS SHALL OCCUR WITHIN ONE (1) WEEK OF NOTIFICATION OF SUCH REQUIREMENT.
21. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXTENT, NATURE AND SCOPE OF WORK DESCRIBED IN THE CONTRACT DOCUMENTS AND WILL COORDINATE WITH THE DESIGNER OR THE OWNER'S REPRESENTATIVE THE INTERFACING OF THE OWNER'S WORK WITH THAT INDICATED IN THE CONTRACT DOCUMENTS. THE GENERAL CONTRACTOR IS TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO EXECUTE ALL WORK AS SHOWN ON THESE DRAWINGS WITH THE EXCEPTION OF THOSE ITEMS NOTED AS SEPARATE CONTRACTS OR N.I.C. HE SHALL BE RESPONSIBLE FOR COORDINATING THIS WORK WITH THAT OF ALL OTHER TRADES, INCLUDING THOSE OPERATING UNDER SEPARATE CONTRACT WITH THE OWNER.
22. ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN AND IN ACCORDANCE WITH THE HIGHEST STANDARD OF QUALITY AND THE BEST PRACTICES OF THE TRADES INVOLVED. CARE SHALL BE TAKEN TO ENSURE COMPLIANCE WITH BUILDING REGULATIONS AND/OR GOVERNMENTAL LAWS, STATUTES OR ORDINANCES CONCERNING THE USE OF LABOR.
23. ALL MATERIALS SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT UNLESS OTHERWISE NOTED.
24. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE AND IN PROPER ALIGNMENT.
25. MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS UNLESS OTHERWISE NOTED.
26. WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL CONSTRUCTION SAFETY AND SANITARY LAWS, CODES, STATUTES AND ORDINANCES. ANY DISCREPANCIES, VARIATIONS OR OMISSIONS IN THE CONTRACT DOCUMENTS SHALL BE REPORTED PROMPTLY TO THE DESIGNER.
27. TIME IS OF THE ESSENCE AND THE CONTRACTORS SHALL KEEP SUFFICIENT WORKMEN ON THE JOB SITE AT ALL TIMES TO PERFORM THE WORK IN THE MOST EXPEDITIOUS MANNER CONSISTENT WITH GOOD WORKMANSHIP, SOUND BUSINESS PRACTICE, AND THE BEST INTERESTS OF THE OWNER.
28. IT IS EXPECTED THAT SUFFICIENT LABOR WILL BE PROVIDED SO THAT ACTIVITY FOR ANY GIVEN TRADE WILL NOT BE LIMITED TO ONLY ONE PART OF THE TOTAL WORK AREA.
29. EACH TRADE WILL BE EXPECTED TO PROCEED IN A FASHION THAT WILL NOT DELAY OR DETAIN THE TRADE FOLLOWING THEM.
30. ALL WORK SHALL BE COMPLETED FOR THE AGREED CONTRACT PRICE WITHOUT RECOURSE TO LABOR STOPPAGES OR REVISIONS OF GOVERNING REGULATIONS, LAWS, AND CODES ABOUT WHICH THE CONTRACTOR COULD HAVE REASONABLY BEEN EXPECTED TO HAVE ANY FOREWARNING AND TO HAVE MADE APPROPRIATE CONTINGENCY PLANS PRIOR TO SIGNING OF THE CONTRACT.
31. THE CONTRACTOR SHALL NOT PROCEED WITH ANY ADDITIONAL WORK OR CHANGES FOR WHICH HE EXPECTS ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER. FAILURE TO OBTAIN SUCH AUTHORIZATION SHALL INVALIDATE ANY CLAIM FOR SUCH EXTRA COMPENSATION.
32. DO NOT SCALE DRAWINGS; DIMENSIONS SHALL GOVERN. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS. LARGE SCALE DETAILS SHALL GOVERN OVER SMALL SCALE DETAILS. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO COMMENCING WORK.
33. CUTTING, CHASING, DRILLING, OR DEMOLITION OF WALLS, SLABS, ETC. REQUIRING THE USE OF JACK HAMMERS OR OTHER HEAVY HAND OR POWER TOOLS SHALL BE PERFORMED PER CITY REQUIREMENTS.
34. ALL INSTALLED PLUMBING, MECHANICAL, AND ELECTRICAL EQUIPMENT SHALL OPERATE AS QUIETLY AND AS FREE OF VIBRATIONS AS POSSIBLE.
35. ALL WORK AND MATERIALS SHALL BE GUARANTEED AGAINST DEFECTS IN DESIGN, WORKMANSHIP, AND MATERIALS FOR A PERIOD OF AT LEAST ONE (1) YEAR FROM APPROVAL FOR FINAL PAYMENT.
36. CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE OF ACCUMULATIONS OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS OPERATIONS OR OPERATIONS OF SEPARATE CONTRACTORS. CONTRACTOR SHALL CONFINE HIS OPERATIONS FOR REMOVAL TO SUCH METHODS AS MAY BE AGREEABLE TO THE OWNER. THE PROJECT SHALL BE LEFT CLEAN AND CLEAR TO THE SATISFACTION OF THE OWNER AND THE DISPOSITION TO ALL SALVAGED MATERIALS IS TO BE CLEARED WITH THE OWNER PRIOR TO REMOVAL. PREMISES TO BE SWEEP CLEAN OF RELATED CONSTRUCTION DEBRIS DAILY.
37. UPON COMPLETION OF THE WORK THE CONTRACTOR SHALL NOTIFY THE OWNER WHICH SHALL COMPILE A "PUNCH LIST" OF CORRECTIONS AND UNSATISFACTORY AND/OR INCOMPLETE WORK. FINAL PAYMENT WILL BE CONTINGENT ON THE COMPLETION OF THESE ITEMS UNDER THE TERMS OF THE CONTRACT.
38. THE MAXIMUM FLAME SPREAD CLASSIFICATION OF FINISH MATERIALS USED ON WALLS AND CEILINGS MUST COMPLY WITH CBC SECTION R302.
39. DRAWINGS IN THIS SET AND THE DESIGNS THEREON ARE THE PROPERTY OF HGCI. AND SHALL NOT BE REPRODUCED IN ANY WAY WITHOUT SPECIFIC WRITTEN AUTHORIZATION FROM HGCI. ALSO, THE DESIGN DOCUMENTS ARE PREPARED ASSUMING HGCI WILL BE THE INSTALLING CONTRACTOR. SHOULD OWNER CHOOSE ANOTHER CONTRACTING FIRM OTHER THAN HGCI TO PERFORM THE WORK INCLUDED IN THESE DOCUMENTS, THEN OWNER ASSUMES FULL RESPONSIBILITY FOR ANY ERRORS AND/OR OMISSIONS, WETHER ONLY CLAIMED OR ACTUAL AND WILL DEFEND HGCI AGAINST SAID ERRORS AND OMISSIONS AND HOLD HGCI HARMLESS FOR SAME.
40. IT IS INTENDED THAT THE CONTRACTORS PROVIDE A COMPLETE JOB AND ANY OMISSIONS IN THESE NOTES OR IN THE OUTLINE OF WORK SHALL NOT BE CONSTRUED AS RELIEVING THE GENERAL CONTRACTOR OF SUCH RESPONSIBILITIES AS ARE IMPLIED BY THE SCOPE OF THEIR WORK EXCEPT FOR ITEMS SPECIFICALLY NOTED.
41. ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL FIXTURES, LAMPS AND ACCESSORIES AS NOTED ON THE DRAWINGS. SUBSTITUTIONS WILL NOT BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER.
42. HEATING, VENTILATING AND AIR CONDITIONING: WORK SHALL CONSIST OF ALL LABOR, MATERIALS AND SERVICES REQUIRED FOR MODIFICATIONS TO THE EXISTING SYSTEMS, AND SHALL RESULT IN A COMPLETE OPERABLE FORCED AIR HEATING, VENTILATING AND AIR CONDITIONING SYSTEM, IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES, REQUIREMENTS OF THE SERVICING UTILITY AND FUNCTIONS SHOWN ON THE DRAWINGS.
43. ELECTRICAL: WORK SHALL CONSIST OF ALL LABOR, MATERIALS AND SERVICES REQUIRED FOR MODIFICATIONS TO THE EXISTING SYSTEMS, AND SHALL RESULT IN A COMPLETE WIRING SYSTEM INCLUDING OUTLETS, WALL SWITCHES, AND INSTALLATION OF LIGHTING FIXTURES, LAMPS, APPLIANCES, AND LIKE ACCESSORIES ALL AS INDICATED ON THE DRAWINGS OR REQUIRED FOR THE COMPLETION OF THE WORK.
44. PLUMBING: WORK SHALL CONSIST OF ALL LABOR, MATERIALS AND SERVICES REQUIRED FOR MODIFICATIONS TO THE EXISTING SYSTEMS, AND SHALL RESULT IN A COMPLETE SYSTEM INCLUDING DRAIN-WASTE AND VENT LINES, HOT AND COLD WATER LINE, AND GAS LINES IF INDICATED ON THE DRAWINGS, ALL EXCAVATION AND BACKFILL REQUIRED, AND THE INSTALLATION OF ALL FIXTURES AND APPLIANCES. THE SYSTEM SHALL MEET THE REQUIREMENTS OF THE STATE BOARD OF HEALTH AND ALL LOCAL CODES AND REGULATIONS.
45. THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL ALL EXIT SIGNS AS REQUIRED BY LOCAL BUILDING CODES UPON APPROVAL OF SIGN LOCATIONS AND STYLES BY THE DESIGNER
46. ONE PERMANENT METER, EITHER GAS OR ELECTRIC, WILL BE AUTHORIZED UNTIL THE PROJECT IS FULLY COMPLETED AND APPROVED BY THE PLANNING DEPARTMENT, RVFD, PUBLIC WORKS DEPARTMENT AND BUILDING DEPARTMENT. THE CONTRACTOR WILL HAVE THE OPTION OF WHICH METER, GAS OR ELECTRIC. TEMPORARY POWER OR HEAT MAY BE REQUIRED.
47. SPECIAL INSPECTIONS SHALL BE PERFORMED BY AN INDEPENDENT AGENCY CERTIFIED TO PERFORM THE DESIGNATED INSPECTION. REPORTS OF ALL INSPECTIONS MUST BE PROVIDED TO THE BUILDING OFFICIAL STATING THE INSPECTIONS AND/OR TESTS WERE MADE AND THE WORK CONSTRUCTION CONFORMS TO THE DESIGN.
48. CONTRACTOR SHOULD NOT REQUEST A FRAMING INSPECTION UNTIL THE MOISTURE CONTENT IS LESS THAN 19%.

[illegible]

VILA MONTE CARE FACILITY

APN 767-03-017

PROJECT ADDRESS
17090 PEAK AVENUE,
MORGAN HILL, CA 9503

MANAGED BY: HGCI
B-GENERAL BUILDING CONTRACTOR
LIC.# 720437



STAMP

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REVISIONS

[illegible]

DATE 11.02.2021

SCALE AS NOTE

PROJECT ID 1903

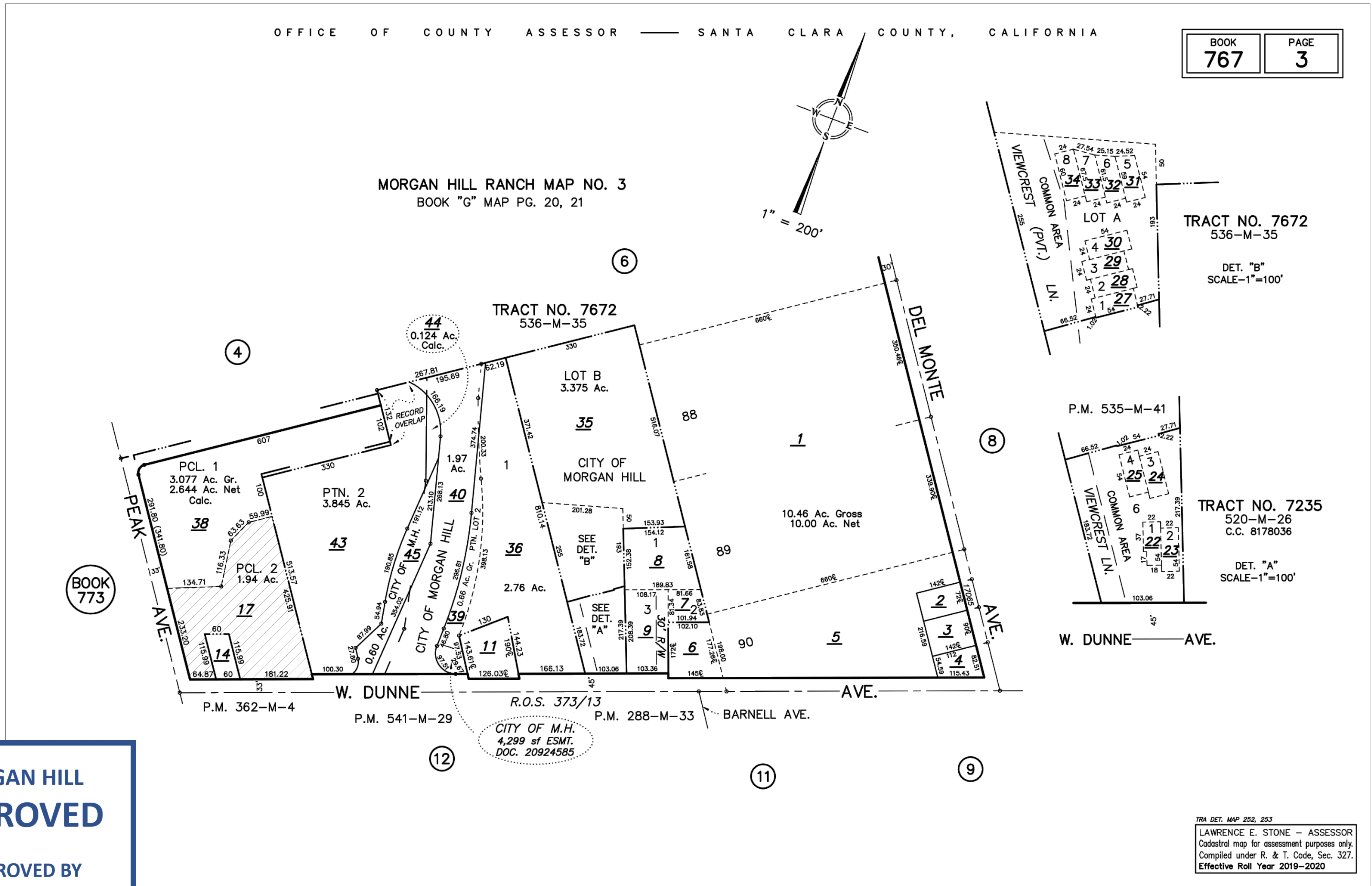
DRAWN BY _____ MD _____

CHECKED BY _____ N _____

ASSESSORS MAP

SHEET TITLE

SHEET NO.



CITY OF MORGAN HILL
PLAN APPROVED

**THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION**

ON 2/8/2024

SR2020-0026

FILE NUMBER

PLANNING OFFICIAL

ASSESSORS MAP

SCALE: NTS

APN 767-03-017

MANAGED BY: HGCI
B-GENERAL BUILDING CONTRACTOR
LIC.# 720437



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REVISIONS

12.30.2021	CUP: 3RD COMMENT RESPONSE
04.11.2023	CUP: PLAN UPDATE

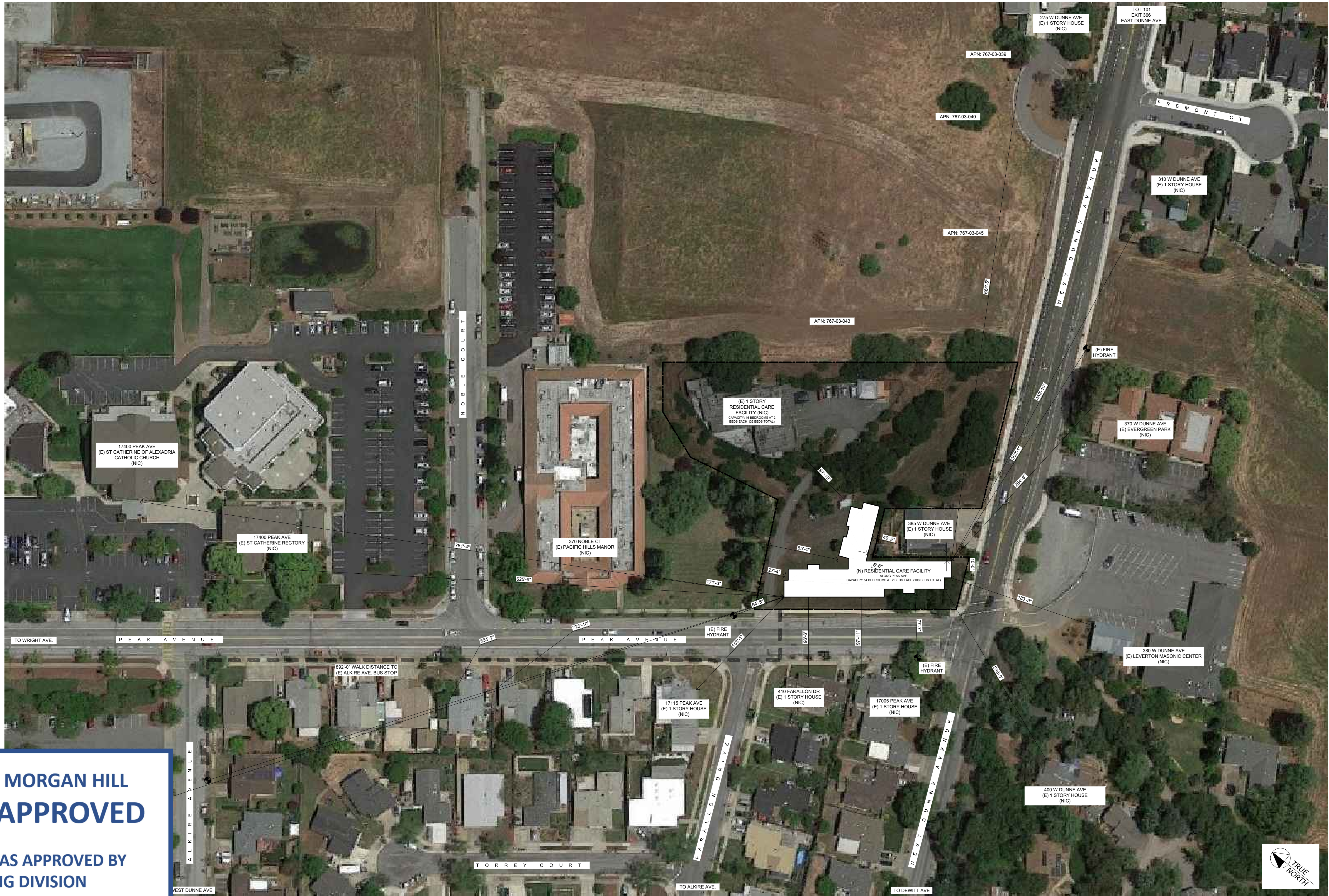
DATE	11.02.2025
SCALE	AS NOTED
PROJECT ID	1903
DRAWN BY	MD
CHECKED BY	NU

OVERVIEW MAP

SHEET TITLE

SHEET NO

A1.00



CITY OF MORGAN HILL
PLAN APPROVED

**THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION**

ON 2/8/2024

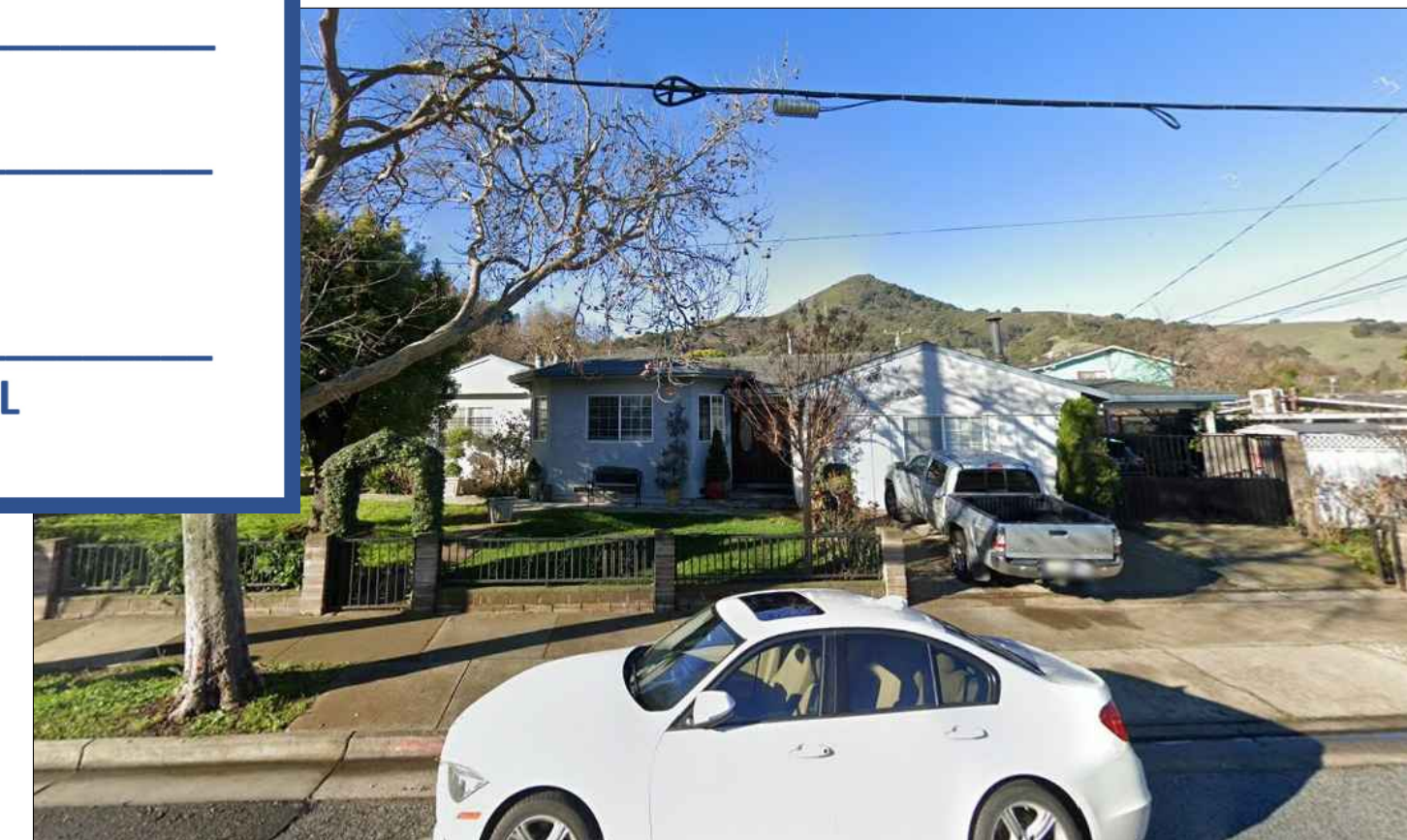
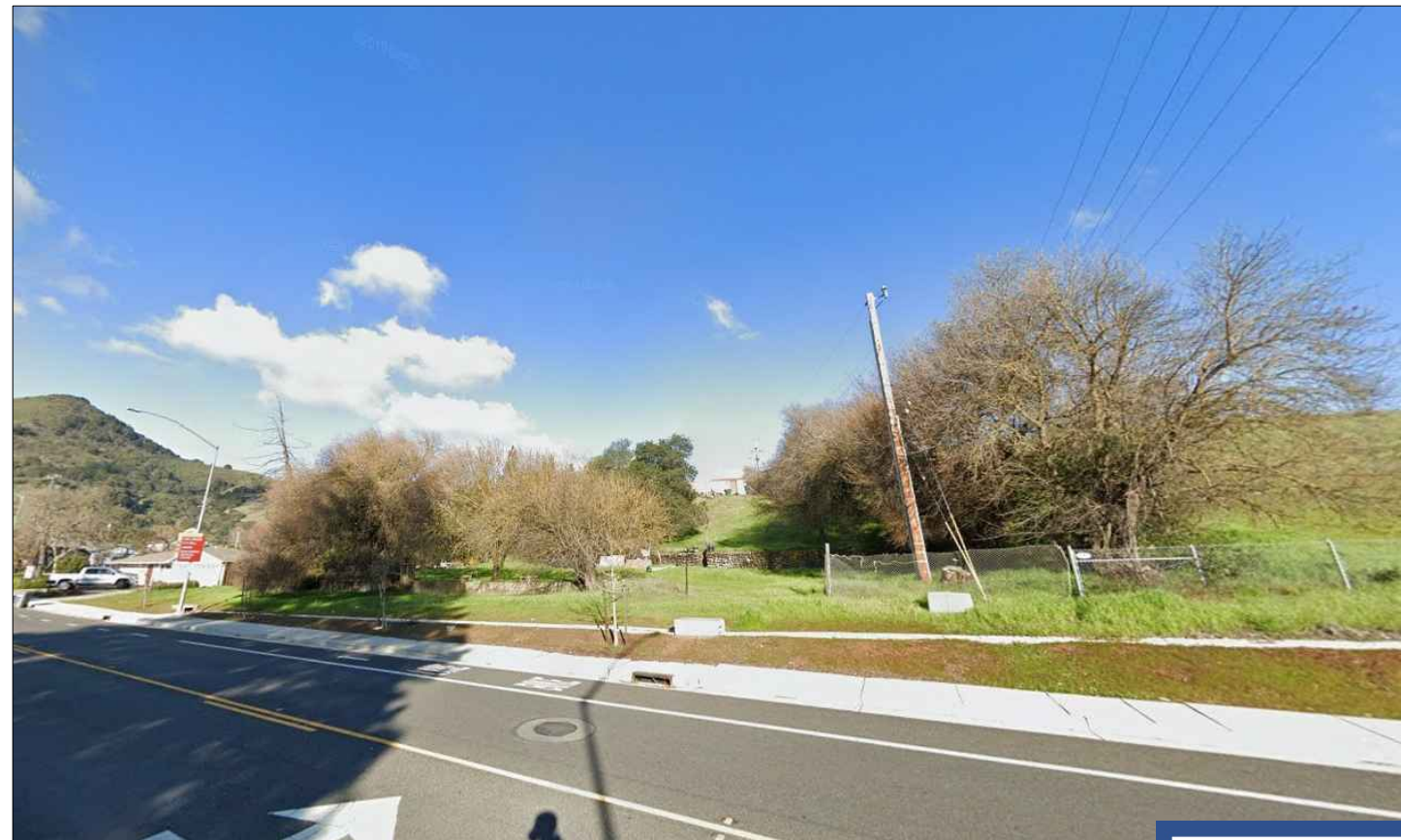
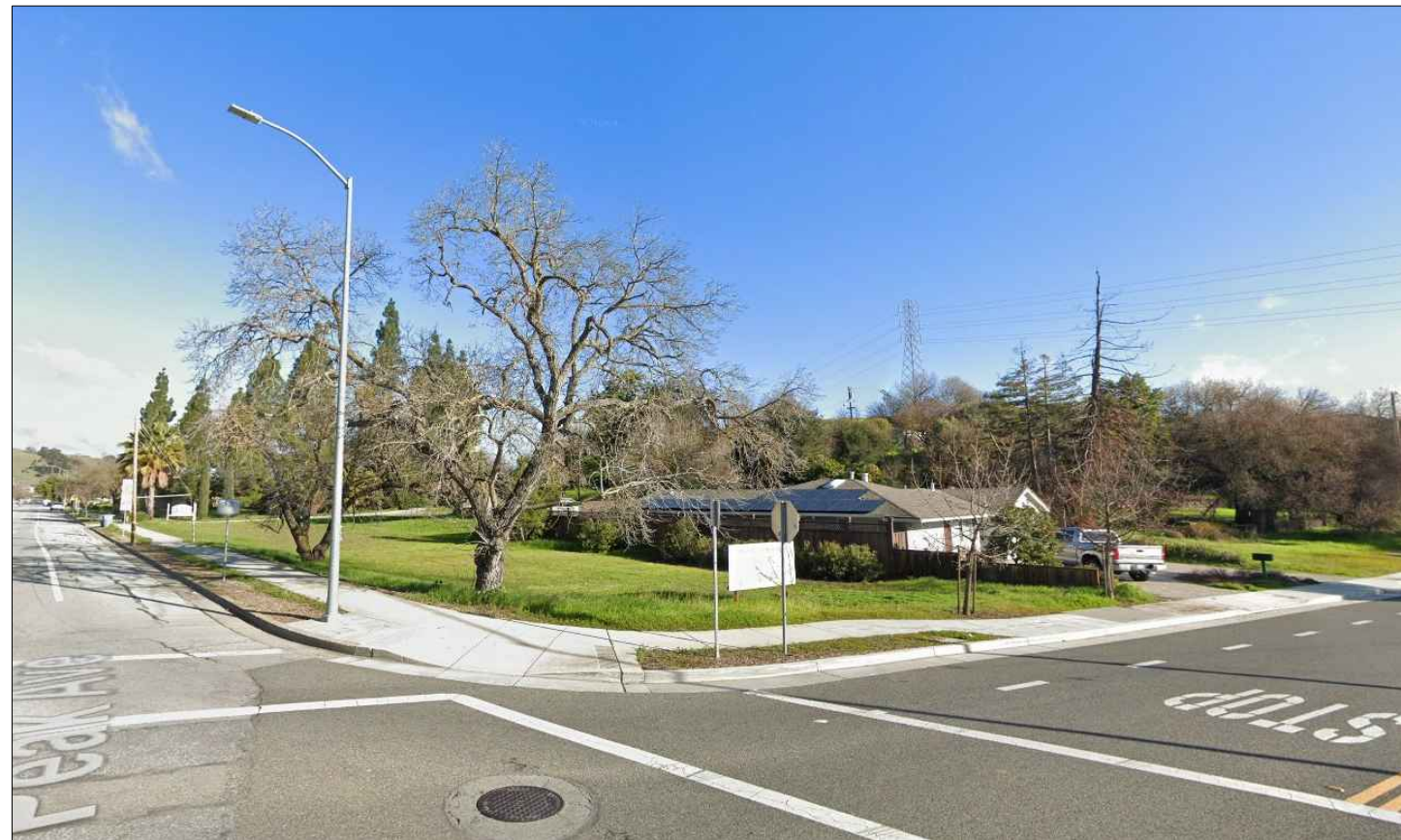
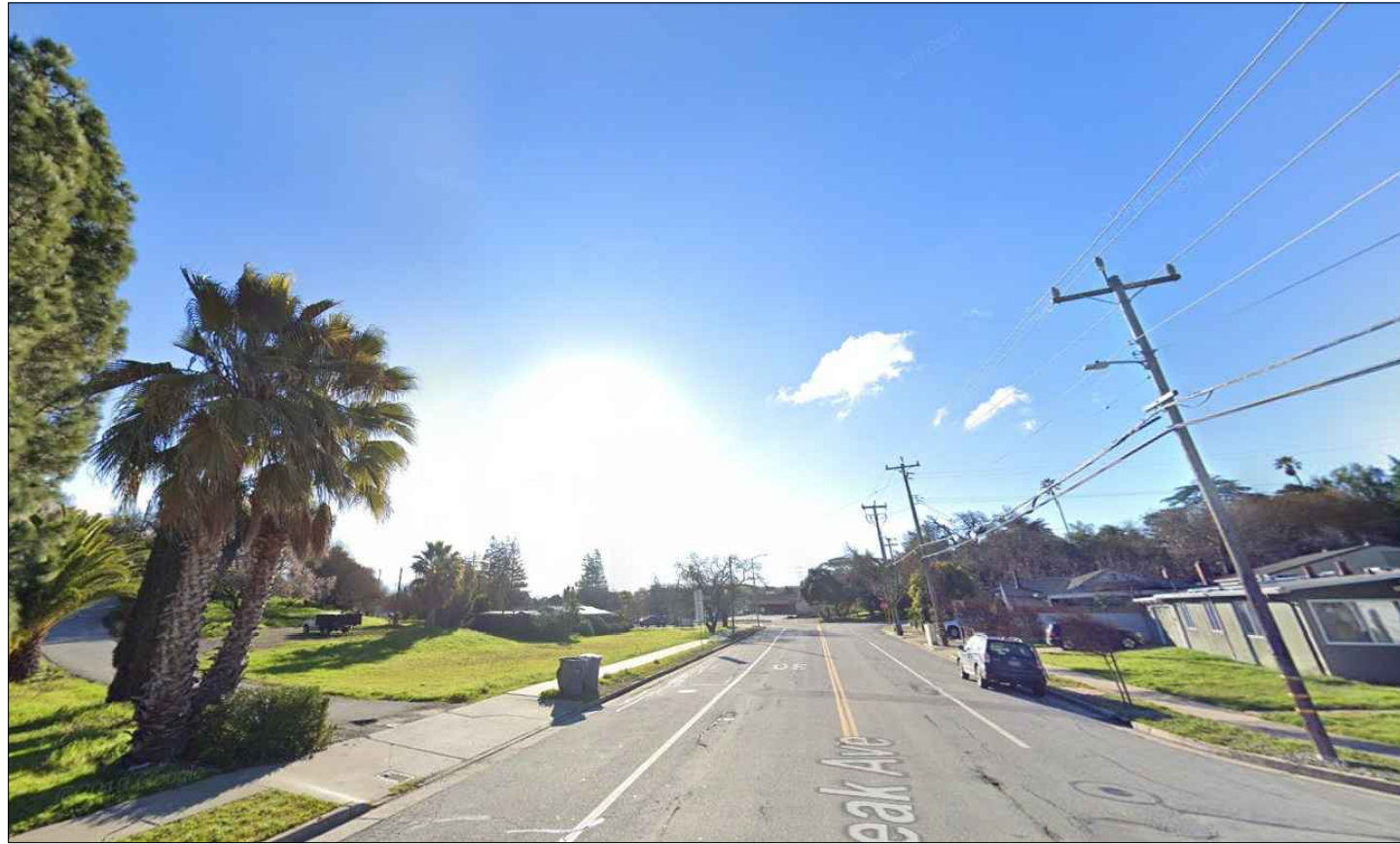
SR2020-0026

FILE NUMBER

PLANNING OFFICIAL

1 OVERVIEW MAP

SCALE: 1/16" = 1'



CITY OF MORGAN HILL
PLAN APPROVED

**THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION**

ON 2/8/2024

SR2020-0026

FILE NUMBER

PLANNING OFFICIAL

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HGCI
DESIGN | CONSTRUCT | WORK | LIVE

VILA MONTE
CARE FACILITY

APN 767-03-017

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REVISIONS

[illegible]

DATE	11.02.2020
SCALE	AS NOTED
PROJECT ID	19037
DRAWN BY	MDC
CHECKED BY	NW

EXISTING CONDITIONS AND
NEARBY PROPERTIES
PHOTOS 1/2

SHEET TITLE

A1.01

SHEET NO.

EXISTING TREE SCHEDULE										
TREE #	SPECIES	COMMON NAME	TRUNK DBH (INCHES)	APX. HEIGHT (FT)	APX. RADIUS (FT)	HEALTH SEE BELOW	STRUCTURE SEE BELOW	REMOVE /REMAIN	NOTES SEE BELOW	
T-01	PISTACHE CHINENSIS	CHINESE PISTACHE	7	14	8	5	4	REMAIN	6,7,8	
T-02	PISTACHE CHINENSIS	CHINESE PISTACHE	6	14	8	5	4	REMAIN	6,7,8	
T-03	JUGLANS REGIA	ENGLISH WALNUT	8+10+30	40	28	4	3	REMAIN	6,7,8,9	
T-04	JUGLANS NIGRA	BLACK WALNUT	15+15+16	35	21	3	2	REMAIN	6,7,8,9	
T-05	PINUS PINEA	STONE PINE	9	20	10	3	4	REMOVE	2	
T-06	PISTACHE CHINENSIS	CHINESE PISTACHE	12+15+17	35	21	4	2,5	REMOVE	2	
T-07	QUERCUS AGRIFOLIA	COAST LIVE OAK	18	40	18	5	2,5	REMAIN	6,7,8,9	
T-08	CITRUS PARADISI	GRAPEFRUIT	9+11	18	8	4	3	REMOVE	2	
T-09	CITRUS SINENSIS	ORANGE	4+5+7	14	8	4	3	REMOVE	2	
T-10	PISTACHE CHINENSIS	CHINESE PISTACHE	6+6+7	14	12	4	2,5	REMOVE	2	
T-11	PISTACHE CHINENSIS	CHINESE PISTACHE	3+4+5+6	14	12	4	2,5	REMOVE	2	
T-12	ACACIA MELANOLYXON	BLACK ACACIA	7+8	40	12	4	3	REMOVE	2	
T-13	PISTACHE CHINENSIS	CHINESE PISTACHE	29+33	45	22	4	3	REMOVE	2	
T-14	PISTACHE CHINENSIS	CHINESE PISTACHE	7+8+9+9	35	20	4	2,5	REMOVE	2	
T-15	PISTACHE CHINENSIS	CHINESE PISTACHE	6+6+12+12+13	30	18	4	2,5	REMAIN	6,7,9	
T-16	PISTACHE CHINENSIS	CHINESE PISTACHE	8+8+9+10	35	18	3	2,5	REMAIN	6,11	
T-17	PISTACHE CHINENSIS	CHINESE PISTACHE	10+10+10+14	35	18	3	2,5	REMAIN	6,11	
T-18	PISTACHE CHINENSIS	CHINESE PISTACHE	42	35	20	3	2,5	REMAIN	6,11	
T-19	PISTACHE CHINENSIS	CHINESE PISTACHE	12	35	18	3	3	REMAIN	6,11	
T-20	PISTACHE CHINENSIS	CHINESE PISTACHE	4+6	12	12	3	3	REMAIN	6,7	
T-21	PISTACHE CHINENSIS	CHINESE PISTACHE	4	10	4	4	4	REMAIN	6,7	
T-22	QUERCUS AGRIFOLIA	COAST LIVE OAK	10	25	20	4	3	REMAIN	6,7,8,9	
T-23	QUERCUS AGRIFOLIA	COAST LIVE OAK	10+10	30	18	4	3	REMAIN	6,7,8,9	
T-24	QUERCUS AGRIFOLIA	COAST LIVE OAK	11	35	18	4	3	REMAIN	6,7,8,9	
T-25	PISTACHE CHINENSIS	CHINESE PISTACHE	13+27	23	21	4	3	REMAIN	6,7	
T-26	SCHINUS MOLLE	BRAZILIAN PEPPER	30	20	12	3	2	REMAIN	6,7	
T-27	PISTACHE CHINENSIS	CHINESE PISTACHE	8+12	20	16	4	3	REMAIN	6,7,8,9	
T-28	PISTACHE CHINENSIS	CHINESE PISTACHE	11	20	14	4	3	REMAIN	6,7,8,9	
T-29	PISTACHE CHINENSIS	CHINESE PISTACHE	6+6+10	10	6	1	1	REMOVE	5	
T-30	PRUNUS DULCIS	ALMOND	6	14	6	4	3	REMAIN	6,7	
T-31	PRUNUS DOMESTICA	WILD PLUM	MULTIPLE TRUNKS	12	12	3	2	REMAIN	6,7	
T-32	QUERCUS AGRIFOLIA	COAST LIVE OAK	9	21	12	4	3	REMAIN	6,7,9	
T-33	PISTACHE CHINENSIS	CHINESE PISTACHE	12+13	35	18	4	3	REMAIN	6,7,9	
T-34	PISTACHE CHINENSIS	CHINESE PISTACHE	6+10+10+12	35	18	4	3	REMAIN	6,7,9	
T-35	PISTACHE CHINENSIS	CHINESE PISTACHE	6+7+7+8	25	18	4	3	REMAIN	6,7,9	
T-36	QUERCUS AGRIFOLIA	COAST LIVE OAK	8+10	13	12	4	3	REMAIN	6,7,9	
T-37	PISTACHE CHINENSIS	CHINESE PISTACHE	10	18	10	4	3	REMAIN	6,7,8,9	
T-38	PRUNUS DULCIS	ALMOND	12	20	1'-4"	4	3	REMOVE	2	
T-39	PISTACHE CHINENSIS	CHINESE PISTACHE	7	18	12	3	2	REMOVE	2	
T-40	PISTACHE CHINENSIS	CHINESE PISTACHE	9+10+12	25	15	4	3	REMAIN	6,7,8,9	
T-41	PRUNUS DULCIS	ALMOND	MULTIPLE TRUNKS	18	18	4	3	REMAIN	6,7,8,9	
T-42	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	6	4	4	5	4	REMAIN	6,7,8,9	
T-43	PRUNUS DULCIS	ALMOND	3+4	12	10	3	2	REMAIN	6,7,8,9	
T-44	QUERCUS AGRIFOLIA	COAST LIVE OAK	14+16+19	40	25	4	3	REMAIN	6,7,8,9	
T-45	GREVILLEA ROBUSTA	SILK OAK	21	45	15	4	3	REMAIN	6,7,8,9	
T-46	PHOENIX CANARIENSIS	CANARY ISLAND DATE PALM	12	8	6	5	4	REMOVE	2	
T-47	PHOENIX CANARIENSIS	CANARY ISLAND DATE PALM	18	8	6	5	4	REMOVE	2	
T-48	PHOENIX CANARIENSIS	CANARY ISLAND DATE PALM	24	8	6	5	3	REMOVE	2	
T-49	PRUNUS DULCIS	ALMOND	MULTIPLE TRUNKS	25	16	4	2	REMAIN	6,7,8,9	
T-50	PRUNUS DULCIS	ALMOND	5+6+8+10	20	16	4	3	REMOVE	2	
T-51	PRUNUS DULCIS	ALMOND	6+9	22	14	4	3	REMAIN	6,7,8,9	
T-52	PISTACHE CHINENSIS	CHINESE PISTACHE	3+3+5	8	4	4	2	REMAIN	13	
T-53	PISTACHE CHINENSIS	CHINESE PISTACHE	6	18	14	4	3	REMAIN	11,13	
T-54	PISTACHE CHINENSIS	CHINESE PISTACHE	6	16	14	4	3	REMAIN	11,13	
T-55	QUERCUS LOBATA	VALLEY OAK	49	50	30	4	3	REMAIN	9	
T-56	PISTACHE CHINENSIS	CHINESE PISTACHE	4+6+6+9	25	1'-4"	3	3	REMAIN	9	
T-57	PISTACHE CHINENSIS	CHINESE PISTACHE	6+7+9	20	12	2	3	REMAIN	9,11	
T-58	PISTACHE CHINENSIS	CHINESE PISTACHE	6+4+8	22	16	4	3	REMOVE	2	
T-59	PISTACHE CHINENSIS	CHINESE PISTACHE	10+12+15+15	25	20	3	1,5	REMAIN	6,7,8,9,11	
T-60	PRUNUS DULCIS	ALMOND	5	15	8	2	2	REMAIN	6,7,8,9,11	
T-61	PISTACHE CHINENSIS	CHINESE PISTACHE	10	15	15	3	3	REMAIN	6,7,8,9,11	
T-62	PISTACHE CHINENSIS	CHINESE PISTACHE	6+8+8+12	25	21	3	2	REMAIN	6,7,8,9,11	
T-63	PISTACHE CHINENSIS	CHINESE PISTACHE	8+10+12	25	16	3	2	REMAIN	6,7,8,9,11	
T-64	PISTACHE CHINENSIS	CHINESE PISTACHE	6+18+22	30	20	3	1,5	REMAIN	6,7,8,9,11	
T-65	PHOENIX CANARIENSIS	CANARY ISLAND DATE PALM	50	22	12	5	4	REMAIN	6,7,8,9,11	
T-66	PHOENIX CANARIENSIS	CANARY ISLAND DATE PALM	50	22	12	5	4	REMAIN	6,7,11	
T-67	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	8	35	2	5	4	REMAIN	6,7,11	
T-68	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	8	35	2	5	4	REMAIN	6,7,11	
T-69	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	24+24	50	12	5	4	REMAIN	6,7,11	
T-70	CUPRESSUS MACROCARPA	MONTEREY CYPRESS	5+6	20	14	4	3	REMOVE	2	
T-71	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	6	25	2	4	3	REMOVE	2	
T-72	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	24+	25	8	4	3	REMOVE	2	
T-73	JUGLANS NIGRA	BLACK WALNUT	6	18	10	4	3	REMOVE	2	
T-74	PISTACHE CHINENSIS	CHINESE PISTACHE	10	15	16	3	3	REMAIN	11,13	
HEALTH										
1	POOR- DECLINE HAS PROGRESSED BEYOND THE POINT OF BEING ABLE TO RETURN TO A HEALTHY CONDITION AGAIN. LONG TERM SURVIVAL IS NOT EXPECTED. THIS DESIGNATION INCLUDES DEAD TREES.									
2	MARGINAL- HEALTH AND VIGOR ARE SIGNIFICANTLY COMPROMISED , DISTRESS IS HIGHLY VISIBLE AND PRESENT TO THE DEGREE THAT SURVIVABILITY IS IN QUESTION									
3	FAIR- HEALTH AND VIGOR ARE SOMEWHAT COMPROMISED, DISTRESS IS VISIBLE, PEST OR DISEASE MAY BE PRESENT AND AFFECTING HEALTH. PROBLEMS ARE GENERALLY CORRECTABLE									
4	GOOD- HEALTH AND VIGOR ARE AVERAGE, NO SIGNIFICANT OR SPECIFIC DISTRESS SYMPTOMS, NO SIGNIFICANT PEST OR DISEASE									
5	EXCELLENT- HEALTH AND VIGOR ARE EXCEPTIONAL, NO PEST, DISEASE, OR DISTRESS									
STRUCTURE										
1	POOR- HAZARDOUS STRUCTURAL CONDITION WHICH CANNOT BE EFFECTIVELY CORRECTED WITH PRUNING OR OTHER MEASURES, MAY REQUIRE REMOVAL DEPENDING ON LOCATION AND PRESENCE OF TARGETS.									
2	MARGINAL- SERIOUS STRUCTURAL PROBLEMS ARE PRESENT WHICH MAY OR MAY NOT BE CORRECTIBLE WITH PRUNING, BRACING, ETC.									
3	MODERATE- NORMAL, TYPICAL STRUCTURAL ISSUES WHICH CAN BE CORRECTED WITH PRUNING									
4	GOOD- MINOR STRUCTURAL PROBLEMS MAY BE PRESENT WHICH DO NOT REQUIRE CORRECTIVE ACTION.									
NOTES										
1	PRESERVATION POSSIBLE									
2	REMOVAL IS REQUIRED DUE TO SIGNIFICANT DEVELOPMENT IMPACTS									
3	REMOVAL IS REQUIRED DUE TO POOR HEALTH OR HAZARDOUS STRUCTURE									
4	REMOVAL IS REQUIRED DUE TO SIGNIFICANT DEVELOPMENT IMPACTS AND POOR EXISTING CONDITION									
5	REMOVAL IS RECOMMENDED DUE TO POOR SPECIES CHARACTERISTICS									
6	INSTALL TEMPORARY PROTECTIVE FENCING AT THE EDGE OF THE DRIPLINE, OR EDGE OF APPROVED CONSTRUCTION, PRIOR TO BEGINNING GRADING OR CONSTRUCTION. MAINTAIN FENCING IN PLACE FOR DURATION OF ALL CONSTRUCTION ACTIVITY IN THE AREA.									
7	MAINTAIN EXISTING GRADE WITHIN THE FENCED PORTION OF THE DRIPLINE. ROUTE DRAINAGE SWALES AND UNDERGROUND WORK OUTSIDE THE DRIPLINE.									
8	PLACE A 4" LAYER OF CHIPPED BARK MULCH OVER THE SOIL SURFACE WITHIN THE FENCED DRIPLINE PRIOR TO INSTALLING TEMPORARY FENCING. MAINTAIN THE LAYER OF MULCH THROUGHOUT CONSTRUCTION.									
9	PRUNE TO CLEAN THE CANOPY, PER ISA PRUNING STANDARDS									
10	PRUNE TO PROVIDE CLEARANCE FOR ADJACENT IMPROVEMENTS, PER ISA PRUNING STANDARDS									
11	THE TRUNK MAY BE LOCATED OFF SITE, BUT CANOPY OVERHANGS THE PROJECT									
12	EXCAVATION MAY BE REQUIRED WITHIN THE TREE PLANTING ZONE AND THE DRIPLINE FOR DEVELOPMENT.									
13	NO ACTION REQUIRED. THIS TREE IS LOCATED AWAY FROM DEVELOPMENT AREAS.									
TREE INVENTORY BASED ON REPORT PREPARED BY HORTICULTURAL ASSOCIATES DATED JUNE 27, 2023										

CITY OF MORGAN HILL PLAN APPROVED

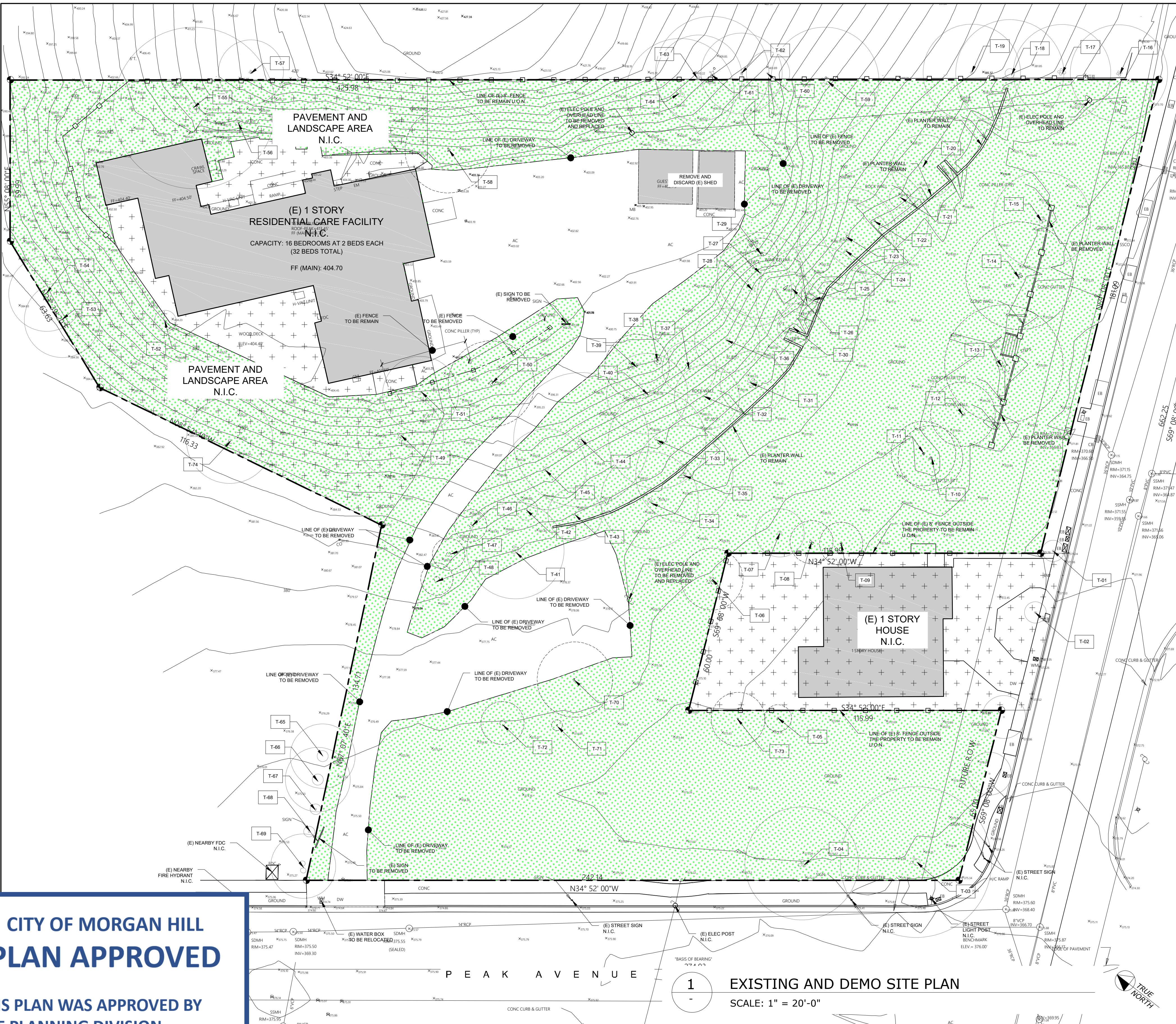
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THE PLANNING DIVISION

ON 2/8/2024

SR2020-0026

FILE NUMBER

PLANNING OFFICIAL



DEMOLITION GENERAL NOTES:

- CONTRACTOR SHALL VERIFY LOCATION OF ALL (E) ABOVE GROUND UTILITIES AND PROVIDE FOR THEIR TEMPORARY DISCONNECTION, PROTECTION, REMOVAL, AND/OR STORAGE AS MAY BE REQUIRED DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH THE COUNTY/DISTRICT TO DETERMINE WHETHER TEMPORARY FACILITIES ARE NECESSARY.
- ALL SPOILS, DEBRIS, AND INCIDENTAL ITEMS SHALL BE HAULED OFF-SITE BY THE CONTRACTOR AND BE DISPOSED OF IN A LAWFUL MANNER AS IT ACCUMULATES.
- CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE IN ANY WAY, ANY EXISTING ELEMENTS NOT DESIGNATED FOR REMOVAL.
- COORDINATE SHUT-OFF OF ALL UTILITIES PRIOR TO ALL DEMOLITION.
- CONTRACTOR TO PROTECT AND KEEP (E) TREES UNLESS OTHERWISE NOTED TO BE REMOVED IN THIS DEMOLITION PLAN.
- THE (E) RESIDENTIAL CARE FACILITY SHALL REMAIN IN USE DURING CONSTRUCTION.
- THE SITE MUST BE CLEANED AT THE END OF EACH BUSINESS DAY.
- CONTRACTOR TO MAINTAIN SAFE AND SECURE SITE.
- SEE ARCHITECTURAL, CIVIL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL DEMOLITION NOTES.

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VILA MONTE CARE FACILITY

APN 767-03-017

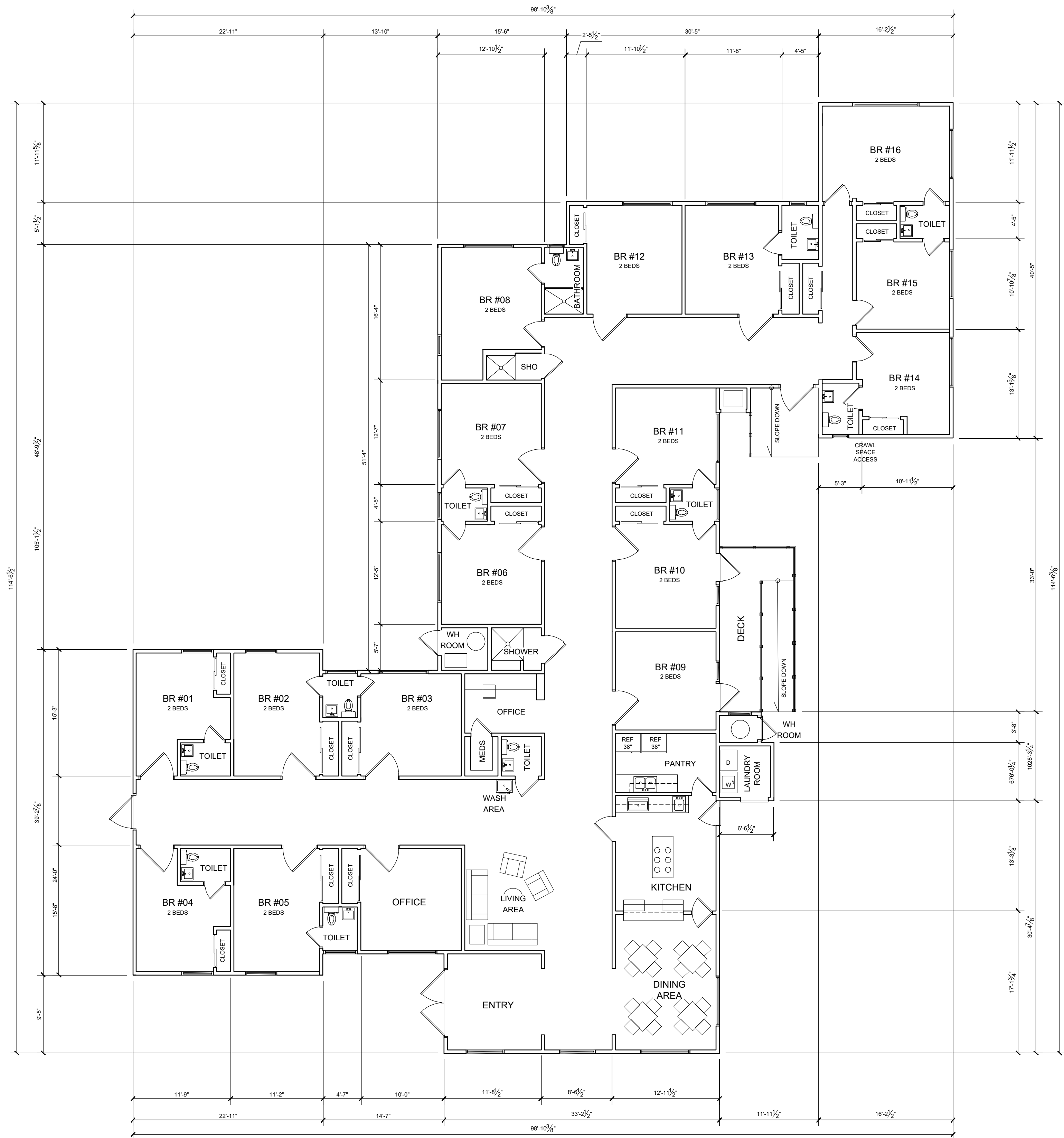
PROJECT ADDRESS
17090 PEAK AVENUE,
MORGAN HILL, CA 95037

MANAGED BY: HGCI
B-GENERAL BUILDING CONTRACTOR
LIC.# 720437



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1
-

(E) RCF FLOOR PLAN
SCALE: 1/8" = 1'-0"



CITY OF MORGAN HILL
PLAN APPROVED

THIS PLAN WAS APPROVED BY
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ON 2/8/2024

SR2020-0026

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REVISIONS

DATE	12.30.2021
SCALE	AS NOTED
PROJECT ID	19037
DRAWN BY	MDC
CHECKED BY	NW

DEMOLITION SITE PLAN
SHEET TITLE

SHEET NO.

A1.03a

CITY OF MORGAN HILL
PLAN APPROVED

THIS PLAN WAS APPROVED BY
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ON 2/8/2024

SR2020-0026

FILE NUMBER

PLANNING OFFICIAL

BUILDING COVERAGE COMPUTATION

TOTAL LOT AREA (TLA)	1.94 ACRE OR 87,170 SF
ALLOWABLE BLDG COVERAGE AS PER CITY OF 2023 MORGAN HILL MUNICIPAL CODE (MHMC) TABLE 18.18-3	60% OF LOT AREA= 52,302 SF
(E) RESIDENTIAL CARE FACILITY (RCF) BLDG COVERAGE AREA	5,770 SF
(N) RCF BLDG COVERAGE AREA	9,313 SF
TOTAL PROPOSED BLDG COVERAGE AREA	15,083 SF OR 17% OF TLA

VEHICLE PARKING COMPUTATION

PARKING REQUIREMENT AS PER 2023 MHMC TABLE 18.72-2	60 PARKING SPACE (PS) PER BEDROOM
BEDROOM COUNT	
(E) RCF	16
(N) RCF	54
TOTAL	70 BEDROOMS
TOTAL REQUIRED PS	70X60=42 PS
PROVIDED PS	42 PS. SEE PARKING ZONE BREAKDOWN

BICYCLE PARKING COMPUTATION AS PER 2023 MHMC TABLE 18.72-7

REQUIRED SHORT-TERM BICYCLE SPACES (BS)	10% OF PS; MINIMUM OF 4 SHORT-TERM BS
SHORT-TERM BS PROVIDED	4 SHORT-TERM BS PROVIDED
REQUIRED LONG-TERM BS	1 LONG-TERM BS PER 5 PS
LONG-TERM BS PROVIDED	8 LONG-TERM BS PROVIDED

PARKING ZONE BREAKDOWN

DESCRIPTION	PARKING ZONE 01	PARKING ZONE 02	PARKING ZONE 03	TOTAL
TOTAL PARKING SPACE	2	24	16	42 PS PROVIDED
PER 2022 CBC TABLE 11B-208.2				
MINIMUM REQUIRED ACCESSIBLE PARKING SPACES	1 ADA PS FROM 1-25 PS	1	1	3 ADA PS REQUIRED
ACCESSIBLE PARKING PROVIDED	1	1	1	3 ADA VAN ACCESSIBLE PS PROVIDED
PER 2022 CALGREEN 4.106.4.2.2				
MINIMUM REQUIRED LEVEL 2 EV CAPABLE PS	10% OF PS	0	2	4 LEVEL 2 EV CAPABLE PS REQUIRED
LEVEL 2 EV CAPABLE PS PROVIDED	0	2	2	4 LEVEL 2 EV CAPABLE PS PROVIDED
MINIMUM REQUIRED LOW POWER LEVEL 2 EVSE READY PS	25% OF PS	1	6	11 LOW POWER LEVEL 2 EVSE READY PS REQUIRED
LOW POWER LEVEL 2 EVSE READY PS PROVIDED	1	6	4	11 LOW POWER LEVEL 2 EVSE READY PS PROVIDED
MINIMUM REQUIRED LEVEL 2 EVSE PS	5% OF PS	0	1	2 LEVEL 2 EVSE PS REQUIRED
LEVEL 2 EVSE PS PROVIDED	0	1	1	2 LEVEL 2 EVSE PS PROVIDED
PER 2022 MHMC 18.72.060.B				
MAXIMUM ALLOWABLE COMPACT PS	30% OF PS	0	7	12 COMPACT PS ALLOWED
MAXIMUM ALLOWABLE COMPACT PS	0	7	5	12 COMPACT PS ALLOWED

PAVEMENT AND LANDSCAPE AREA N.T.C.

PAVEMENT AND LANDSCAPE AREA N.T.C.

(E) 1 STORY
RESIDENTIAL CARE FACILITY
CAPACITY: 16 BEDROOMS AT 2 BEDS EACH
(32 BEDS TOTAL)
FF (MAIN): 404.70

MODIFIED FIRE TRUCK
TURNAROUND
BASED ON SPEC NO. 11-E PAGE 4, SEE 117000
PEAK AVE. REF FOR FIRE TRUCK TURN
AROUND AND MAXIMUM DRIVEWAY GRADE*

(N) RESIDENTIAL CARE
FACILITY
ALONG PEAK AVE.
CAPACITY: 54 BEDROOMS AT 2
BEDS EACH (108 BEDS TOTAL)
FF (MAIN): 377.00

SITE PLAN

SCALE: 1/16" = 1'-0"

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HGCI
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VILA MONTE
CARE FACILITY

APN 767-03-017

PROJECT ADDRESS
17090 PEAK AVENUE,
MORGAN HILL, CA 95037

MANAGED BY: HGCI
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LIC.# 720437



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REVISIONS

03.01.2021	CUP: 1ST COMMENT RESPONSE
04.29.2021	CUP: 2ND COMMENT RESPONSE
12.30.2021	CUP: 3RD COMMENT RESPONSE
03.14.2022	SITE PLAN UPDATE
06.22.2022	SITE PLAN UPDATE
11.17.2022	PLAN UPDATE
04.11.2023	CUP: PLAN UPDATE

DATE	11.02.2020
SCALE	AS NOTED
PROJECT ID	19037
DRAWN BY	MDC
CHECKED BY	NW

SITE PLAN

SHEET TITLE

A1.04

SHEET NO.

CITY OF MORGAN HILL
PLAN APPROVED

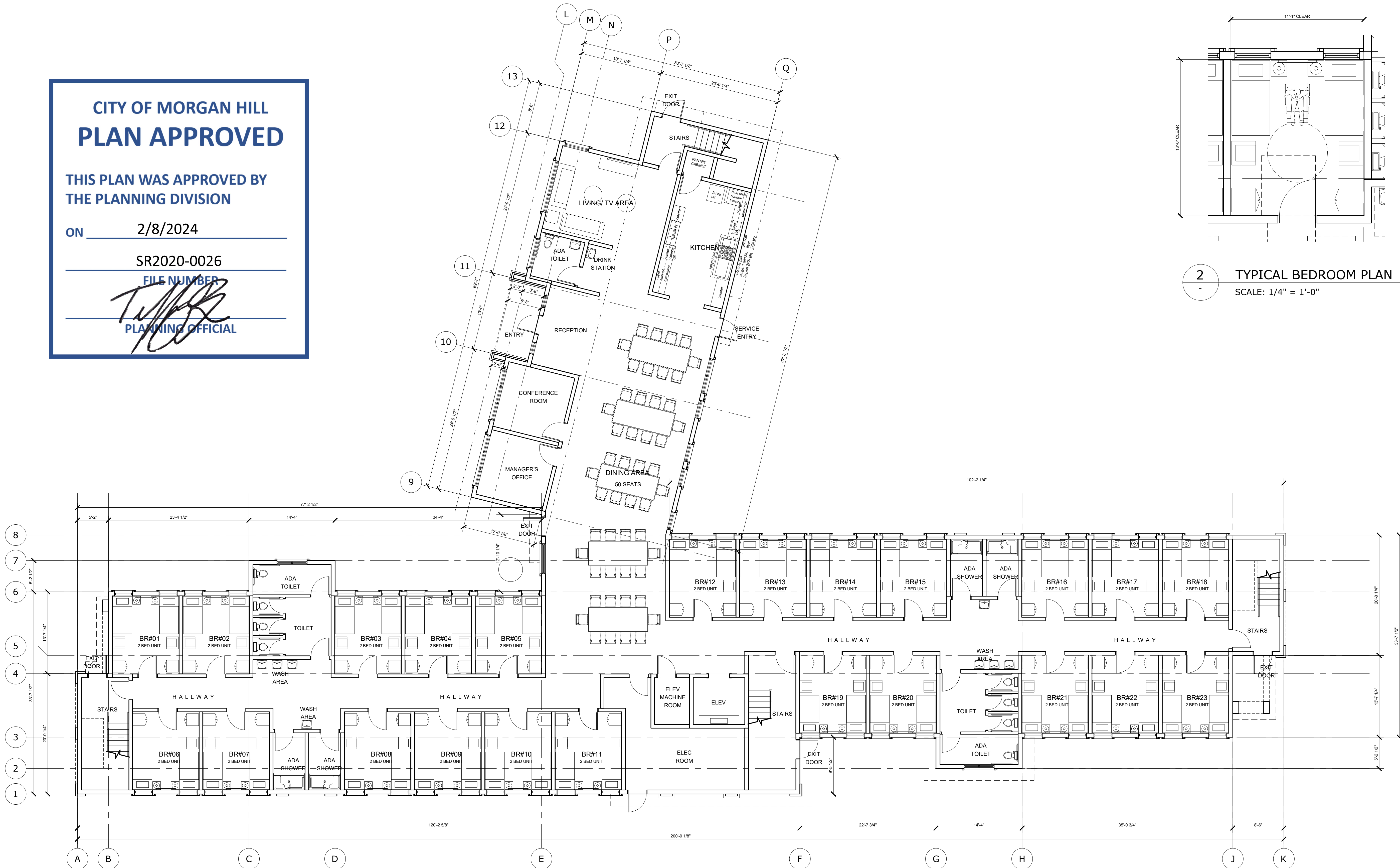
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ON 2/8/2024

SR2020-0026

FILE NUMBER

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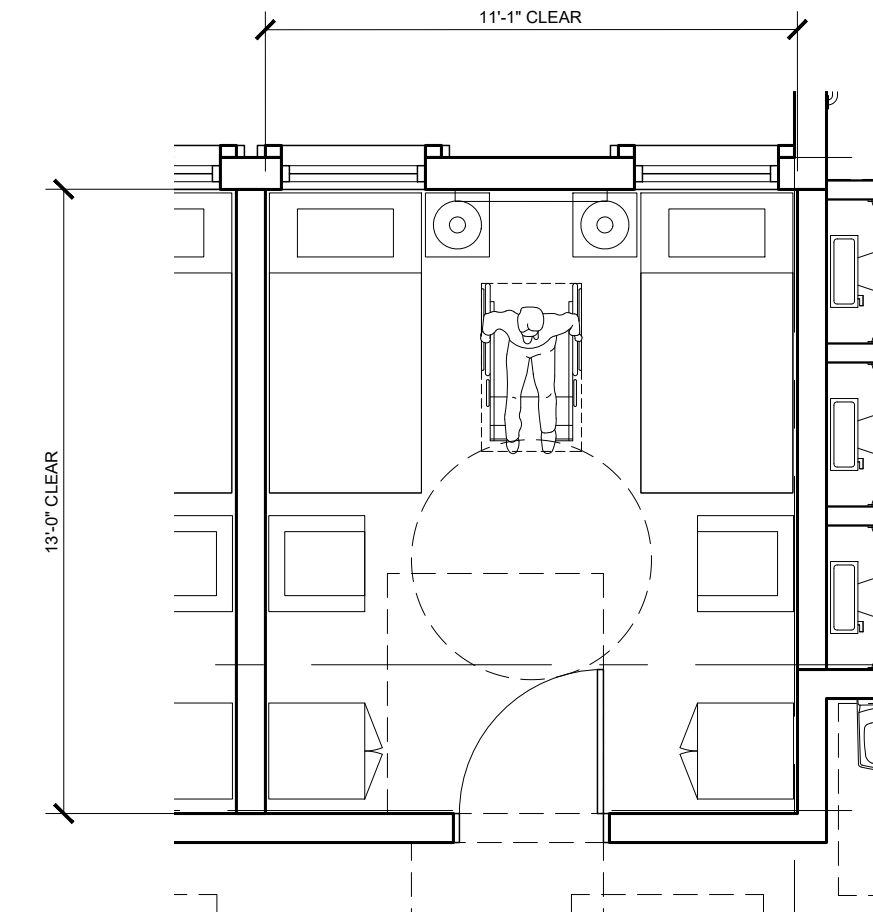
1

(N) RCF GROUND FLOOR PLAN

SCALE: 1/8" = 1'-0"



FLOOR AREA
GROUND FLOOR: 9,313 GSF
SECOND FLOOR: 9,387 GSF
TOTAL: 18,700 GSF



2

TYPICAL BEDROOM PLAN

SCALE: 1/4" = 1'-0"

VILA MONTE
CARE FACILITY

APN 767-03-017

PROJECT ADDRESS
17090 PEAK AVENUE,
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REVISIONS

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12.30.2021	CUP: 3RD COMMENT RESPONSE
11.17.2022	PLAN UPDATE
04.11.2023	CUP: PLAN UPDATE
12.11.2023	DESIGN REVIEW RESPONSE 01

DATE	11.02.2020
SCALE	AS NOTED
PROJECT ID	19037
DRAWN BY	MDC
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(N) RCF GROUND FLOOR
PLAN

SHEET TITLE

A1.05

SHEET NO.

CITY OF MORGAN HILL
PLAN APPROVED

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ON 2/8/2024

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1

(N) RCF SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



FLOOR AREA
GROUND FLOOR: 9,313 GSF
SECOND FLOOR: 9,387 GSF
TOTAL: 18,700 GSF

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VILA MONTE
CARE FACILITY

APN 767-03-017

PROJECT ADDRESS
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REVISIONS

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12.30.2021	CUP: 3RD COMMENT RESPONSE
11.17.2022	PLAN UPDATE
04.11.2023	CUP: PLAN UPDATE
12.11.2023	DESIGN REVIEW RESPONSE 01

DATE	11.02.2020
SCALE	AS NOTED
PROJECT ID	19037
DRAWN BY	MDC
CHECKED BY	NW

(N) RCF SECOND FLOOR
PLAN

SHEET TITLE

A1.06

SHEET NO.

CITY OF MORGAN HILL
PLAN APPROVED

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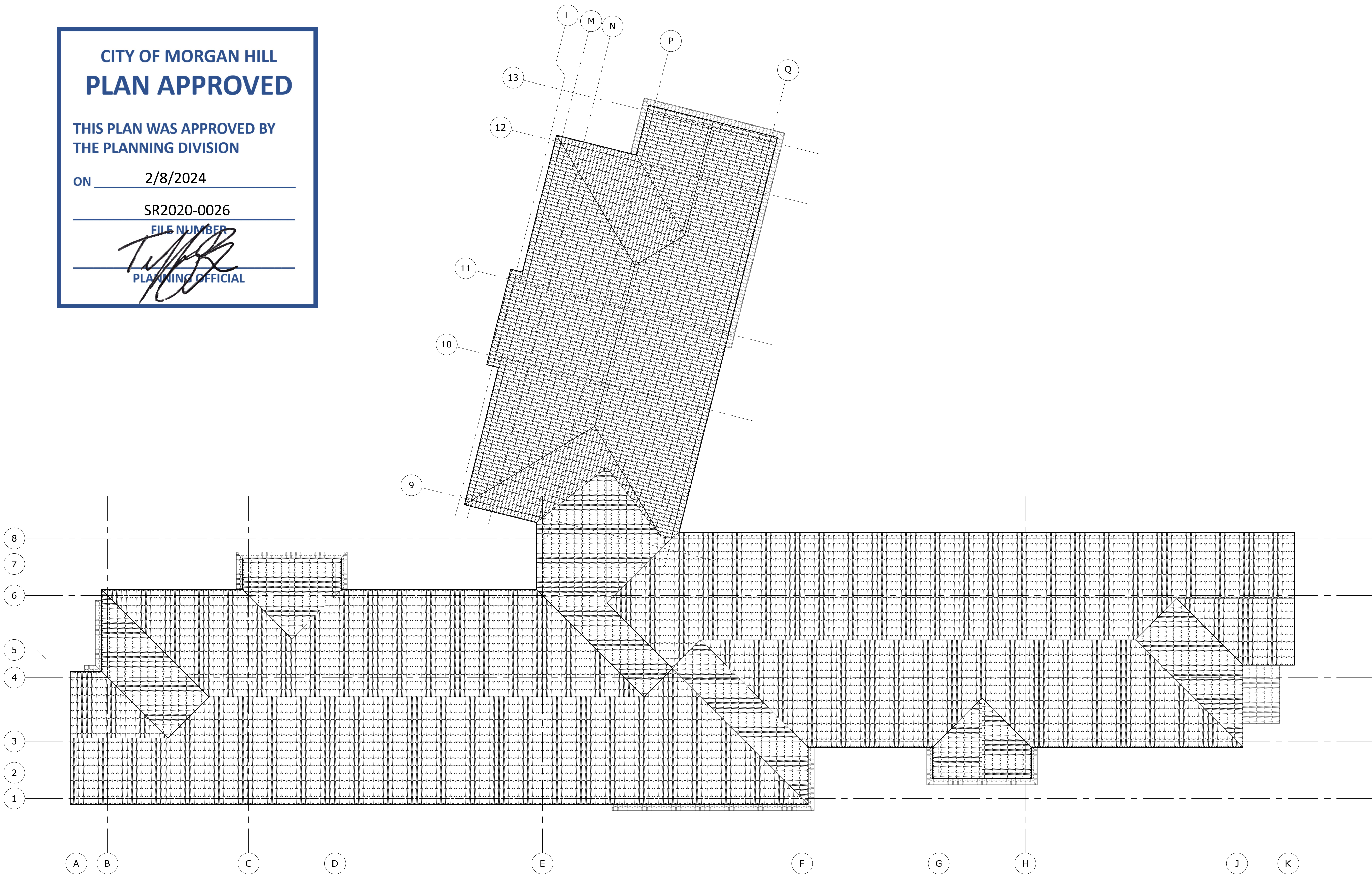
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1

(N) RCF ROOF PLAN

SCALE: 1/8" = 1'-0"



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VILA MONTE
CARE FACILITY

APN 767-03-017

PROJECT ADDRESS
17090 PEAK AVENUE,
MORGAN HILL, CA 95037

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REVISIONS

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12.30.2021	CUP: 3RD COMMENT RESPONSE
04.11.2023	CUP: PLAN UPDATE
12.11.2023	DESIGN REVIEW RESPONSE 01

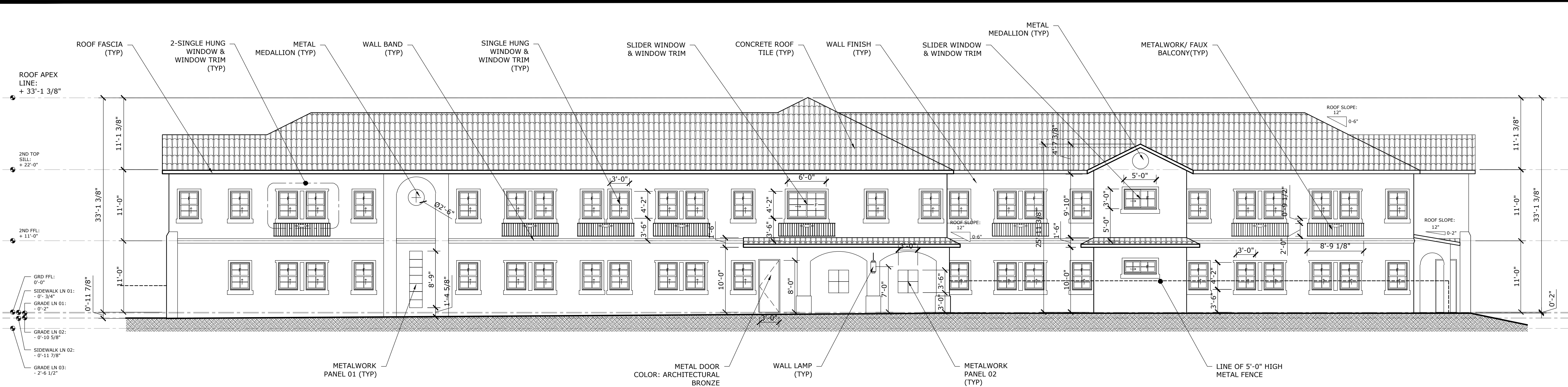
DATE	11.02.2020
SCALE	AS NOTED
PROJECT ID	19037
DRAWN BY	MDC
CHECKED BY	NW

(N) RCF ROOF PLAN

SHEET TITLE

A1.07

SHEET NO.



1

(N) RCF SOUTHWEST ELEVATION: ALONG PEAK AVE

SCALE: 1/8" = 1'-0"



ROOF FINISH
MATERIAL: CONCRETE ROOF TILE
PRODUCT: MALIBU, EAGLE
ROOFING
COLOR: RED/ 2698 KONA RED
RANGE



WINDOWS
PRODUCT: VPI ENDURANCE SERIES
COLOR: ARCHITECTURAL BRONZE
TYPES AS INDICATED IN
ELEVATION:
1. SINGLE HUNG
2. SLIDER
3. FIXED
NOTE: SIMULATED DIVIDED LIGHT

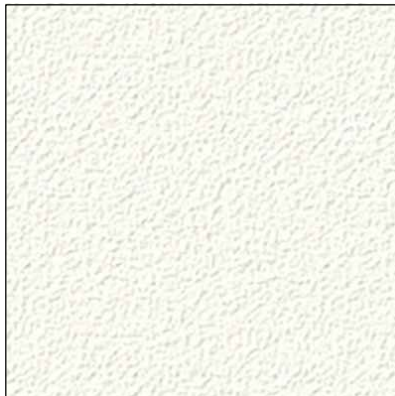
WINDOW TRIM
MATERIAL: STUCCO FINISH
COLOR: NUSS BROWN TO CLOSELY
MATCH WINDOW FRAME COLOR
NOTE: 3" DEEP PROFILE



METALWORK PANEL 01
MATERIAL: FABRICATED METAL
COLOR: BLACK
SIZE: 24"X15"
NOTE: SPANISH STYLE OR EQUAL.
PHOTO FOR CONCEPT ONLY



METAL FENCE
MATERIAL: FABRICATED METAL
COLOR: BLACK
HEIGHT: 5'-0"
NOTE: SPANISH STYLE OR EQUAL.
PHOTO FOR CONCEPT ONLY.



WALL FINISH
MATERIAL: STUCCO FINISH
COLOR: WHITE/ OMEGA STANDARD
COLOR 1C020 SNOW



METALWORK PANELO2
MATERIAL: FABRICATED METAL
COLOR: BLACK
SIZE: 18.5"X21"
NOTE: SPANISH STYLE OR EQUAL.
PHOTO FOR CONCEPT ONLY



WALL BAND
MATERIAL: STUCCO FINISH
WHITE/ OMEGA STANDARD COLOR
1C020 SNOW



METAL MEDALLION
MATERIAL: FABRICATED METAL
COLOR: BLACK
SIZE: 2'-6" DIA
NOTE: SPANISH STYLE OR EQUAL.
PHOTO FOR CONCEPT ONLY.



METALWORK/ FAUX BALCONY
MATERIAL: FABRICATED METAL
COLOR: BLACK
NOTE: SPANISH STYLE. PHOTO FOR
CONCEPT ONLY. METALWORK NOT
TO INTERFERE WITH EGRESS
WINDOW REQUIREMENTS



WALL LAMP
PRODUCT: MINKA-LAVERY
MALLORCA
FINISH: SPANISH IRON

2

COLOR AND MATERIAL BOARD

SCALE: N/A

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HGCI
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CARE FACILITY

APN 767-03-017

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REVISIONS

03.01.2021	CUP: 1ST COMMENT RESPONSE
04.29.2021	CUP: 2ND COMMENT RESPONSE
12.30.2021	CUP: 3RD COMMENT RESPONSE
11.17.2022	PLAN UPDATE
04.11.2023	CUP: PLAN UPDATE
12.11.2023	DESIGN REVIEW RESPONSE 01

CITY OF MORGAN HILL
PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 2/8/2024

SR2020-0026

FILE NUMBER

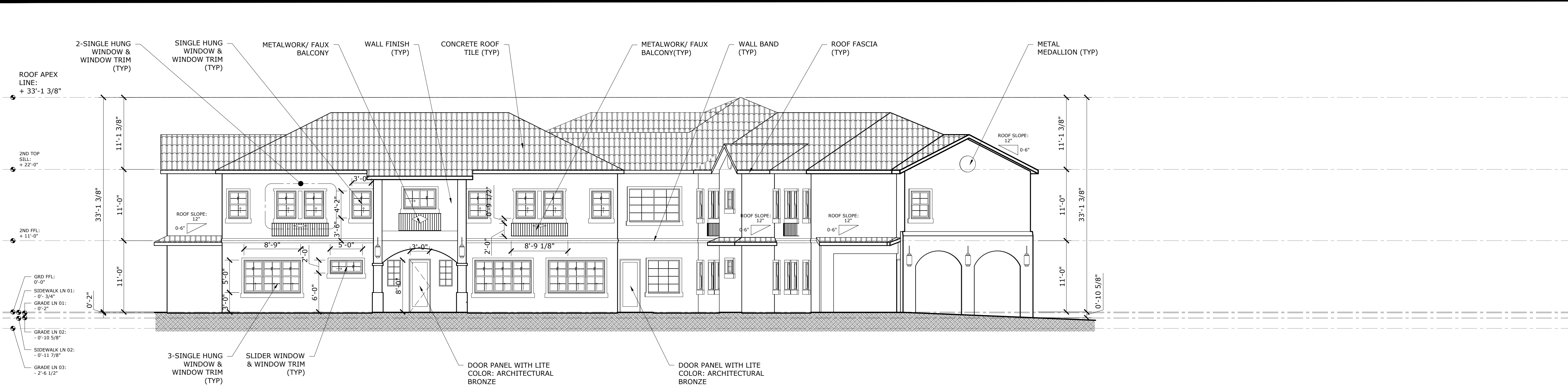
PLANNING OFFICIAL

(N) RCF SOUTHWEST
ELEVATION

SHEET TITLE

A2.00

SHEET NO.



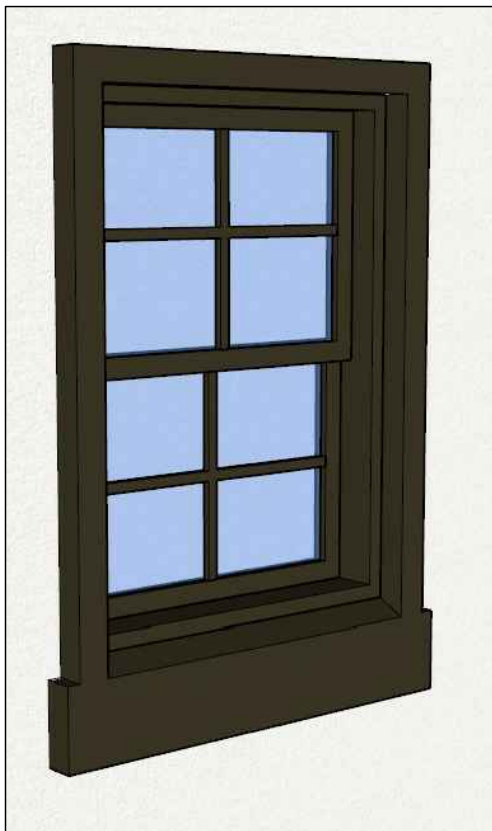
1

(N) RCF NORTH ELEVATION: ENTRY AND DROP OFF

SCALE: 1/8" = 1'-0"



ROOF FINISH
MATERIAL: CONCRETE ROOF TILE
PRODUCT: MALIBU, EAGLE
ROOFING
COLOR: RED/ 2698 KONA RED
RANGE



WINDOWS
PRODUCT: VPI ENDURANCE SERIES
COLOR: ARCHITECTURAL BRONZE
TYPES AS INDICATED IN
ELEVATION:
1. SINGLE HUNG
2. SLIDER
3. FIXED
NOTE: SIMULATED DIVIDED LIGHT

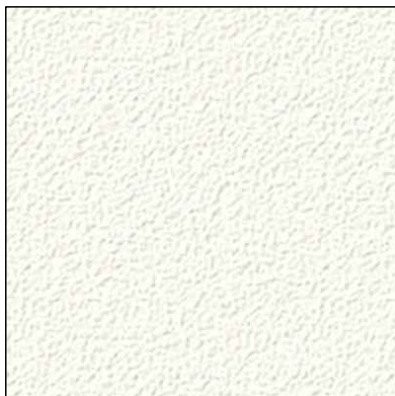
WINDOW TRIM
MATERIAL: STUCCO FINISH
COLOR: NUSS BROWN TO CLOSELY
MATCH WINDOW FRAME COLOR
NOTE: 3" DEEP PROFILE



METALWORK PANEL 01
MATERIAL: FABRICATED METAL
COLOR: BLACK
SIZE: 24"x15"
NOTE: SPANISH STYLE OR EQUAL.
PHOTO FOR CONCEPT ONLY



METAL FENCE
MATERIAL: FABRICATED METAL
COLOR: BLACK
HEIGHT: 5'-0"
NOTE: SPANISH STYLE OR EQUAL.
PHOTO FOR CONCEPT ONLY.



WALL FINISH
MATERIAL: STUCCO FINISH
COLOR: WHITE/ OMEGA STANDARD
COLOR 1C020 SNOW



WALL BAND
MATERIAL: STUCCO FINISH
WHITE/ OMEGA STANDARD COLOR
1C020 SNOW



WALL LAMP
PRODUCT: MINKA-LAVERY
MALLORCA
FINISH: SPANISH IRON



METAL MEDALLION
MATERIAL: FABRICATED METAL
COLOR: BLACK
SIZE: 2'-6" DIA
NOTE: SPANISH STYLE OR EQUAL.
PHOTO FOR CONCEPT ONLY.



METALWORK PANEL02
MATERIAL: FABRICATED METAL
COLOR: BLACK
SIZE: 18.5"x21"
NOTE: SPANISH STYLE OR EQUAL.
PHOTO FOR CONCEPT ONLY



**METALWORK/ FAUX
BALCONY**
MATERIAL: FABRICATED METAL
COLOR: BLACK
NOTE: SPANISH STYLE. PHOTO FOR
CONCEPT ONLY. METALWORK NOT
TO INTERFERE WITH EGRESS
WINDOW REQUIREMENTS

CITY OF MORGAN HILL
PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 2/8/2024

SR2020-0026

FILE NUMBER

PLANNING OFFICIAL

2

COLOR AND MATERIAL BOARD

SCALE: N/A

101 LUCAS VALLEY RD., STE 150
SAN RAFAEL, CA 94903
T: 415.697.6880 F: 925.558.4814

HGCI
DESIGN|CONSTRUCT|WORK|LIVE

VILA MONTE
CARE FACILITY

APN 767-03-017

PROJECT ADDRESS
17090 PEAK AVENUE,
MORGAN HILL, CA 95037

MANAGED BY: HGCI
B-GENERAL BUILDING CONTRACTOR
LIC.# 720437



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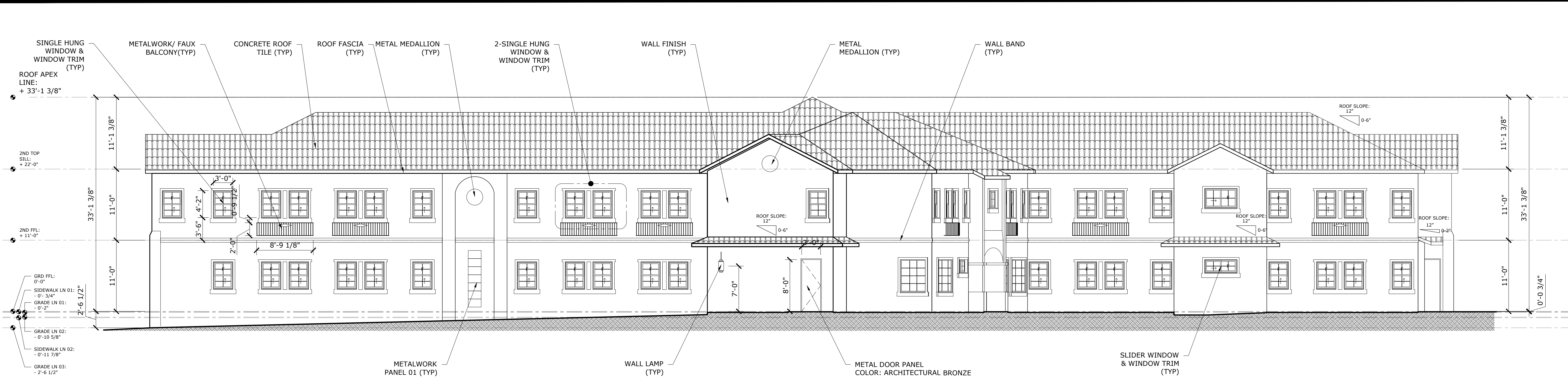
DATE	11.02.2020
SCALE	AS NOTED
PROJECT ID	19037
DRAWN BY	MDC
CHECKED BY	NW

(N) RCF NORTH ELEVATION
SHEET TITLE

A2.01

SHEET NO.

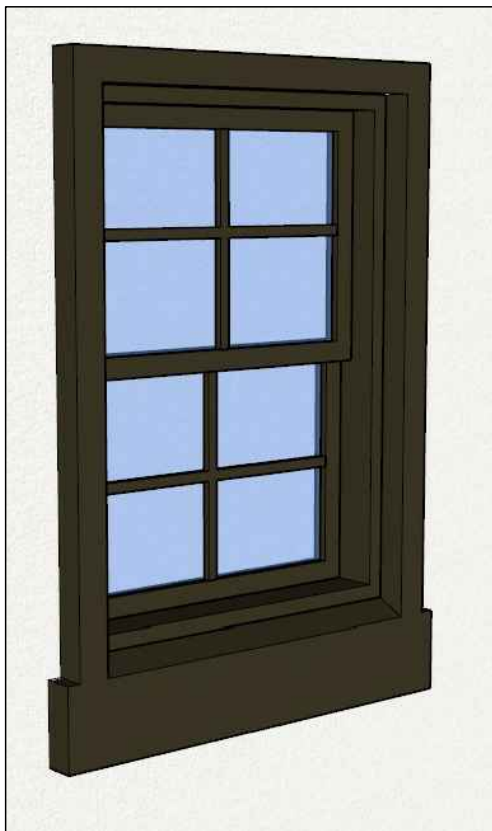




1 (N) RCF NORTHEAST ELEVATION: FACING HILLSIDE
SCALE: 1/8" = 1'-0"



ROOF FINISH
MATERIAL: CONCRETE ROOF TILE
PRODUCT: MALIBU, EAGLE
ROOFING
COLOR: RED/ 2698 KONA RED
RANGE



WINDOWS
PRODUCT: VPI ENDURANCE SERIES
COLOR: ARCHITECTURAL BRONZE
TYPES AS INDICATED IN
ELEVATION:
1. SINGLE HUNG
2. SLIDER
3. FIXED
NOTE: SIMULATED DIVIDED LIGHT

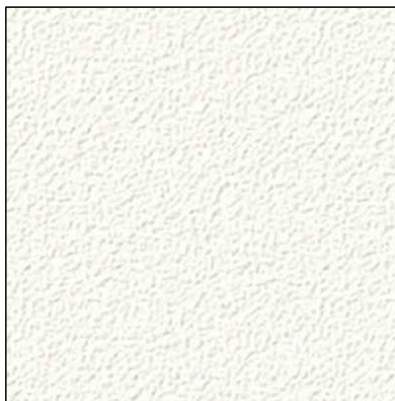
WINDOW TRIM
MATERIAL: STUCCO FINISH
COLOR: NUSS BROWN TO CLOSELY
MATCH WINDOW FRAME COLOR
NOTE: 3" DEEP PROFILE



METALWORK PANEL 01
MATERIAL: FABRICATED METAL
COLOR: BLACK
SIZE: 24"X15"
NOTE: SPANISH STYLE OR EQUAL.
PHOTO FOR CONCEPT ONLY



METAL FENCE
MATERIAL: FABRICATED METAL
COLOR: BLACK
HEIGHT: 5'-0"
NOTE: SPANISH STYLE OR EQUAL.
PHOTO FOR CONCEPT ONLY.



WALL FINISH
MATERIAL: STUCCO FINISH
COLOR: WHITE/ OMEGA STANDARD
COLOR 1C020 SNOW



METALWORK PANEL02
MATERIAL: FABRICATED METAL
COLOR: BLACK
SIZE: 18.5"X21"
NOTE: SPANISH STYLE OR EQUAL.
PHOTO FOR CONCEPT ONLY



WALL BAND
MATERIAL: STUCCO FINISH
WHITE/ OMEGA STANDARD COLOR
1C020 SNOW



WALL LAMP
PRODUCT: MINKA-LAVERY
MALLORCA
FINISH: SPANISH IRON



METAL MEDALLION
MATERIAL: FABRICATED METAL
COLOR: BLACK
SIZE: 2'-6" DIA
NOTE: SPANISH STYLE OR EQUAL.
PHOTO FOR CONCEPT ONLY.



METALWORK/ FAUX BALCONY
MATERIAL: FABRICATED METAL
COLOR: BLACK
NOTE: SPANISH STYLE. PHOTO FOR
CONCEPT ONLY. METALWORK NOT
TO INTERFERE WITH EGRESS
WINDOW REQUIREMENTS

CITY OF MORGAN HILL
PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 2/8/2024

SR2020-0026

FILE NUMBER

PLANNING OFFICIAL

2 COLOR AND MATERIAL BOARD
SCALE: N/A

101 LUCAS VALLEY RD. STE 150
SAN RAFAEL, CA 94903
T: 415.697.6880 F: 925.558.4814

HGCI
DESIGN|CONSTRUCT|WORK|LIVE

VILA MONTE
CARE FACILITY

APN 767-03-017

PROJECT ADDRESS
17090 PEAK AVENUE,
MORGAN HILL, CA 95037

MANAGED BY: HGCI
B-GENERAL BUILDING CONTRACTOR
LIC.# 720437



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REVISIONS

DATE	12.11.2023
SCALE	AS NOTED
PROJECT ID	19037
DRAWN BY	MDC
CHECKED BY	NW

(N) RCF NORTHEAST
ELEVATION

SHEET TITLE

A2.03

SHEET NO.



CITY OF MORGAN HILL
PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 2/8/2024

SR2020-0026

FILE NUMBER



PLANNING OFFICIAL

PEAK AVE ENTRANCE



AERIAL SOUTH



AERIAL WEST



AERIAL EAST

101 LUCAS VALLEY RD. STE 150
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DESIGN | CONSTRUCT | WORK | LIVE

VILA MONTE
CARE FACILITY

APN 767-03-017

PROJECT ADDRESS
17090 PEAK AVENUE,
MORGAN HILL, CA 95037

MANAGED BY: HGCI
B-GENERAL BUILDING CONTRACTOR
LIC.# 720437



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REVISIONS

11.17.2022	PLAN UPDATE
04.11.2023	CUP: PLAN UPDATE
12.11.2023	DESIGN REVIEW RESPONSE 01

DATE	11.02.2020
SCALE	AS NOTED
PROJECT ID	19037
DRAWN BY	MDC
CHECKED BY	NW

COLORED RENDERING
1 OF 2

SHEET TITLE

A9.01

SHEET NO.



NEW RCF MAIN ENTRY 1



PEAK AVENUE VIEW



385 DUNNE VIEW



DUNNE PARKING ENTRY



NEW RCF MAIN ENTRY 2



PEAK-DUNNE CORNER 1

VILA MONTE
CARE FACILITY

CITY OF MORGAN HILL
PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 2/8/2024

SR2020-0026

FILE NUMBER

T. J. [Signature]
PLANNING OFFICIAL



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04.11.2023	CUP: PLAN UPDATE
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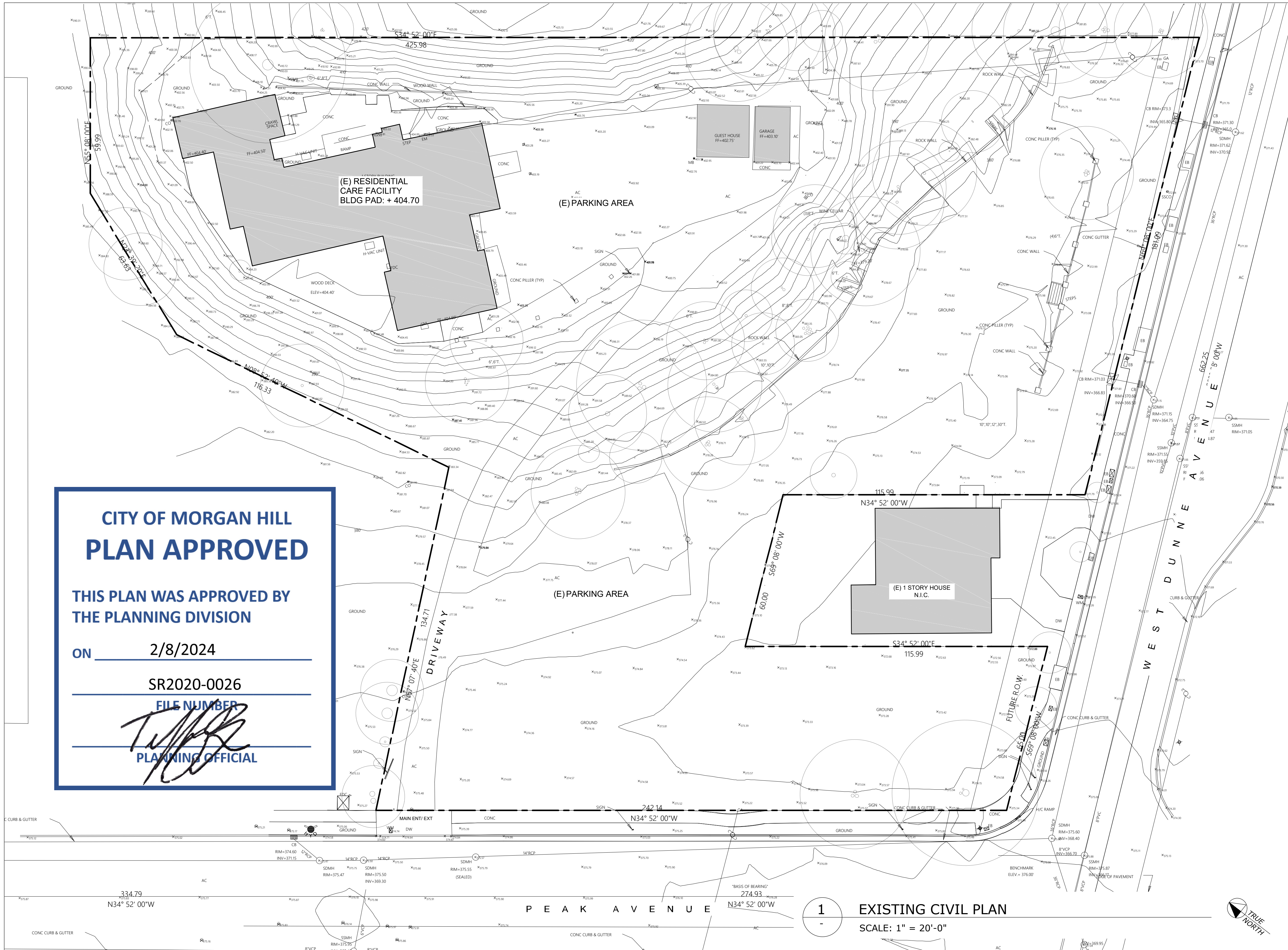
DATE	11.02.2020
SCALE	AS NOTED
PROJECT ID	19037
DRAWN BY	MDC
CHECKED BY	NW

COLORED RENDERING
2 OF 2

SHEET TITLE

A9.02

SHEET NO.



101 LUCAS VALLEY RD. STE 150
SAN RAFAEL, CA 94903
T: 415.697.6880 F: 925.558.4814



VILA MONTE
CARE FACILITY

APN 767-03-017

PROJECT ADDRESS
17090 PEAK AVENUE,
MORGAN HILL, CA 95037

MANAGED BY: HGCI
B-GENERAL BUILDING CONTRACTOR
LIC.# 720437



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REVISIONS

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04.11.2023	CUP: PLAN UPDATE

DATE	11.02.2023
SCALE	AS NOTED
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DRAWN BY	MDC
CHECKED BY	NW

EXISTING CIVIL PLAN

SHEET TITLE

C0.01

SHEET NO.

GENERAL NOTES

1. THIS PLAN REFLECTS THE (E) SITE CONDITIONS TO THE BEST OF OUR CURRENT KNOWLEDGE.
2. REFER TO A-1.3a FOR THE DEMOLITION PLAN
3. REFER TO C0.0 FOR THE CONCEPTUAL CIVIL PLAN

CITY OF MORGAN HILL
PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 2/8/2024

SR2020-0026

FILE NUMBER

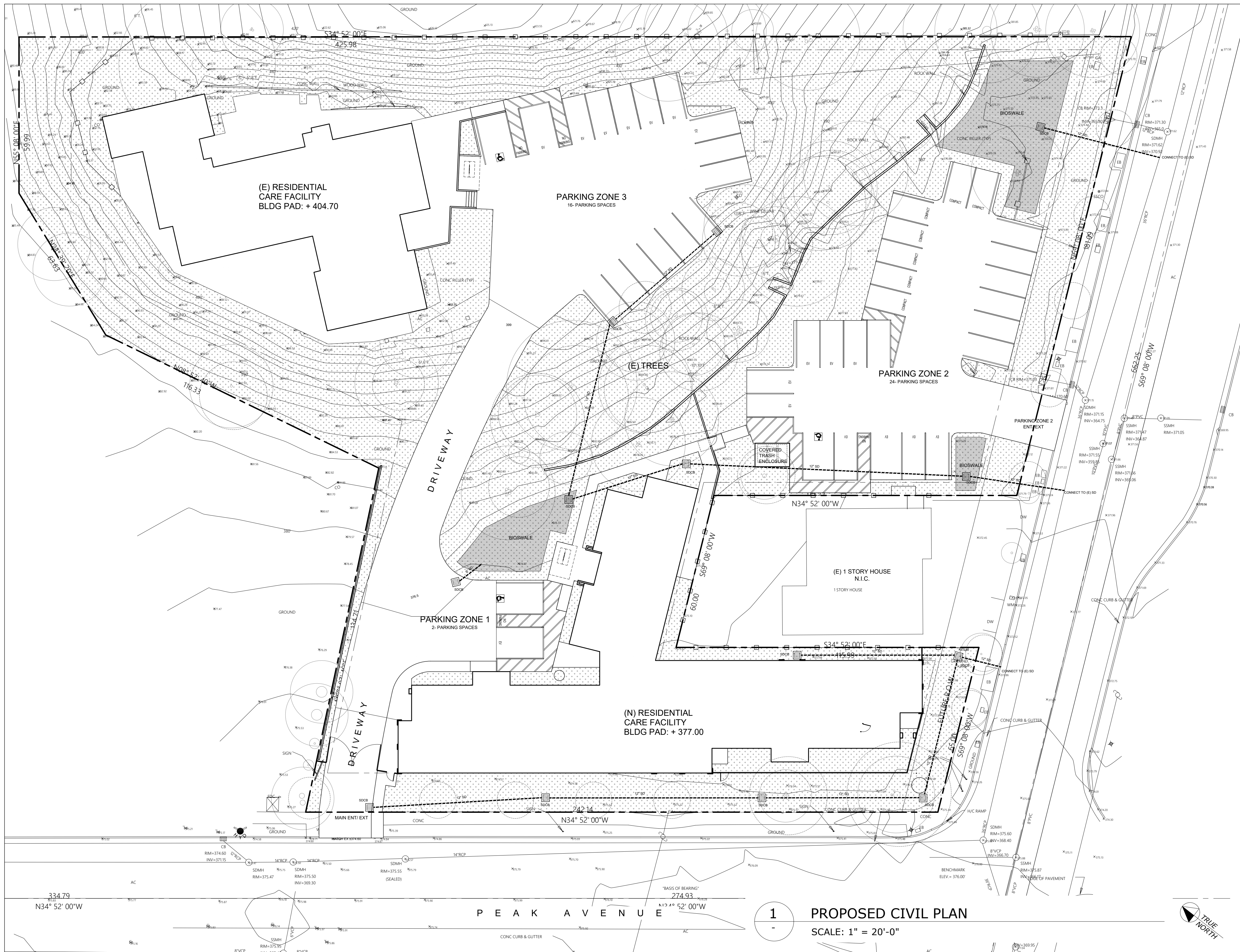
PLANNING OFFICIAL

IMPERVIOUS DMAS				
DMA	AREA	SURFACE	DRAINS TO	IMP #
1	11,124± SF	PAVEMENT	1	
2	1,931± SF	PAVEMENT	3	
3	12,579± SF	PAVEMENT	8	
4	5,787± SF	ROOF	DMA-16	
5	1,133± SF	PAVEMENT	DMA-16	
6	1,741± SF	PAVEMENT	DMA-16	
8	2,800± SF	PAVEMENT	2	
9	525± SF	ROOF	6	
10	2,221± SF	ROOF	5	
11	1,191± SF	ROOF	4	
13	1,712± SF	ROOF	9	
14	2,521± SF	ROOF	7	
TOTAL	47,15± SF			

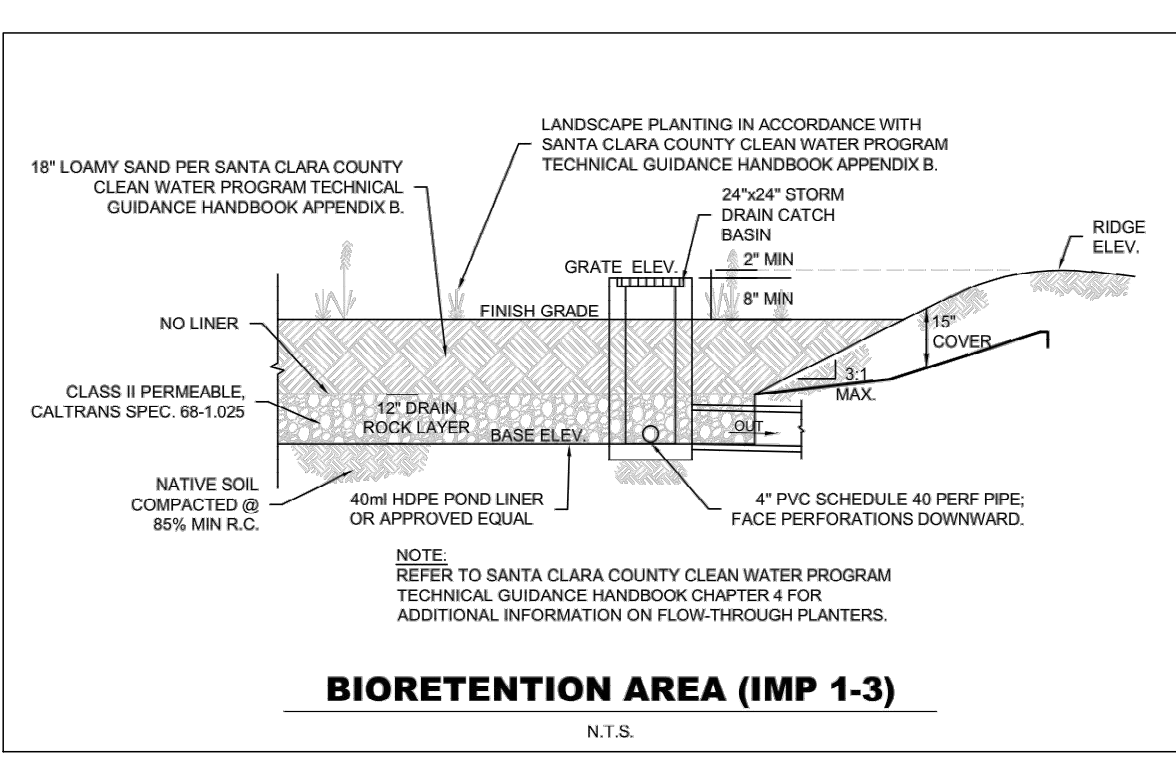
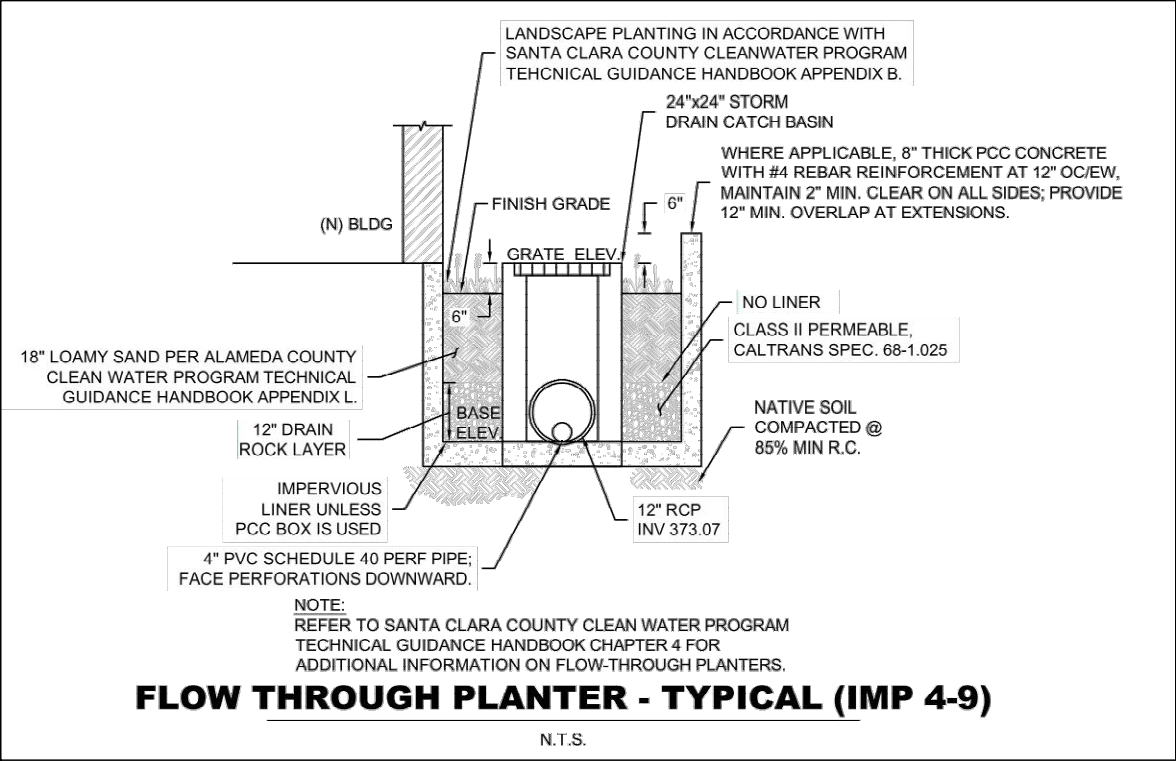
SELF-TREATING DMAS		
DMA	AREA	SURFACE
7	1,250± SF	LANDSCAPE
17	4,010± SF	LANDSCAPE
18	4,332± SF	LANDSCAPE
TOTAL	9,592± SF	

SELF-RETAINING DMAS		
DMA	AREA	SURFACE
12	1,207±	PERVIOUS
15	643±	LANDSCAPE
16	28,075± SF	LANDSCAPE
TOTAL	29,925± SF	

IMP	AREA DRAINING TO IMP (SF)	4% OF AREA (SF)	SIZE (SF)
1	11,124	445	507± SF
2	2,800	112	184± SF
3	1,931	77	91± SF
4	1,191	48	312± SF
5	2,221	89	221± SF
6	525	21	60± SF
7	2,521	101	214± SF
8	12,702	508	628± SF
9	1,712	68	73± SF



1 PROPOSED CIVIL PLAN
SCALE: 1" = 20'-0"



LEGEND	
	FLOW-THROUGH PLANTER (IMP)
	AREA DRAIN
	OVERFLOW DRAIN
	STORM DRAIN LINE
	DENOTES AREA (DMA)
	DRAINAGE MANAGEMENT AREA
	INTEGRATED MANAGEMENT PRACTICE

- GENERAL NOTES
- THIS IS A CONCEPTUAL CIVIL PLAN FOR PLAN REVIEWER COMMENTS. FULL SET OF PLANS AND DETAILS FOR PERMIT WILL BE SUBMITTED AND PREPARED BY A LICENSED CIVIL ENGINEER.
 - THIS PLAN REFLECTS THE (E) SITE CONDITIONS TO THE BEST OF OUR CURRENT KNOWLEDGE.

VILA MONTE
CARE FACILITY

APN 767-03-017

PROJECT ADDRESS
17090 PEAK AVENUE,
MORGAN HILL, CA 95037

MANAGED BY: HGCI
B-GENERAL BUILDING CONTRACTOR
LIC.# 720437



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12.30.2021	CUP: 3RD COMMENT RESPONSE
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DRAWN BY	MDC
CHECKED BY	NW

CONCEPTUAL CIVIL PLAN
SHEET TITLE

C0.02

SHEET NO.

CITY OF MORGAN HILL
PLAN APPROVED

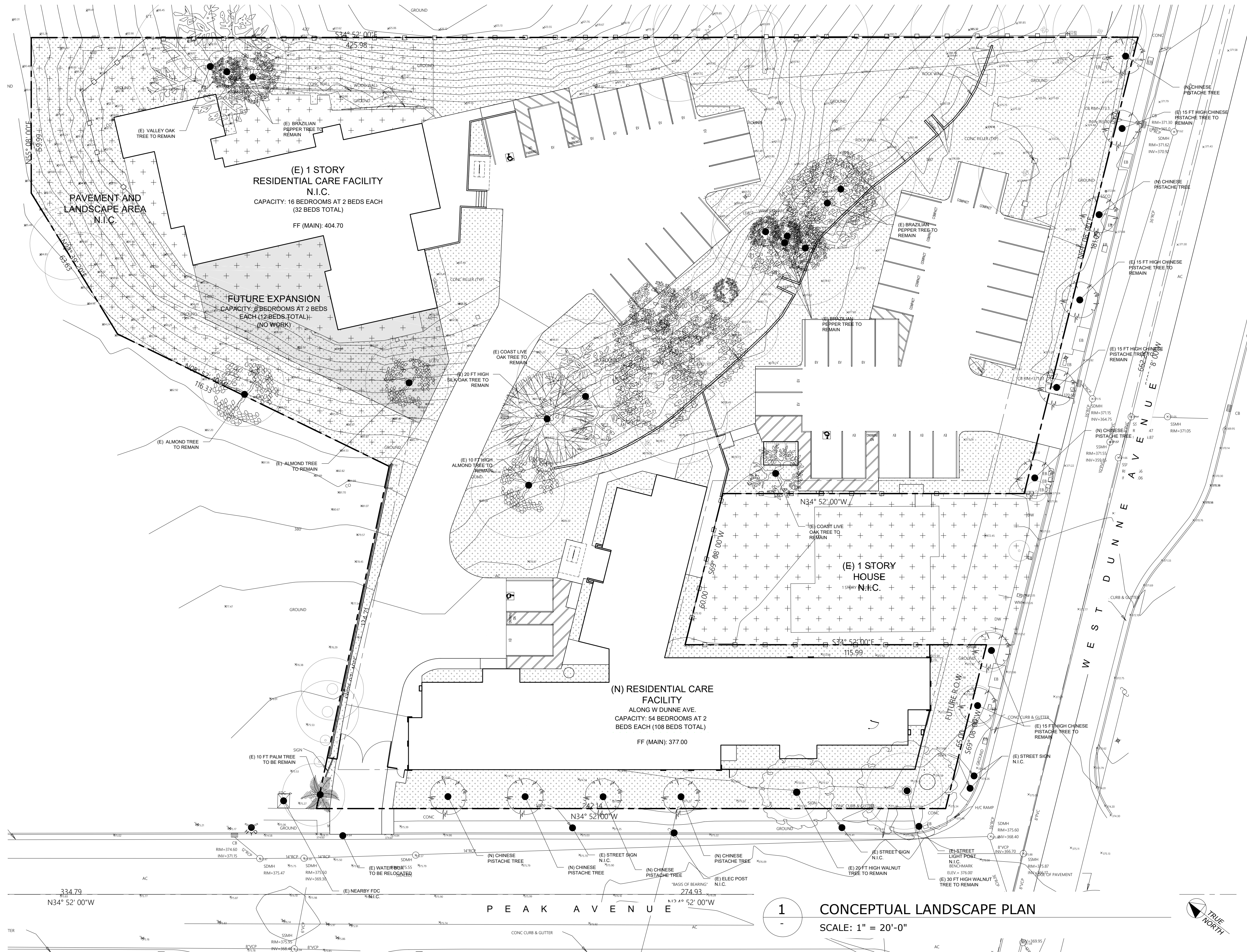
THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 2/8/2024

SR2020-0026

FILE NUMBER

PLANNING OFFICIAL



GENERAL NOTES

- THIS IS A CONCEPTUAL LANDSCAPE PLAN FOR PLAN REVIEWER COMMENTS. FULL SET OF PLANS AND DETAILS FOR PERMIT WILL BE SUBMITTED AND PREPARED BY A LICENSED LANDSCAPE ARCHITECT.
- LANDSCAPE SHALL HAVE AN AUTOMATED IRRIGATION SYSTEM. A DETAILED IRRIGATION PLAN WILL BE SUBMITTED FOR THE BUILDING PLAN CHECK.
- THIS PLAN REFLECTS THE (E) SITE CONDITIONS TO THE BEST OF OUR CURRENT KNOWLEDGE.
- THE MAJORITY OF TREES ON SITE HAVE NOT BEEN PLANTED. THEY HAVE GROWN NATURALLY OVER TIME. THE FEW OAKS THAT ARE SIGNIFICANT SIZE AND STRUCTURE ARE BEING RETAINED AND PROTECTED UNLESS OTHERWISE NOTED.
- CONTRACTOR TO VERIFY LOCATION AND DEPTH OF ALL (E) UTILITIES PRIOR TO ANY EXCAVATION.
- ALL SPOILS, DEBRIS AND INCIDENTALS ITEMS TO BE REMOVED SHALL BE HAULED OFF SITE BY THE CONTRACTOR AND BE DISPOSED OF IN A LAWFUL MANNER AS IT ACCUMULATES.
- CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE IN ANY WAY ANY (E) ELEMENTS NOT DESIGNATED FOR REMOVAL.
- SHUT OFF ALL WATER, GAS, AND ELECTRIC WILL NEED TO BE COORDINATED WITH (E) SITE OPERATIONS.
- THE (E) RCF ARE TO REMAIN IN USE DURING CONSTRUCTION.
- THE SITE MUST BE CLEANED AT THE END OF EACH BUSINESS DAY.

101 LUCAS VALLEY RD. STE 150
SAN RAFAEL, CA 94903
T: 415.697.6880 F: 925.558.4814

HGCI
DESIGN|CONSTRUCT|WORK|LIVE

VILA MONTE
CARE FACILITY

APN 767-03-017

PROJECT ADDRESS
17090 PEAK AVENUE,
MORGAN HILL, CA 95037

MANAGED BY: HGCI
B-GENERAL BUILDING CONTRACTOR
LIC.# 720437



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04.11.2023	CUP: PLAN UPDATE

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DRAWN BY	MDC
CHECKED BY	NW

CONCEPTUAL LANDSCAPE
PLAN

SHEET TITLE

SHEET NO.

L0.00