

GENERAL NOTES

1. THESE GENERAL NOTES SHALL APPLY TO ALL WORK AND ALL DRAWINGS IN THIS SET AND SHALL EXTEND TO ANY CHANGES, EXTRAS, OR ADDITIONS AGREED TO DURING THE COURSE OF THE WORK.

2. BIDDERS ARE INSTRUCTED TO VISIT AND INSPECT PREMISES PRIOR TO SUBMITTING THEIR PROPOSALS AND TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS UNDER WHICH THE WORK WILL BE PERFORMED. NO SUBSEQUENT EXTRAS OR ADDITIONS WILL BE ALLOWED ON ANY CLAIM OF LACK OF KNOWLEDGE OF CONDITIONS OR CIRCUMSTANCES ABOUT WHICH THE BIDDER COULD HAVE INFORMED HIMSELF. APPOINTMENTS SHALL BE ARRANGED THROUGH THE OWNER'S REPRESENTATIVE.

3. BIDDERS SHALL MAKE KNOWN TO THE DESIGNER ANY LIMITATIONS, EXCLUSIONS, OR MODIFICATIONS TO THE PROJECT DURING BIDDING PHASE OF THE PROJECT. UNLESS NOTED THEY WILL BE PRESUMED INCLUDED BY THE OWNER.

4. THE PROJECT OWNER SHALL PAY ALL FEES AND SECURE ALL REQUIRED PERMITS FOR THE WORK INDICATED IN THESE DRAWINGS.

5. CONTRACTORS SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE PREMISES ON WHICH THE WORK IS PERFORMED AND FOR SAFETY OF ALL PERSONS AND PROPERTY ON THE SITE DURING PERFORMANCE OF THE CONTRACT. THESE REQUIREMENTS SHALL NOT BE LIMITED TO NORMAL WORKING HOURS, BUT SHALL APPLY CONTINUOUSLY.

6. THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERM "OR APPROVED EQUAL" IS USED, THE DESIGNER SHALL DETERMINE THE EQUALITY BASED UPON THE INFORMATION SUBMITTED BY THE CONTRACTOR FROM THE MANUFACTURER.

7. CONTRACTORS SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND VERIFY ALL GOVERNING DIMENSIONS AT THE BUILDING PRIOR TO THE COMMENCEMENT OF WORK. THEY SHALL EXAMINE ALL ADJOINING WORK OR AREAS UPON WHICH THE PERFORMANCE OF HIS WORK IS IN ANY WAY DEPENDENT. ANY VARIATIONS OR DISCREPANCIES SHALL BE REPORTED WITH ALL DUE EXPEDIENCY TO THE DESIGNER PRIOR TO THE FABRICATION OR ERECTION OF THE WORK IN QUESTION.

8. CONTRACTORS SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER THEIR JURISDICTION. AFTER EXECUTION OF THE CONSTRUCTION CONTRACT, THE AWARDED CONTRACTORS WILL RECEIVE THE COMPLETE SET OF DOCUMENTS AS "ISSUED FOR CONSTRUCTION."

9. ANY INFORMATION REQUIRED BY THE CONTRACTORS THAT IS NOT SHOWN ON THE DRAWINGS OR OTHER CONTRACT DOCUMENTS SHALL BE REQUESTED BY THE GENERAL CONTRACTOR FROM THE DESIGNER PRIOR TO BID OR COMMENCING ANY WORK.

10. NO PORTION OF WORK REQUIRING A SHOP DRAWING OR SAMPLE REVIEW SHALL BE COMMENCED UNTIL THE SUBMITTAL HAS BEEN APPROVED BY THE DESIGNER.

11. SHOULD THE CONTRACTORS BY THEIR OWN FAULT FAIL TO ADHERE TO THE CONSTRUCTION SCHEDULE, HE SHALL, AT THE DISCRETION OF THE OWNER, PERFORM WORK ON PREMIUM TIME TO CONFORM WITH THE SCHEDULE. ANY EXPENSES ATTRIBUTED TO SUCH WORK SHALL BE BORNE BY THAT CONTRACTOR.

12. CONTRACTORS SHALL SUPPLY PRIOR TO COMMENCING WORK A LIST OF ALL SUB CONTRACTORS TO THE DESIGNER. THE NAME OF THE PRINCIPAL CONTACT, THE ADDRESS AND THE PHONE NUMBER OF EACH SUB CONTRACTOR SHALL BE INCLUDED IN THE LIST.

13. CONTRACTORS SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE CITY AS TO THE HOURS OF AVAILABILITY, AND ALSO TO THE MANNER OF HANDLING MATERIALS, EQUIPMENT, AND DEBRIS TO AVOID CONFLICT AND INTERFERENCE WITH NORMAL OPERATIONS.

14. ALL DIMENSIONS SHOWN ARE TAKEN TO FACE OF FINISH. U.O.N.

15. A WEEKLY REPORT FORM, SIGNED BY THE CONTRACTOR'S SUPERINTENDENT, SHALL BE COMPLETED AND DELIVERED TO THE ARCHITECT AS REQUIRED BY THE OWNER. THIS REPORT SHALL INDICATE WORK IN PROGRESS AND ANY ITEMS TO BE RESOLVED.

16. CONTRACTORS SHALL BE ANSWERABLE TO THE OWNER'S REPRESENTATIVE FOR HIS WORK AND SHALL NOT ACCEPT INSTRUCTION FROM OTHER PERSONNEL WITHOUT VERIFICATION FROM THE DESIGNER. CONTRACTOR WILL BE LIABLE FOR ANY EXPENSE CAUSED BY THE EXECUTION OF WORK WITHOUT SUCH VERIFICATION AND FOR THE EXPENSES CAUSED BY ITS REMOVAL OR CORRECTION.

17. A REPRESENTATIVE OF THE GENERAL CONTRACTOR AUTHORIZED TO DISCUSS THE WORK AND RECEIVE INSTRUCTIONS FROM THE DESIGNER SHALL BE AVAILABLE AT ALL TIMES WHILE THE WORK IS IN PROGRESS.

18. GREAT CARE SHALL BE EXERCISED TO ASSURE THAT THE BUILDING SHALL BE PROTECTED FROM DAMAGE THAT COULD OCCUR BECAUSE OF THIS WORK AND CONTRACTORS SHALL PROVIDE PROTECTION FOR EXISTING AREAS AND NEW WORK AREAS. ANY DAMAGES DUE TO THIS WORK OR ACCIDENTS SHALL BE REPAIRED, REPLACED OR PATCHED AT THE DISCRETION OF THE OWNER. CONTRACTORS SHALL BEAR FINANCIAL RESPONSIBILITY FOR SUCH DAMAGE AND ANY WORK UNDERTAKEN TO CORRECT IT.

19. THE CONTRACTOR SHALL EXERCISE GREAT CARE IN PROTECTING ALL MATERIALS EXISTING ON THE JOB FROM DAMAGE AND SHALL MAINTAIN PROTECTION FOR ALL TRAFFIC AREAS OF THE BUILDING TO BE USED DURING EXECUTION OF WORK RELATING TO THIS CONTRACT WITH THE UNDERSTANDING THAT THE CONTRACTOR WILL RECTIFY ANY DAMAGE ATTRIBUTABLE TO HIS OPERATIONS.

20. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL WOODWORK, DOORS AND FRAMES AND SUCH WORK AS MAY BE SPECIFICALLY REQUESTED IN THE CONTRACT DOCUMENTS TO THE DESIGNER FOR WRITTEN APPROVAL. SHOP DRAWINGS SHALL SHOW ALL DIMENSIONS AND CONDITIONS. WHEN THE DESIGNER REQUIRES A REVISION AND RESUBMITTAL OF THE SHOP DRAWINGS SUCH RESUBMITTALS SHALL OCCUR WITHIN ONE (1) WEEK OF NOTIFICATION OF SUCH REQUIREMENT.

21. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXTENT, NATURE AND SCOPE OF WORK DESCRIBED IN THE CONTRACT DOCUMENTS AND WILL COORDINATE WITH THE DESIGNER OR THE OWNER'S REPRESENTATIVE THE INTERFACING OF THE OWNER'S WORK WITH THAT INDICATED IN THE CONTRACT DOCUMENTS. THE GENERAL CONTRACTOR IS TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO EXECUTE ALL WORK AS SHOWN ON THESE DRAWINGS WITH THE EXCEPTION OF THOSE ITEMS NOTED AS SEPARATE CONTRACTS OR N.I.C. HE SHALL BE RESPONSIBLE FOR COORDINATING THIS WORK WITH THAT OF ALL OTHER TRADES, INCLUDING THOSE OPERATING UNDER SEPARATE CONTRACT WITH THE OWNER.

22. ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN AND IN ACCORDANCE WITH THE HIGHEST STANDARD OF QUALITY AND THE BEST PRACTICES OF THE TRADES INVOLVED. CARE SHALL BE TAKEN TO ENSURE COMPLIANCE WITH BUILDING REGULATIONS AND/OR GOVERNMENTAL LAWS, STATUTES OR ORDINANCES CONCERNING THE USE OF LABOR.

23. ALL MATERIALS SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT UNLESS OTHERWISE NOTED.

24. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE AND IN PROPER ALIGNMENT.

25. MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS UNLESS OTHERWISE NOTED.

26. WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL CONSTRUCTION SAFETY AND SANITARY LAWS, CODES, STATUTES AND ORDINANCES. ANY DISCREPANCIES, VARIATIONS OR OMISSIONS IN THE CONTRACT DOCUMENTS SHALL BE REPORTED PROMPTLY TO THE DESIGNER.

27. TIME IS OF THE ESSENCE AND THE CONTRACTORS SHALL KEEP SUFFICIENT WORKMEN ON THE JOB SITE AT ALL TIMES TO PERFORM THE WORK IN THE MOST EXPEDITIOUS MANNER CONSISTENT WITH GOOD WORKMANSHIP, SOUND BUSINESS PRACTICE, AND THE BEST INTERESTS OF THE OWNER.

28. IT IS EXPECTED THAT SUFFICIENT LABOR WILL BE PROVIDED SO THAT ACTIVITY FOR ANY GIVEN TRADE WILL NOT BE LIMITED TO ONLY ONE PART OF THE TOTAL WORK AREA.

29. EACH TRADE WILL BE EXPECTED TO PROCEED IN A FASHION THAT WILL NOT DELAY OR DETAIN THE TRADE FOLLOWING THEM.

30. ALL WORK SHALL BE COMPLETED FOR THE AGREED CONTRACT PRICE WITHOUT RE COURSE TO LABOR STOPPAGES OR REVISIONS OF GOVERNING REGULATIONS, LAWS, AND CODES ABOUT WHICH THE CONTRACTOR COULD HAVE REASONABLY BEEN EXPECTED TO HAVE ANY FOREWARNING AND TO HAVE MADE APPROPRIATE CONTINGENCY PLANS PRIOR TO SIGNING OF THE CONTRACT.

31. THE CONTRACTOR SHALL NOT PROCEED WITH ANY ADDITIONAL WORK OR CHANGES FOR WHICH HE EXPECTS ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER. FAILURE TO OBTAIN SUCH AUTHORIZATION SHALL INVALIDATE ANY CLAIM FOR SUCH EXTRA COMPENSATION.

32. DO NOT SCALE DRAWINGS: DIMENSIONS SHALL GOVERN. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS. LARGE SCALE DETAILS SHALL GOVERN OVER SMALL SCALE DETAILS. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO COMMENCING WORK.

33. CUTTING, CHASING, DRILLING, OR DEMOLITION OF WALLS, SLABS, ETC. REQUIRING THE USE OF JACK HAMMERS OR OTHER HEAVY HAND OR POWER TOOLS SHALL BE PERFORMED PER CITY REQUIREMENTS.

34. ALL INSTALLED PLUMBING, MECHANICAL, AND ELECTRICAL EQUIPMENT SHALL OPERATE AS QUIETLY AND AS FREE OF VIBRATIONS AS POSSIBLE.

35. ALL WORK AND MATERIALS SHALL BE GUARANTEED AGAINST DEFECTS IN DESIGN, WORKMANSHIP, AND MATERIALS FOR A PERIOD OF AT LEAST ONE (1) YEAR FROM APPROVAL FOR FINAL PAYMENT.

36. CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE OF ACCUMULATIONS OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS OPERATIONS OR OPERATIONS OF SEPARATE CONTRACTORS.

37. UPON COMPLETION OF THE WORK THE CONTRACTOR SHALL NOTIFY THE OWNER WHICH SHALL COMPILE A "PUNCH LIST" OF CORRECTIONS AND UNSATISFACTORY AND/OR INCOMPLETE WORK. FINAL PAYMENT WILL BE CONTINGENT ON THE COMPLETION OF THESE ITEMS UNDER THE TERMS OF THE CONTRACT.

38. THE MAXIMUM FLAME SPREAD CLASSIFICATION OF FINISH MATERIALS USED ON WALLS AND CEILINGS MUST COMPLY WITH CBC SECTION R302.

39. DRAWINGS IN THIS SET AND THE DESIGNS THEREON ARE THE PROPERTY OF HGCI, AND SHALL NOT BE REPRODUCED IN ANY WAY WITHOUT SPECIFIC WRITTEN AUTHORIZATION FROM HGCI. ALSO, THE DESIGN DOCUMENTS ARE PREPARED ASSUMING HGCI WILL BE THE INSTALLING CONTRACTOR. SHOULD OWNER CHOOSE ANOTHER CONTRACTING FIRM OTHER THAN HGCI TO PERFORM THE WORK INCLUDED IN THESE DOCUMENTS, THE OWNER ASSUMES RESPONSIBILITY FOR ANY ERRORS AND/OR OMISSIONS, WHETHER ONLY CLAIMED OR ACTUAL AND WILL DEFEND HGCI AGAINST SAID ERRORS AND OMISSIONS AND HOLD HGCI HARMLESS FOR SAME.

40. IT IS INTENDED THAT THE CONTRACTORS PROVIDE A COMPLETE JOB AND ANY OMISSIONS IN THESE NOTES OR IN THE OUTLINE OF WORK SHALL NOT BE CONSTRUED AS RELIEVING THE GENERAL CONTRACTOR OF SUCH RESPONSIBILITIES AS ARE IMPLIED BY THE SCOPE OF THEIR WORK EXCEPT FOR ITEMS SPECIFICALLY NOTED.

41. ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL FIXTURES, LAMPS AND ACCESSORIES AS NOTED ON THE DRAWINGS. SUBSTITUTIONS WILL NOT BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER.

42. HEATING, VENTILATING AND AIR CONDITIONING: WORK SHALL CONSIST OF ALL LABOR, MATERIALS AND SERVICES REQUIRED FOR MODIFICATIONS TO THE EXISTING SYSTEMS, AND SHALL RESULT IN A COMPLETE OPERABLE FORCED AIR HEATING, VENTILATING AND AIR CONDITIONING SYSTEM, IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES, REQUIREMENTS OF THE SERVICING UTILITY AND FUNCTIONS SHOWN ON THE DRAWINGS.

43. ELECTRICAL: WORK SHALL CONSIST OF ALL LABOR, MATERIALS AND SERVICES REQUIRED FOR MODIFICATIONS TO THE EXISTING SYSTEMS, AND SHALL RESULT IN A COMPLETE WIRING SYSTEM INCLUDING OUTLETS, WALL SWITCHES, AND INSTALLATION OF LIGHTING FIXTURES, LAMPS, APPLIANCES, AND LIKE ACCESSORIES ALL AS INDICATED ON THE DRAWINGS OR REQUIRED FOR THE COMPLETION OF THE WORK.

44. PLUMBING: WORK SHALL CONSIST OF ALL LABOR, MATERIALS AND SERVICES REQUIRED FOR MODIFICATIONS TO THE EXISTING SYSTEMS, AND SHALL RESULT IN A COMPLETE SYSTEM INCLUDING DRAIN-WASTE AND VENT LINES, HOT AND COLD WATER LINE, AND GAS LINES IF INDICATED ON THE DRAWINGS, ALL EXCAVATION AND BACKFILL REQUIRED, AND THE INSTALLATION OF ALL FIXTURES AND APPLIANCES. THE SYSTEM SHALL MEET THE REQUIREMENTS OF THE STATE BOARD OF HEALTH AND ALL LOCAL CODES AND REGULATIONS.

45. THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL ALL EXIT SIGNS AS REQUIRED BY LOCAL BUILDING CODES UPON APPROVAL OF SIGN LOCATIONS AND STYLES BY THE DESIGNER.

46. ONE PERMANENT METER, EITHER GAS OR ELECTRIC, WILL BE AUTHORIZED UNTIL THE PROJECT IS FULLY COMPLETED AND APPROVED BY THE PLANNING DEPARTMENT, RVFD, PUBLIC WORKS DEPARTMENT AND BUILDING DEPARTMENT. THE CONTRACTOR WILL HAVE THE OPTION OF WHICH METER, GAS OR ELECTRIC. TEMPORARY POWER OR HEAT MAY BE REQUIRED.

47. SPECIAL INSPECTIONS SHALL BE PERFORMED BY AN INDEPENDENT AGENCY CERTIFIED TO PERFORM THE DESIGNATED INSPECTION. REPORTS OF ALL INSPECTIONS MUST BE PROVIDED TO THE BUILDING OFFICIAL STATING THE INSPECTIONS AND/OR TESTS WERE MADE AND THE WORK CONSTRUCTION CONFORMS TO THE DESIGN.

48. CONTRACTOR SHOULD NOT REQUEST A FRAMING INSPECTION UNTIL THE MOISTURE CONTENT IS LESS THAN 19%.

ABBREVIATIONS

A.B.	ANCHOR BOLT
A.C.	ASPHALT CONCRETE
A/C	AIR CONDITIONING
A.F.F.	ABOVE FINISH FLOOR
A.G.	ADJUSTABLE
A.F.S.	AUTOMATIC FIRE SPRINKLER
A.LUM.	ALUMINUM
ANGLE	ANGLE
ANOD.	ANODIZED
APPROX.	APPROXIMATELY
ARM.	ARMATURE
ASPH.	ASPHALT
AT	AT
BD.	BOARD
BDLG.	BUILDING
BLKG.	BLOCKING
BLK.	BLK.
B.O.J.	BOTTOM OF JOISTS
BOT.	BOT.
B.U.	BUILT-UP
CAB.	CABINET
CAB. PL.	CADMIUM PLATED
CAC.	CALCIUM CARBONATE
CAH.	CHALKBOARD
C.D.	CUP DISPENSER
CEM.	CEMENT
CER.	CERAMIC
C.G.	CORNER GUARD
CHANNEL	CHANNEL
C.I.	CASED
C.J. OR C.L.	CONSTRUCTION JOINT
CEMENT	CEMENT
CF.	CF.
CEG.	CEILING
C.M.U.	CONCRETE MASONRY UNIT
COL.	COL.
COMP.	COMPOSITION
CONC.	CONCRETE
CONT.	CONTINUOUS
CONTR.	CONTRACTOR
C.O.T.G.	CLEAN OUT TO GRADE
COUNTERS.	COUNTERS
C.W.	COLD WATER
DET.	DETAIL
D.F.	Douglas Fir
DIA. OR Ø	DIAMETER
DN.	DOWN
DR.	DR.
D.S.	DOOR
DWGS.	DRAWINGS
EA.	EACH
ELECT.	ELECTRICAL
ELEV.	ELEVATION
ENAM.	ENAMEL
ENC.	ENCLOSURE
E.P.B.	ELectRIC PANEL BOARD
EQ.	EQUAL
EQUIP.	EQUIPMENT
E.W.C.	ELECTRIC WATER COOLER
E.W.H.	ELECTRIC WATER HEATER
EXIST.	EXISTING
EXIST. or (E)	EXISTING or (E)
EXT.	EXTERIOR
F.A.	FIRE ALARM
F.B.	FLAT BAR
FBRGL.	GLASS FIBER
F.G.	FOUNDATION
F.E.	FIRE EXTINGUISHER
F.E.C.	FIRE EXTINGUISHER CABINET
F.H.C.	FLAME HOSE CABINET
F.I.	FLAT IRON
F.I.C.	FLAT IRON CABINET
F.I.C. FLAT HEAD	FLAT HEAD
F.I.C. FINISH	FINISH
F.I.C. INSUL.	INSULATION
F.I.C. INT.	INTERIOR
F.O.C.	FACE OF CONCRETE
F.O.F.	FACE OF FINISH
F.O.M.	FACE OF MASONRY
F.O.S.	FACE OF STUD
F.O.T.	FACE OF TROWEL
F.R.P.	FLAT REINFORCED PLASTIC
F.R.P.	FLAT REINFORCED PLASTIC
GALV.	GALVANIZED IRON
GROSS	GROSS SQUARE FEET
G.V.C.B.	GATE VALVE IN CONCRETE BOX
G.Y.S.	GATE VALVE
G.Y.S.	GATE VALVE IN CONCRETE BOX
GUAGE	GUAGE
G.U.M.	MEMBRANE
M.F.R.	MANUFACTURER
M.H.	MANHOLE
M.I.N.	MINIMUM
M.I.C.	MICROSCOPIC
M.O.	MASONRY OPENING
M.S.	MACHINE SCREW
M.T.D.	MOLDED
M.T.L.	METAL
MUL.	MULSION
N.C.	NOT IN CONTRACT
N.S.F.	NET SQUARE FEET
N.T.S.	NOT TO SCALE
N.C.D.	NOT CONTRACT DRAWING
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
O.E.	OVERFLOW DRAIN
O.H.	OVERHEAD
O.P.G.	OPENING
O.P.P.	OPPOSITE
P.B.	PAN BAR
P.D.	PANHEAD DRIVEN FASTENER
P.H.	PHILLIPS HEAD
P.L.	PLATE
P.L.A.S.	PLASTER
P.L.A.M.	PLASTIC LAMINATE
P.L.Y.W.D.	PLYWOOD
POL.	POLISHED
PORC.	PORCELAIN
P.R.	POURED
P.S.D.	POWDER SOAP DISPENSER
P.T.	POINT
P.T.D.	POWDER TOWEL DISPENSER
P.T.N.	PARTITION
P.V.C.	POLY VINYL CHLORIDE
Q.T.	QUARRY TILE
R.	RISERS
R.A.	RETENTION AIR
RAD.	RADIUS
MATERIAL	MATERIAL
MAX.	MAXIMUM
M.B.	MACHINE BOLT
MECH.	MECHANICAL

23. ALL MATERIALS SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT UNLESS OTHERWISE NOTED.

24. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE AND IN PROPER ALIGNMENT.

25. MANUFACTURED MATERIALS AND EQUI

VILA MONTE CARE FACILITY

APN 767-03-017

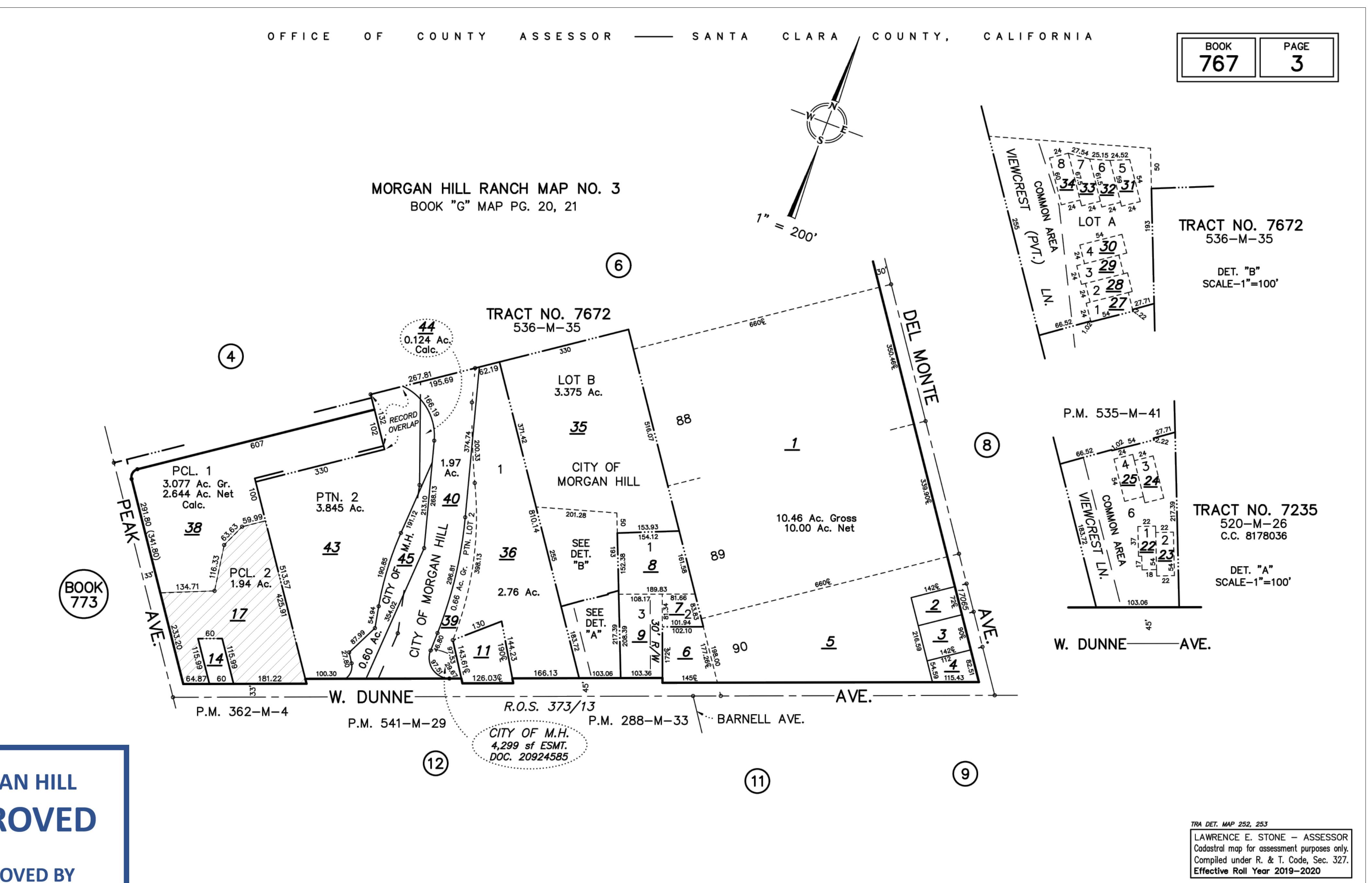
PROJECT ADDRESS
17090 PEAK AVENUE,
MORGAN HILL, CA 95037

MANAGED BY: HGCI
B-GENERAL BUILDING CONTRACTOR
LIC.# 720437



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REVISIONS



CITY OF MORGAN HILL

PLAN APPROVED

THIS PLAN WAS APPROVED BY THE PLANNING DIVISION

ON 2/8/2024

SR2020-0026

FILE NUMBER

T. H. Hargrave
PLANNING OFFICIAL

ASSESSORS MAP

ASSESSORS MAP

A0.02

**VILA MONTE
CARE FACILITY**

APN 767-03-017

PROJECT ADDRESS
17090 PEAK AVENUE,
MORGAN HILL, CA 95037

MANAGED BY: HGCI
B-GENERAL BUILDING CONTRACTOR
LIC.# 720437



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REVISIONS



NEARBY PROPERTY:
400 W DUNNE AVE- 1 STORY HOUSE

1
-
SCALE: N/A



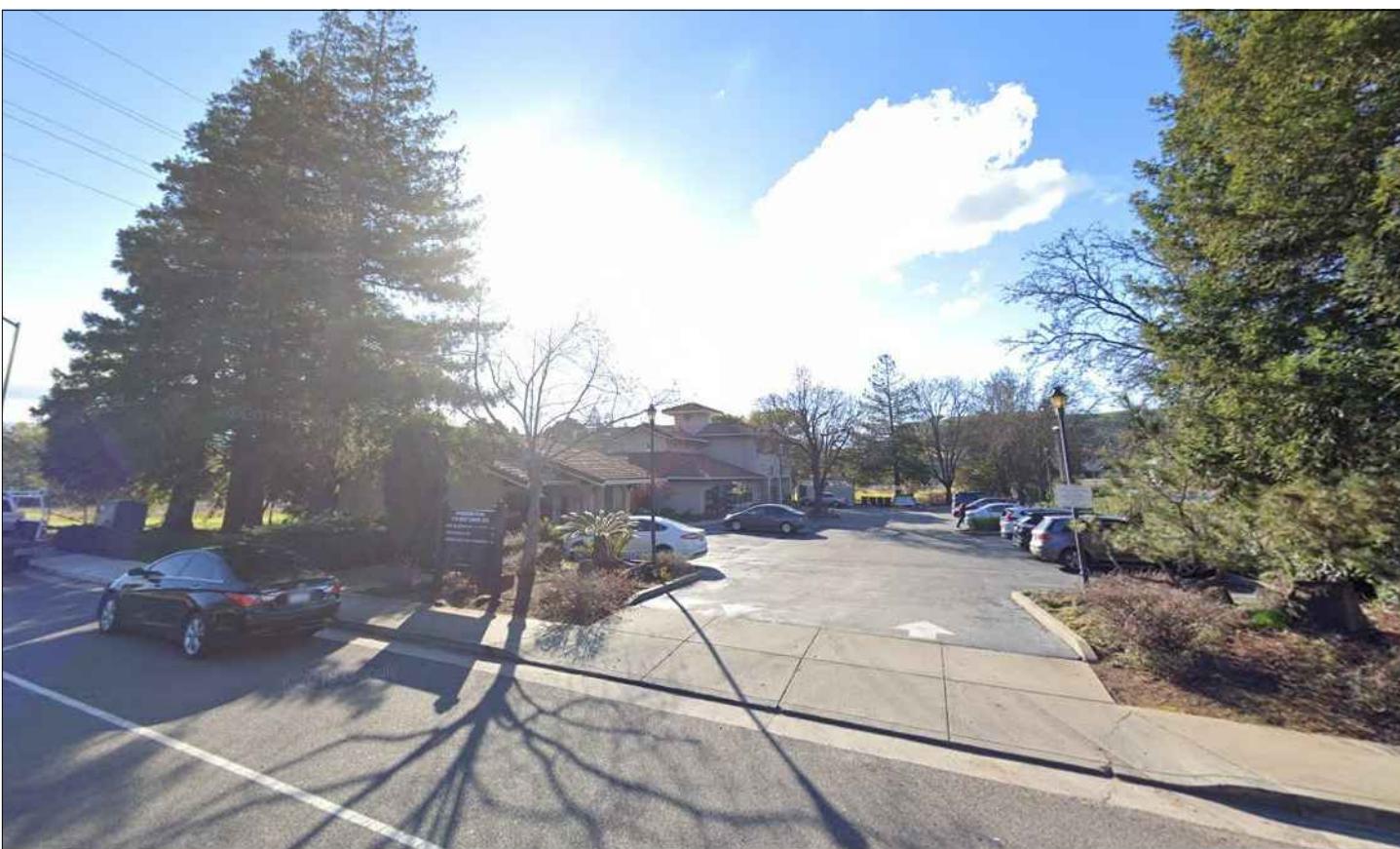
NEARBY PROPERTY:
380 W DUNNE AVE- LEVERTON MASONIC CENTER

2
-
SCALE: N/A



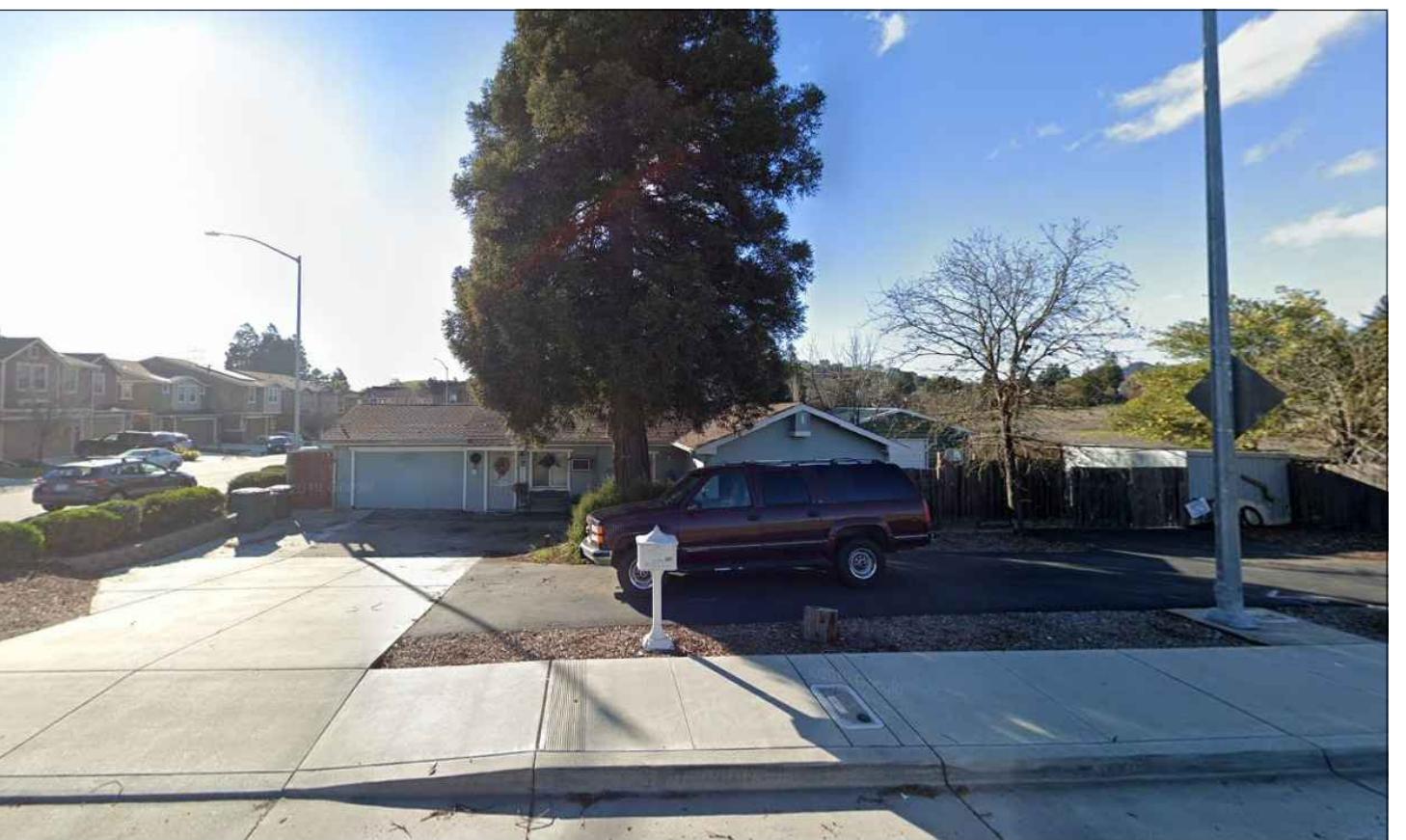
NEARBY PROPERTY:
385 W DUNNE AVE- 1 STORY HOUSE

3
-
SCALE: N/A



NEARBY PROPERTY:
370 W DUNNE AVE- EVERGREEN PARK

4
-
SCALE: N/A



NEARBY PROPERTY:
310 W DUNNE AVE- 1 STORY HOUSE

5
-
SCALE: N/A



NEARBY PROPERTY:
275 W DUNNE AVE- 1 STORY HOUSE

6
-
SCALE: N/A

**CITY OF MORGAN HILL
PLAN APPROVED**

**THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION**

ON 2/8/2024

SR2020-0026

FILE NUMBER


PLANNING OFFICIAL

DATE 11.02.2020
SCALE AS NOTED
PROJECT ID 19037
DRAWN BY MDC
CHECKED BY NW

**EXISTING CONDITIONS AND
NEARBY PROPERTIES
PHOTOS 2/2**

SHEET TITLE

SHEET NO.

A1.02

**VILA MONTE
CARE FACILITY**

APN 767-03-017

PROJECT ADDRESS
17090 PEAK AVENUE,
MORGAN HILL, CA 95037

MANAGED BY: HGCI
B-GENERAL BUILDING CONTRACTOR
LIC.# 720437

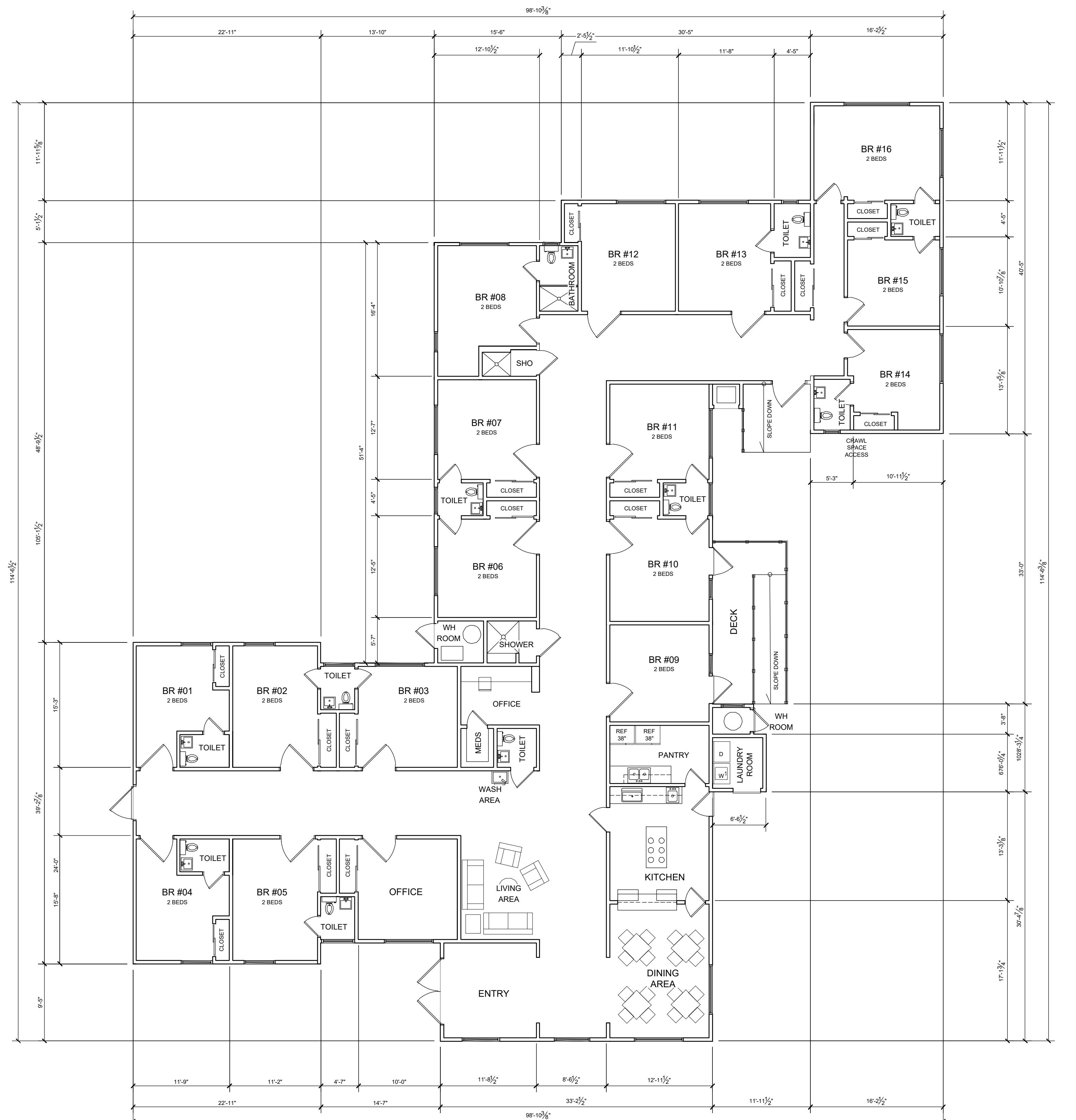


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REVISIONS



1
-

(E) RCF FLOOR PLAN
SCALE: 1/8" = 1'-0"



**CITY OF MORGAN HILL
PLAN APPROVED**

**THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION**

ON 2/8/2024

SR2020-0026

FILE NUMBER


PLANNING OFFICIAL

DATE 12.30.2021
SCALE AS NOTED
PROJECT ID 19037
DRAWN BY MDC
CHECKED BY NW

DEMOLITION SITE PLAN
SHEET TITLE
SHEET NO.

A1.03a



CITY OF MORGAN HILL

PLAN APPROVED

THIS PLAN WAS APPROVED BY THE PLANNING DIVISION

ON 2/8/2024

SR2020-0026

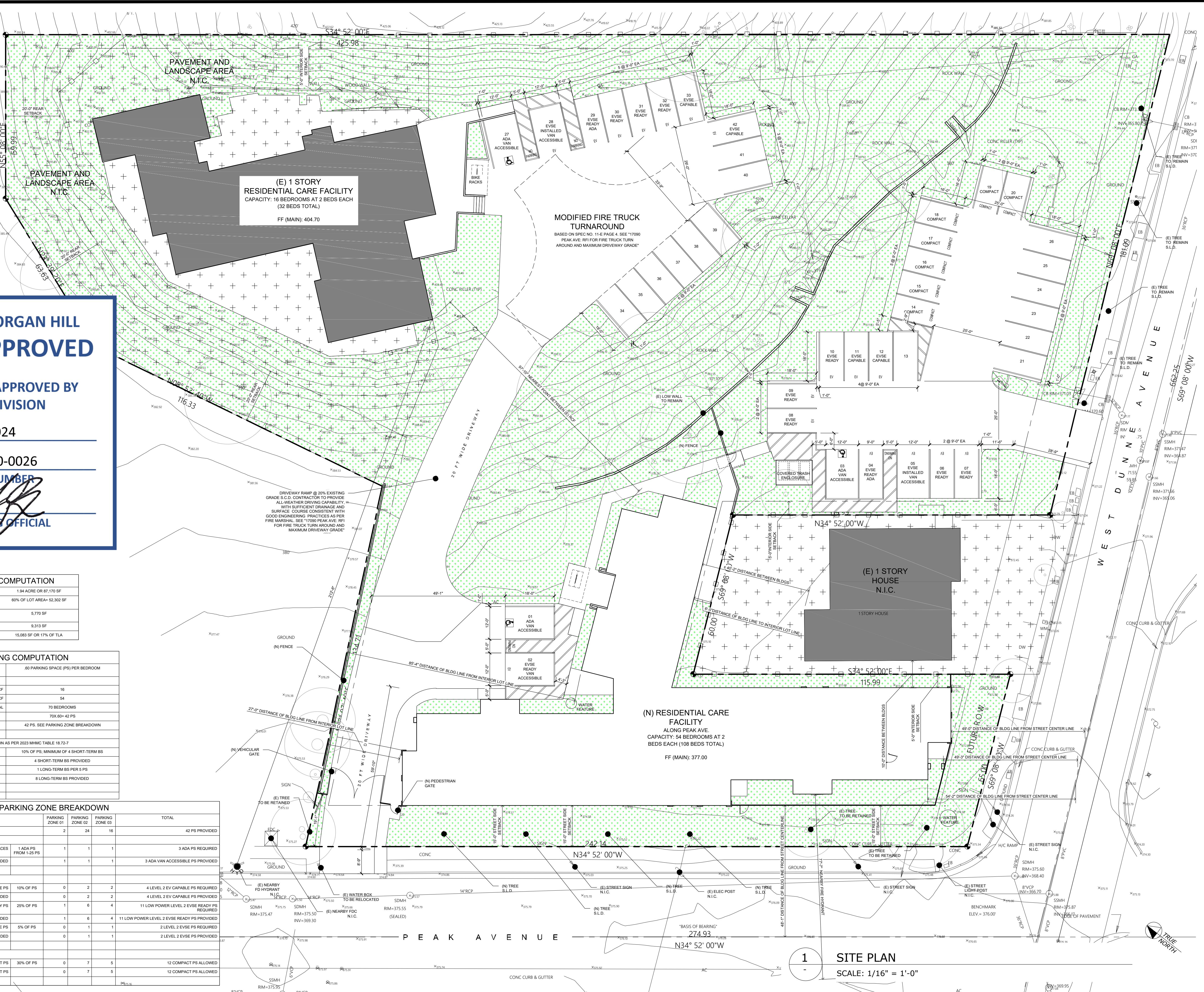
FILE NUMBER

PLANNING OFFICIAL

BUILDING COVERAGE COMPUTATION	
TOTAL LOT AREA (TLA)	1.94 ACRE OR 87,170 SF
ALLOWABLE BLDG COVERAGE AS PER CITY OF 2023 MORGAN HILL MUNICIPAL CODE (MHMC) TABLE 18.18-3	60% OF LOT AREA= 52,302 SF
(E) RESIDENTIAL CARE FACILITY (RCF) BLDG COVERAGE AREA	5,770 SF
(N) RCF BLDG COVERAGE AREA	9,313 SF
TOTAL PROPOSED BLDG COVERAGE AREA:	15,083 SF OR 17% OF TLA

VEHICLE PARKING COMPUTATION	
PARKING REQUIREMENT AS PER 2023 MHMC TABLE 18.72-2:	.60 PARKING SPACE (PS) PER BEDROOM
BEDROOM COUNT	
(E) RCF	16
(N) RCF	54
TOTAL	70 BEDROOMS
TOTAL REQUIRED PS	70X.60= 42 PS
PROVIDED PS	42 PS. SEE PARKING ZONE BREAKDOWN
BICYCLE PARKING COMPUTATION AS PER 2023 MHMC TABLE 18.72-7	
REQUIRED SHORT-TERM BICYCLE SPACES (BS)	10% OF PS; MINIMUM OF 4 SHORT-TERM BS
SHORT-TERM BS PROVIDED	4 SHORT-TERM BS PROVIDED
REQUIRED LONG-TERM BS	1 LONG-TERM BS PER 5 PS
LONG-TERM BS PROVIDED	8 LONG-TERM BS PROVIDED

PARKING ZONE BREAKDOWN					
DESCRIPTION		PARKING ZONE 01	PARKING ZONE 02	PARKING ZONE 03	TOTAL
TOTAL PARKING SPACE		2	24	16	42 PS PROVIDED
PER 2022 CBC TABLE 11B-208.2					
MINIMUM REQUIRED ACCESSIBLE PARKING SPACES	1 ADA PS FROM 1-25 PS	1	1	1	3 ADA PS REQUIRED
ACCESSIBLE PARKING PROVIDED		1	1	1	3 ADA VAN ACCESSIBLE PS PROVIDED
PER 2022 CALGREEN 4.106.4.2.2					
MINIMUM REQUIRED LEVEL 2 EV CAPABLE PS	10% OF PS	0	2	2	4 LEVEL 2 EV CAPABLE PS REQUIRED
LEVEL 2 EV CAPABLE PS PROVIDED		0	2	2	4 LEVEL 2 EV CAPABLE PS PROVIDED
MINIMUM REQUIRED LOW POWER LEVEL 2 EVSE READY PS	25% OF PS	1	6	4	11 LOW POWER LEVEL 2 EVSE READY PS REQUIRED
LOW POWER LEVEL 2 EVSE READY PS PROVIDED		1	6	4	11 LOW POWER LEVEL 2 EVSE READY PS PROVIDED
MINIMUM REQUIRED LEVEL 2 EVSE PS	5% OF PS	0	1	1	2 LEVEL 2 EVSE PS REQUIRED
LEVEL 2 EVSE PS PROVIDED		0	1	1	2 LEVEL 2 EVSE PS PROVIDED
PER 2022 MHMC 18.72.060.B					
MAXIMUM ALLOWABLE COMPACT PS	30% OF PS	0	7	5	12 COMPACT PS ALLOWED
MAXIMUM ALLOWABLE COMPACT PS		0	7	5	12 COMPACT PS ALLOWED
					17 B 0 5 1.8 5.8 175.16



SITE PLAN

Digitized by srujanika@gmail.com

A1.04

A1 (4)

SHEET NO. 1

SHEET NO. _____

A1.04

VILA MONTE
CARE FACILITY

APN 767-03-017

PROJECT ADDRESS
17090 PEAK AVENUE,
MORGAN HILL, CA 95037

MANAGED BY: HGCI
B-GENERAL BUILDING CONTRACTOR
LIC.# 720437



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REVISIONS

03.01.2021	CUP: 1ST COMMENT RESPONSE
12.30.2021	CUP: 3RD COMMENT RESPONSE
11.17.2022	PLAN UPDATE
04.11.2023	CUP: PLAN UPDATE
12.11.2023	DESIGN REVIEW RESPONSE 01

DATE

11.02.2020

SCALE

AS NOTED

PROJECT ID

19037

DRAWN BY

MDC

CHECKED BY

NW

SHEET NO.

A1.05

**CITY OF MORGAN HILL
PLAN APPROVED**

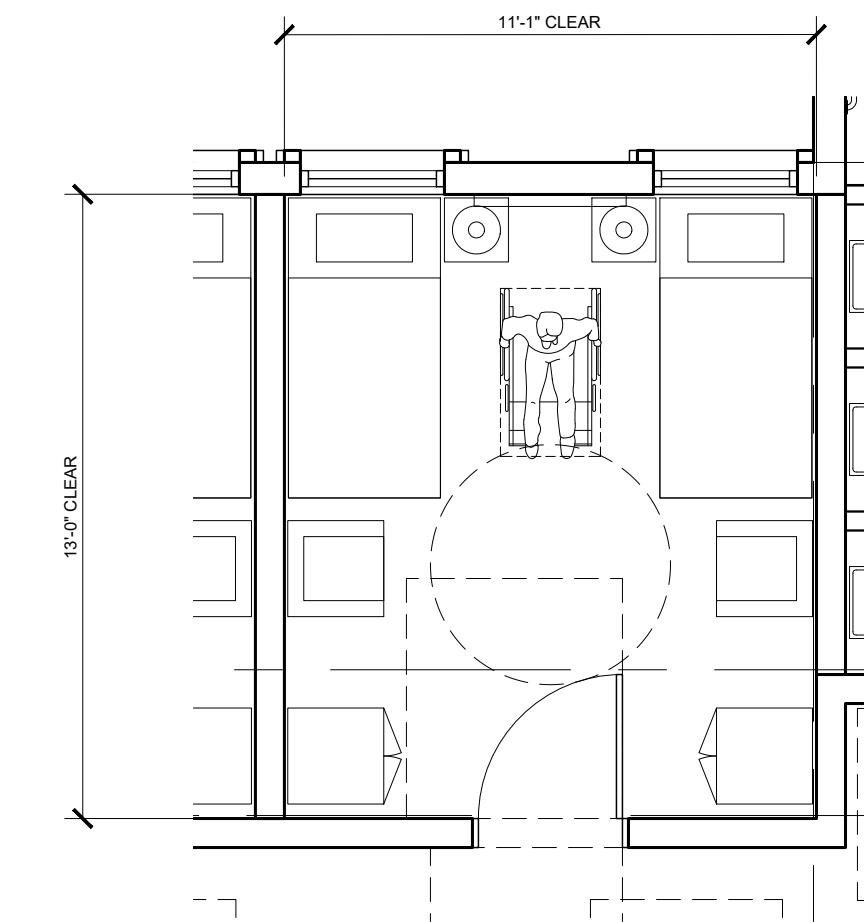
THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 2/8/2024

SR2020-0026

FILE NUMBER


PLANNING OFFICIAL



2 - TYPICAL BEDROOM PLAN
SCALE: 1/4" = 1'-0"

SHEET TITLE

SHEET NO.

VILA MONTE
CARE FACILITY

APN 767-03-017

PROJECT ADDRESS
17090 PEAK AVENUE,
MORGAN HILL, CA 95037

MANAGED BY: HGCI
B-GENERAL BUILDING CONTRACTOR
LIC.# 720437



STAMP

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REVISIONS

03.01.2021	CUP: 1ST COMMENT RESPONSE
12.30.2021	CUP: 3RD COMMENT RESPONSE
11.17.2022	PLAN UPDATE
04.11.2023	CUP: PLAN UPDATE
12.11.2023	DESIGN REVIEW RESPONSE 01

DATE 11.02.2020

SCALE AS NOTED

PROJECT ID 19037

DRAWN BY MDC

CHECKED BY NW

(N) RCF SECOND FLOOR
PLAN

SHEET TITLE

SHEET NO.



A1.06

VILA MONTE
CARE FACILITY

APN 767-03-017

PROJECT ADDRESS
17090 PEAK AVENUE,
MORGAN HILL, CA 95037

MANAGED BY: HGCI
B-GENERAL BUILDING CONTRACTOR
LIC.# 720437



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OMISSIONS, WHETHER ONLY CLAIMED OR ACTUAL, AND WILL DEFEND HGCI AGAINST SAID ERRORS AND
OMISSIONS AND HOLD HGCI HARMLESS FOR SAME.

REVISIONS

03.01.2021	CUP: 1ST COMMENT RESPONSE
12.30.2021	CUP: 3RD COMMENT RESPONSE
04.11.2023	CUP: PLAN UPDATE
12.11.2023	DESIGN REVIEW RESPONSE 01

DATE

11.02.2020

SCALE

AS NOTED

PROJECT ID

19037

DRAWN BY

MDC

CHECKED BY

NW

(N) RCF ROOF PLAN

SHEET TITLE

SHEET NO.

A1.07

**CITY OF MORGAN HILL
PLAN APPROVED**

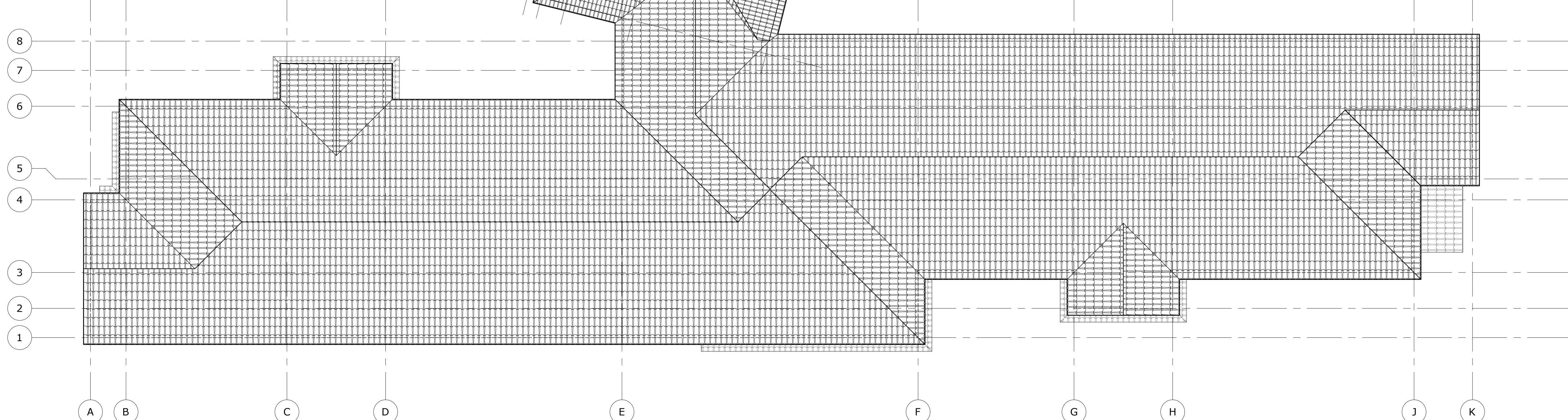
THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 2/8/2024

SR2020-0026

FILE NUMBER

PLANNING OFFICIAL



1
-
(N) RCF ROOF PLAN

SCALE: 1/8" = 1'-0"



VILA MONTE
CARE FACILITY

APN 767-03-017

PROJECT ADDRESS
17090 PEAK AVENUE,
MORGAN HILL, CA 95037

MANAGED BY: HGCI
B-GENERAL BUILDING CONTRACTOR
LIC.# 720437



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REVISIONS

03.01.2021	CUP: 1ST COMMENT RESPONSE
04.29.2021	CUP: 2ND COMMENT RESPONSE
12.30.2021	CUP: 3RD COMMENT RESPONSE
11.17.2022	PLAN UPDATE
04.11.2023	CUP: PLAN UPDATE
12.11.2023	DESIGN REVIEW RESPONSE 01

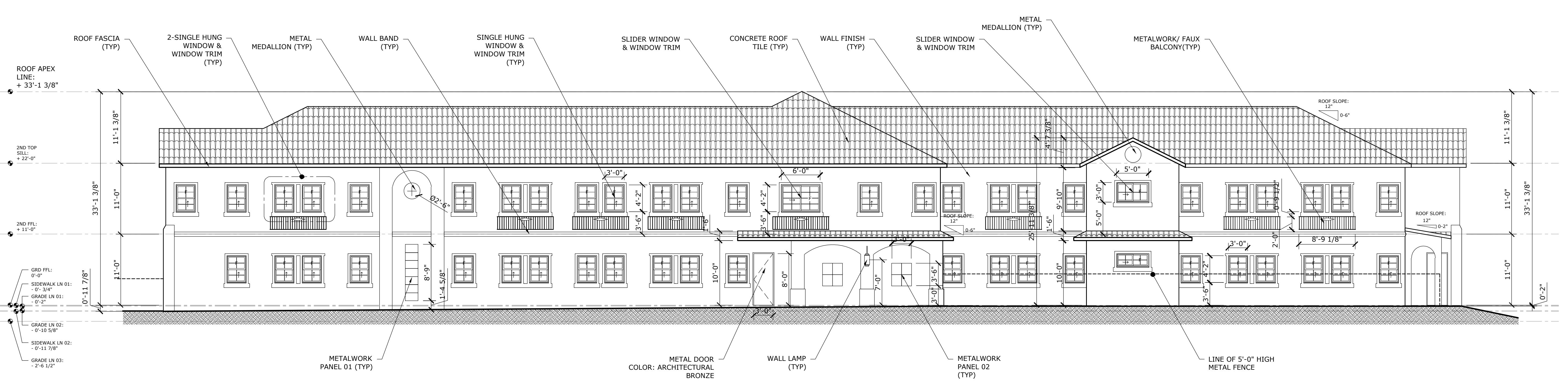
DATE	11.02.2020
SCALE	AS NOTED
PROJECT ID	19037
DRAWN BY	MDC
CHECKED BY	NW

(N) RCF SOUTHWEST
ELEVATION

SHEET TITLE

SHEET NO.

A2.00



1 (N) RCF SOUTHWEST ELEVATION: ALONG PEAK AVE

SCALE: 1/8" = 1'-0"



ROOF FINISH
MATERIAL: CONCRETE ROOF TILE
PRODUCT: MALIBU, EAGLE
ROOFING
COLOR: RED/ 2698 KONA RED
RANGE



WINDOWS
PRODUCT: VPI ENDURANCE SERIES
COLOR: ARCHITECTURAL BRONZE
TYPES AS INDICATED IN
ELEVATION:
1. SINGLE HUNG
2. SLIDER
3. FIXED
NOTE: SIMULATED DIVIDED LIGHT



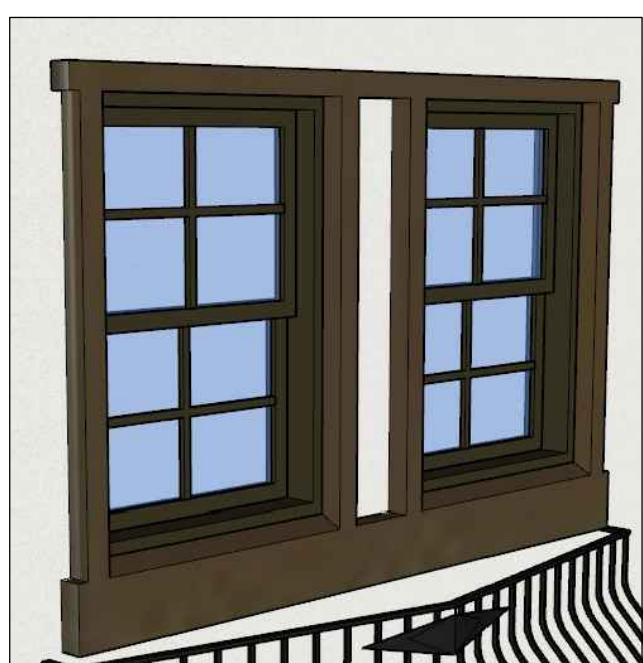
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MATERIAL: FABRICATED METAL
COLOR: BLACK
SIZE: 24"X15"
NOTE: SPANISH STYLE OR EQUAL.
PHOTO FOR CONCEPT ONLY



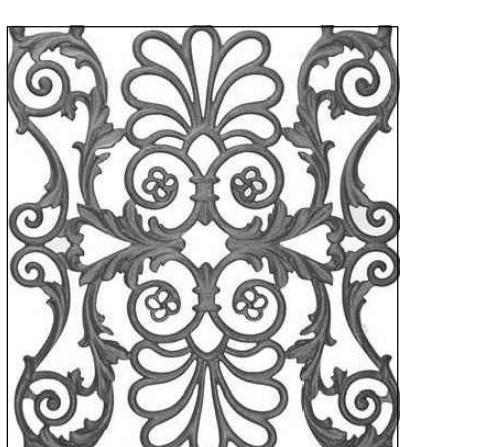
METAL FENCE
MATERIAL: FABRICATED METAL
COLOR: BLACK
HEIGHT: 5'-0"
NOTE: SPANISH STYLE OR EQUAL.
PHOTO FOR CONCEPT ONLY.



WALL FINISH
MATERIAL: STUCCO FINISH
COLOR: WHITE/ OMEGA STANDARD
COLOR 1C020 SNOW



WALL BAND
MATERIAL: STUCCO FINISH
WHITE/ OMEGA STANDARD COLOR
1C020 SNOW



METALWORK PANEL02
MATERIAL: FABRICATED METAL
COLOR: BLACK
SIZE: 18.5"X21"
NOTE: SPANISH STYLE OR EQUAL.
PHOTO FOR CONCEPT ONLY



METALWORK/ FAUX
BALCONY
MATERIAL: FABRICATED METAL
COLOR: BLACK
NOTE: SPANISH STYLE. PHOTO FOR
CONCEPT ONLY. METALWORK NOT
TO INTERFERE WITH EGRESS
WINDOW REQUIREMENTS



METAL MEDALLION
MATERIAL: FABRICATED METAL
COLOR: BLACK
SIZE: 2'-6" DIA
NOTE: SPANISH STYLE OR EQUAL.
PHOTO FOR CONCEPT ONLY.



WALL LAMP
PRODUCT: MINKA-LAVERY
MALLORCA
FINISH: SPANISH IRON



CITY OF MORGAN HILL
PLAN APPROVED

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 2/8/2024

SR2020-0026

FILE NUMBER

PLANNING OFFICIAL

2 COLOR AND MATERIAL BOARD

SCALE: N/A

VILA MONTE
CARE FACILITY

APN 767-03-017

PROJECT ADDRESS
17090 PEAK AVENUE,
MORGAN HILL, CA 95037

MANAGED BY: HGCI
B-GENERAL BUILDING CONTRACTOR
LIC.# 720437



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REVISIONS	
03.01.2021	CUP: 1ST COMMENT RESPONSE
04.29.2021	CUP: 2ND COMMENT RESPONSE
12.30.2021	CUP: 3RD COMMENT RESPONSE
11.17.2022	PLAN UPDATE
04.11.2023	CUP: PLAN UPDATE
12.11.2023	DESIGN REVIEW RESPONSE 01

DATE	11.02.2020
SCALE	AS NOTED
PROJECT ID	19037
DRAWN BY	MDC
CHECKED BY	NW

**CITY OF MORGAN HILL
PLAN APPROVED**

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 2/8/2024

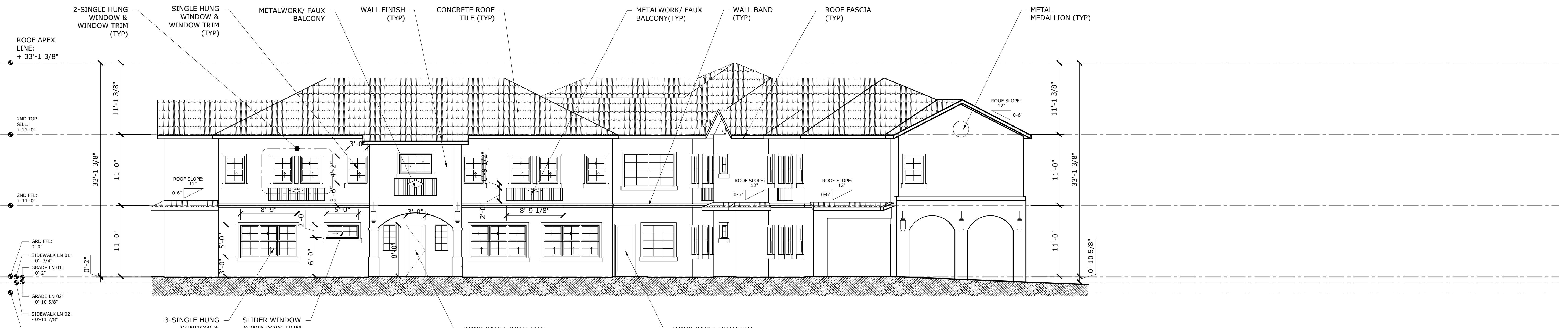
SR2020-0026

FILE NUMBER


PLANNING OFFICIAL

(N) RCF NORTH ELEVATION
SHEET TITLE

A2.01

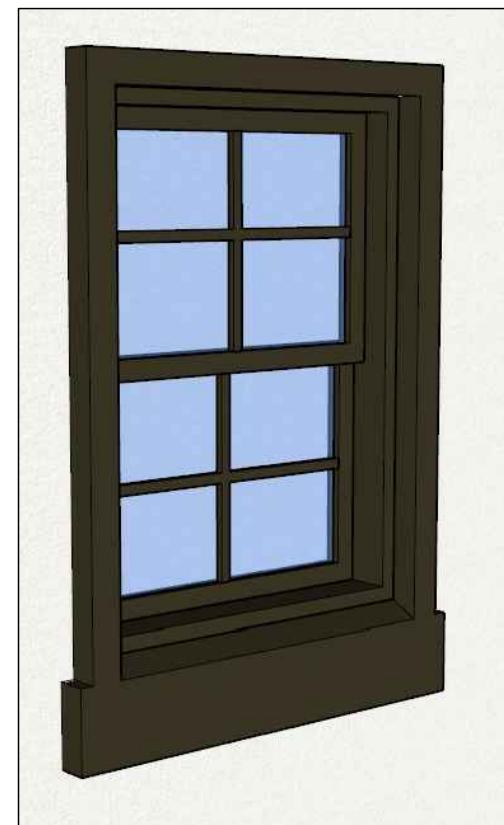


1 (N) RCF NORTH ELEVATION: ENTRY AND DROP OFF

SCALE: 1/8" = 1'-0"



ROOF FINISH
MATERIAL: CONCRETE ROOF TILE
PRODUCT: MALIBU, EAGLE
ROOFING
COLOR: RED/ 2698 KONA RED
RANGE



WINDOWS
PRODUCT: VPI ENDURANCE SERIES
COLOR: ARCHITECTURAL BRONZE
TYPES AS INDICATED IN
ELEVATION:
1. SINGLE HUNG
2. SLIDER
3. FIXED
NOTE: SIMULATED DIVIDED LIGHT



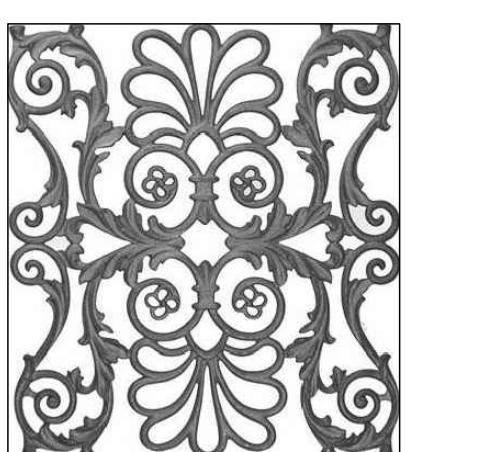
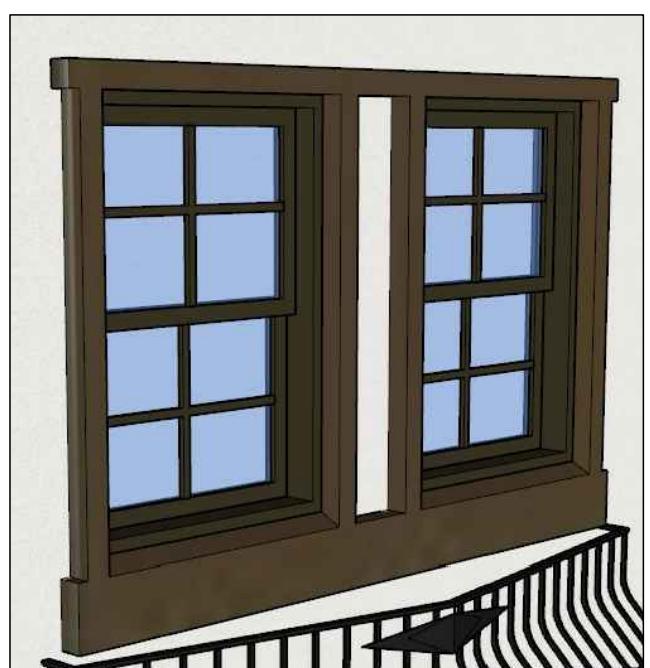
METALWORK PANEL 01
MATERIAL: FABRICATED METAL
COLOR: BLACK
SIZE: 24"X15"
NOTE: SPANISH STYLE OR EQUAL.
PHOTO FOR CONCEPT ONLY



METAL FENCE
MATERIAL: FABRICATED METAL
COLOR: BLACK
HEIGHT: 5'-0"
NOTE: SPANISH STYLE OR EQUAL.
PHOTO FOR CONCEPT ONLY.



WALL FINISH
MATERIAL: STUCCO FINISH
COLOR: WHITE/ OMEGA STANDARD
COLOR 1C020 SNOW



METALWORK PANEL02
MATERIAL: FABRICATED METAL
COLOR: BLACK
SIZE: 18.5"X21"
NOTE: SPANISH STYLE OR EQUAL.
PHOTO FOR CONCEPT ONLY



WALL BAND
MATERIAL: STUCCO FINISH
WHITE/ OMEGA STANDARD COLOR
1C020 SNOW



METALWORK/ FAUX
BALCONY
MATERIAL: FABRICATED METAL
COLOR: BLACK
NOTE: SPANISH STYLE. PHOTO FOR
CONCEPT ONLY. METALWORK NOT
TO INTERFERE WITH EGRESS
WINDOW REQUIREMENTS



WALL LAMP
PRODUCT: MINKA-LAVERY
MALLORCA
FINISH: SPANISH IRON



METAL MEDALLION
MATERIAL: FABRICATED METAL
COLOR: BLACK
SIZE: 2'-6" DIA
NOTE: SPANISH STYLE OR EQUAL.
PHOTO FOR CONCEPT ONLY.

2 COLOR AND MATERIAL BOARD

SCALE: N/A

101 LUCAS VALLEY RD, STE 150
SAN JARRELL, CA 95053
T: 415-597-0880/F: 925-558-4614

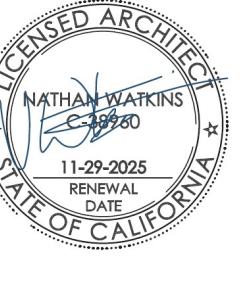
SHEET NO.

VILA MONTE
CARE FACILITY

APN 767-03-017

PROJECT ADDRESS
17090 PEAK AVENUE,
MORGAN HILL, CA 95037

MANAGED BY: HGCI
B-GENERAL BUILDING CONTRACTOR
LIC.# 720437



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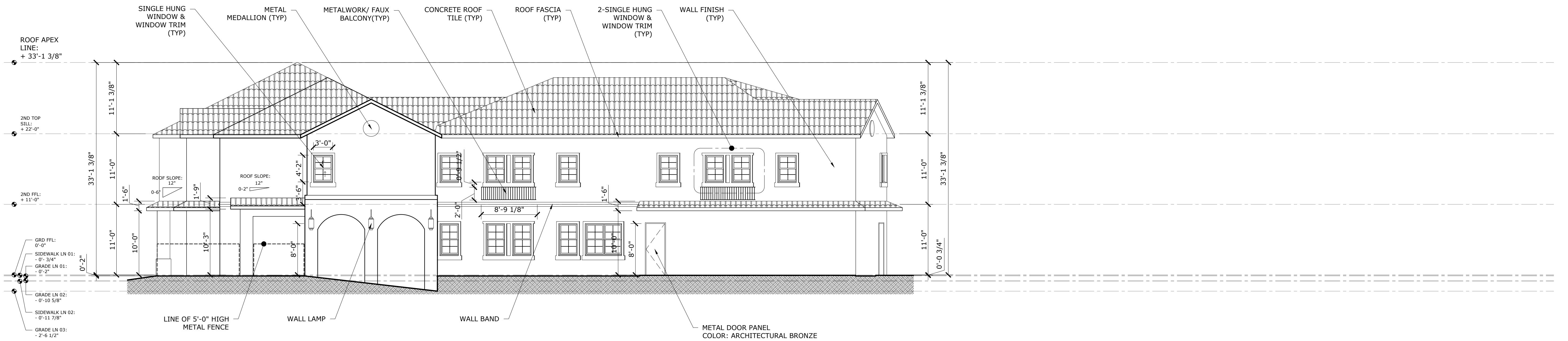
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REVISIONS

DATE 12.11.2023
SCALE AS NOTED
PROJECT ID 19037
DRAWN BY MDC
CHECKED BY NW

(N) RCF SOUTHEAST ELEVATION
SHEET TITLE
SHEET NO.

A2.02



ROOF FINISH
MATERIAL: CONCRETE ROOF TILE
PRODUCT: MALIBU, EAGLE
ROOFING
COLOR: RED/ 2698 KONA RED
RANGE



WINDOWS
PRODUCT: VPI ENDURANCE SERIES
COLOR: ARCHITECTURAL BRONZE
TYPES AS INDICATED IN
ELEVATION:
1. SINGLE HUNG
2. SLIDER
3. FIXED
NOTE: SIMULATED DIVIDED LIGHT

WINDOW TRIM
MATERIAL: STUCCO FINISH
COLOR: NUSS BROWN TO CLOSELY
MATCH WINDOW FRAME COLOR
NOTE: 3" DEEP PROFILE



METALWORK PANEL 01
MATERIAL: FABRICATED METAL
COLOR: BLACK
SIZE: 24"X15"
NOTE: SPANISH STYLE OR EQUAL.
PHOTO FOR CONCEPT ONLY



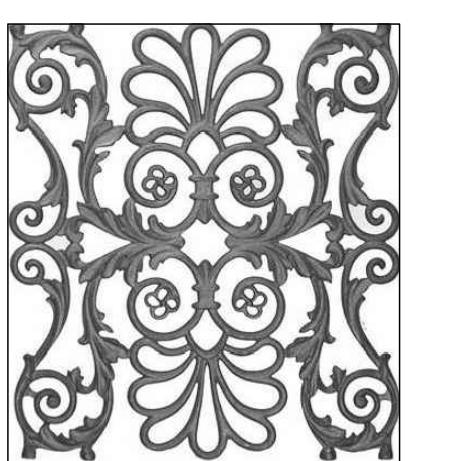
METAL FENCE
MATERIAL: FABRICATED METAL
COLOR: BLACK
HEIGHT: 5'-0"
NOTE: SPANISH STYLE OR EQUAL.
PHOTO FOR CONCEPT ONLY.



WALL FINISH
MATERIAL: STUCCO FINISH
COLOR: WHITE/ OMEGA STANDARD
COLOR 1C020 SNOW



WALL BAND
MATERIAL: STUCCO FINISH
WHITE/ OMEGA STANDARD COLOR
1C020 SNOW



METALWORK PANEL02
MATERIAL: FABRICATED METAL
COLOR: BLACK
SIZE: 18.5"X21"
NOTE: SPANISH STYLE OR EQUAL.
PHOTO FOR CONCEPT ONLY



WALL LAMP
PRODUCT: MINKA-LAVERY
MALLORCA
FINISH: SPANISH IRON



METALWORK/ FAUX
BALCONY
MATERIAL: FABRICATED METAL
COLOR: BLACK
NOTE: SPANISH STYLE. PHOTO FOR
CONCEPT ONLY. METALWORK NOT
TO INTERFERE WITH EGRESS
WINDOW REQUIREMENTS



METAL MEDALLION
MATERIAL: FABRICATED METAL
COLOR: BLACK
SIZE: 2'-6" DIA
NOTE: SPANISH STYLE OR EQUAL.
PHOTO FOR CONCEPT ONLY.



**CITY OF MORGAN HILL
PLAN APPROVED**

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 2/8/2024

SR2020-0026

FILE NUMBER

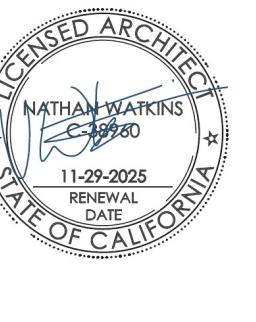
PLANNING OFFICIAL
[Signature]

VILA MONTE
CARE FACILITY

APN 767-03-017

PROJECT ADDRESS
17090 PEAK AVENUE,
MORGAN HILL, CA 95037

MANAGED BY: HGCI
B-GENERAL BUILDING CONTRACTOR
LIC.# 720437



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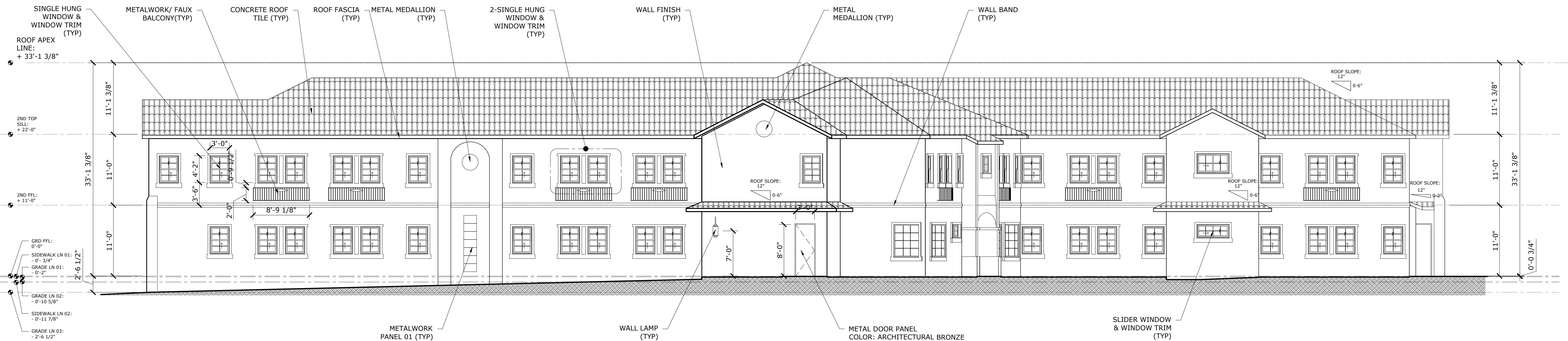
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REVISIONS

DATE 12.11.2023
SCALE AS NOTED
PROJECT ID 19037
DRAWN BY MDC
CHECKED BY NW

(N) RCF NORTHEAST ELEVATION
SHEET TITLE
SHEET NO.

A2.03



1 (N) RCF NORTHEAST ELEVATION: FACING HILLSIDE
SCALE: 1/8" = 1'-0"



ROOF FINISH
MATERIAL: CONCRETE ROOF TILE
PRODUCT: MALIBU, EAGLE
ROOFING
COLOR: RED/ 2698 KONA RED
RANGE



WINDOWS
PRODUCT: VPI ENDURANCE SERIES
COLOR: ARCHITECTURAL BRONZE
TYPES AS INDICATED IN
ELEVATION:
1. SINGLE HUNG
2. SLIDER
3. FIXED
NOTE: SIMULATED DIVIDED LIGHT



METALWORK PANEL 01
MATERIAL: FABRICATED METAL
COLOR: BLACK
SIZE: 24"X15"
NOTE: SPANISH STYLE OR EQUAL.
PHOTO FOR CONCEPT ONLY



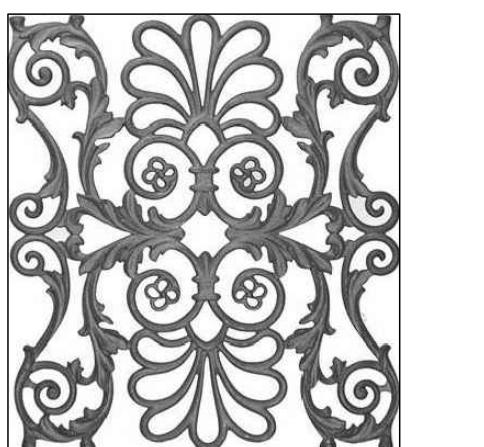
METAL FENCE
MATERIAL: FABRICATED METAL
COLOR: BLACK
HEIGHT: 5'-0"
NOTE: SPANISH STYLE OR EQUAL.
PHOTO FOR CONCEPT ONLY.



WALL FINISH
MATERIAL: STUCCO FINISH
COLOR: WHITE/ OMEGA STANDARD
COLOR 1C020 SNOW



WALL BAND
MATERIAL: STUCCO FINISH
WHITE/ OMEGA STANDARD COLOR
1C020 SNOW



METALWORK PANEL 02
MATERIAL: FABRICATED METAL
COLOR: BLACK
SIZE: 18.5"X21"
NOTE: SPANISH STYLE OR EQUAL.
PHOTO FOR CONCEPT ONLY



WALL LAMP
PRODUCT: MINKA-LAVERY
MALLORCA
FINISH: SPANISH IRON



METALWORK/ FAUX
BALCONY
MATERIAL: FABRICATED METAL
COLOR: BLACK
NOTE: SPANISH STYLE. PHOTO FOR
CONCEPT ONLY. METALWORK NOT
TO INTERFERE WITH EGRESS
WINDOW REQUIREMENTS



METAL MEDALLION
MATERIAL: FABRICATED METAL
COLOR: BLACK
SIZE: 2'-6" DIA
NOTE: SPANISH STYLE OR EQUAL.
PHOTO FOR CONCEPT ONLY.

**CITY OF MORGAN HILL
PLAN APPROVED**

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 2/8/2024

SR2020-0026

FILE NUMBER

PLANNING OFFICIAL

2 COLOR AND MATERIAL BOARD
SCALE: N/A

VILA MONTE
CARE FACILITY

APN 767-03-017

PROJECT ADDRESS
17090 PEAK AVENUE,
MORGAN HILL, CA 95037

MANAGED BY: HGCI
B-GENERAL BUILDING CONTRACTOR
LIC.# 720437



STAMP

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REVISIONS

11.17.2022	PLAN UPDATE
04.11.2023	CUP: PLAN UPDATE
12.11.2023	DESIGN REVIEW RESPONSE 01

DATE	11.02.2020
SCALE	AS NOTED
PROJECT ID	19037
DRAWN BY	MDC
CHECKED BY	NW

COLORED RENDERING
1 OF 2

SHEET TITLE

SHEET NO.



**CITY OF MORGAN HILL
PLAN APPROVED**

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 2/8/2024

SR2020-0026

FILE NUMBER

PLANNING OFFICIAL

PEAK AVE ENTRANCE



A9.01

VILA MONTE
CARE FACILITY

**CITY OF MORGAN HILL
PLAN APPROVED**

THIS PLAN WAS APPROVED BY
THE PLANNING DIVISION

ON 2/8/2024

SR2020-0026

FILE NUMBER


PLANNING OFFICIAL



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REVISIONS

11.17.2022	PLAN UPDATE
04.11.2023	CUP: PLAN UPDATE
12.11.2023	DESIGN REVIEW RESPONSE 01

DATE

11.02.2020

SCALE

AS NOTED

PROJECT ID

19037

DRAWN BY

MDC

CHECKED BY

NW

COLORED RENDERING
2 OF 2

SHEET TITLE

SHEET NO.

A9.02



**VILA MONTE
CARE FACILITY**

APN 767-03-017

PROJECT ADDRESS
17090 PEAK AVENUE,
MORGAN HILL, CA 95037

MANAGED BY: HGCI
B-GENERAL BUILDING CONTRACTOR
LIC.# 720437



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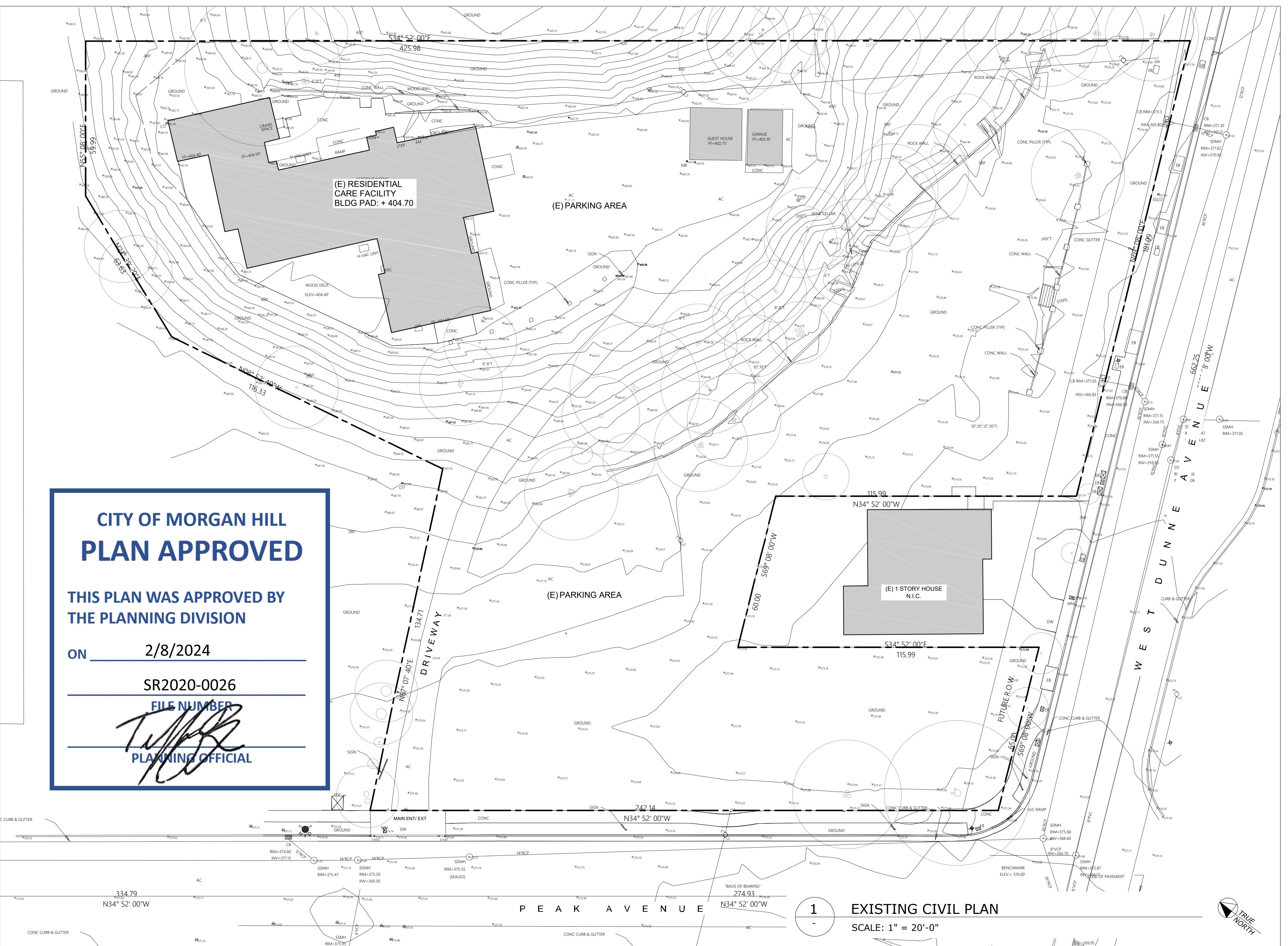
REVISIONS

12.30.2021	CUP: 3RD COMMENT RESPONSE
04.11.2023	CUP: PLAN UPDATE

DATE 11.02.2023
SCALE AS NOTED
PROJECT ID 19037
DRAWN BY MDC
CHECKED BY NW

EXISTING CIVIL PLAN
SHEET TITLE

C0.01



GENERAL NOTES

1. THIS PLAN REFLECTS THE (E) SITE CONDITIONS TO THE BEST OF OUR CURRENT KNOWLEDGE.
2. REFER TO A-1.3a FOR THE DEMOLITION PLAN
3. REFER TO C-0.0 FOR THE CONCEPTUAL CIVIL PLAN

SHEET NO.

CITY OF MORGAN HILL

PLAN APPROVED

THIS PLAN WAS APPROVED BY THE PLANNING DIVISION

ON 2/8/2024

SR2020-0026

FILE NUMBER

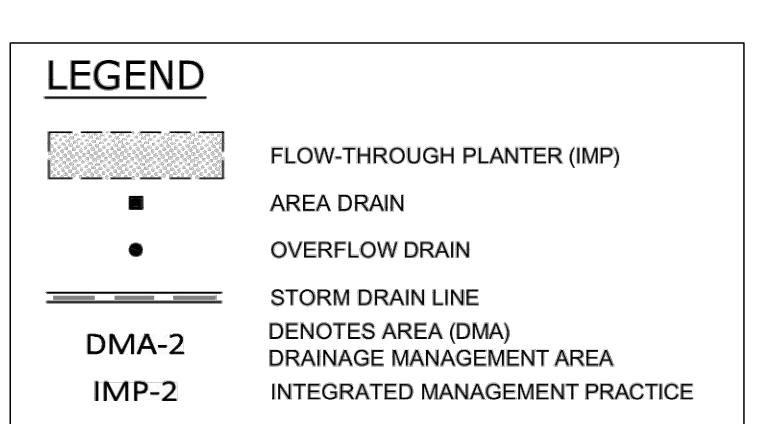
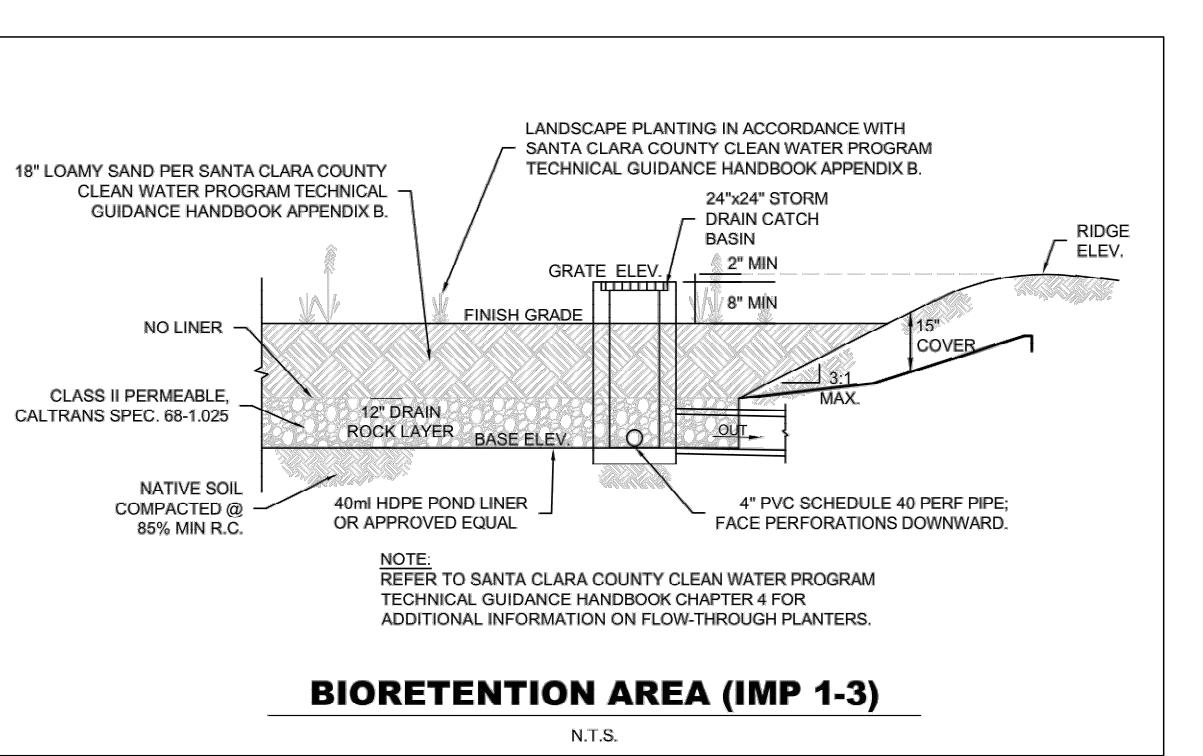
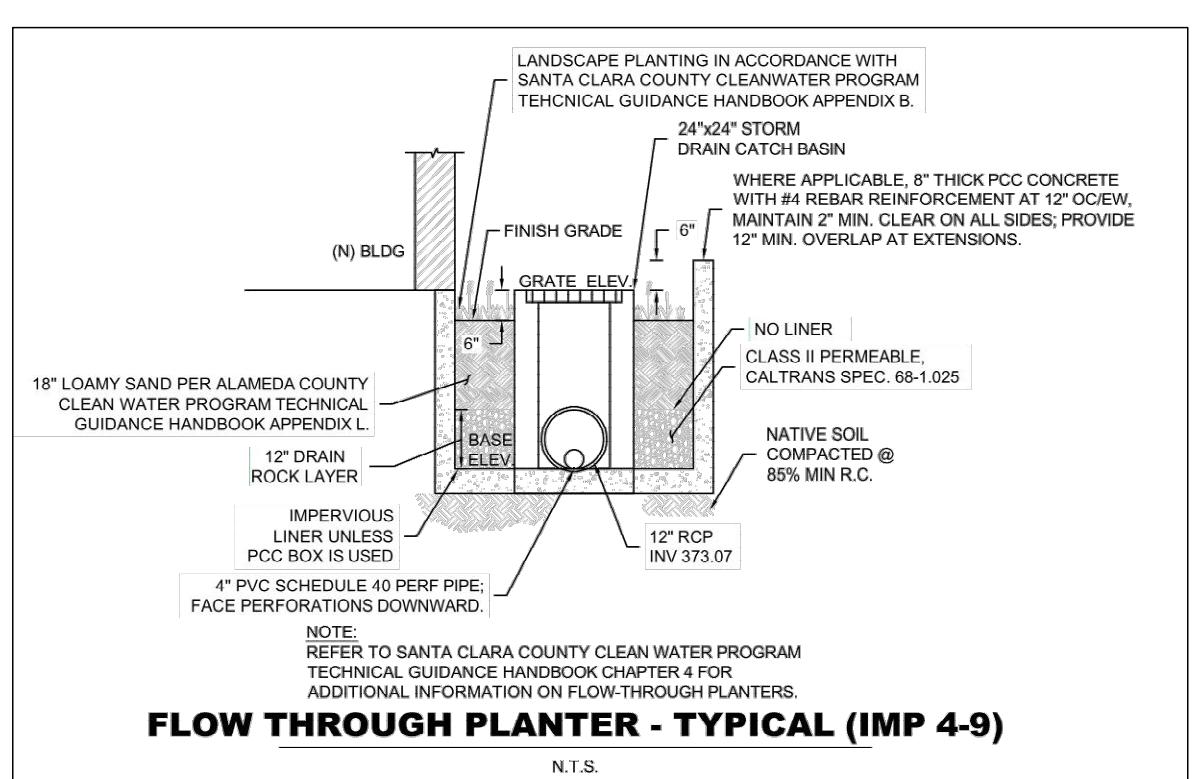
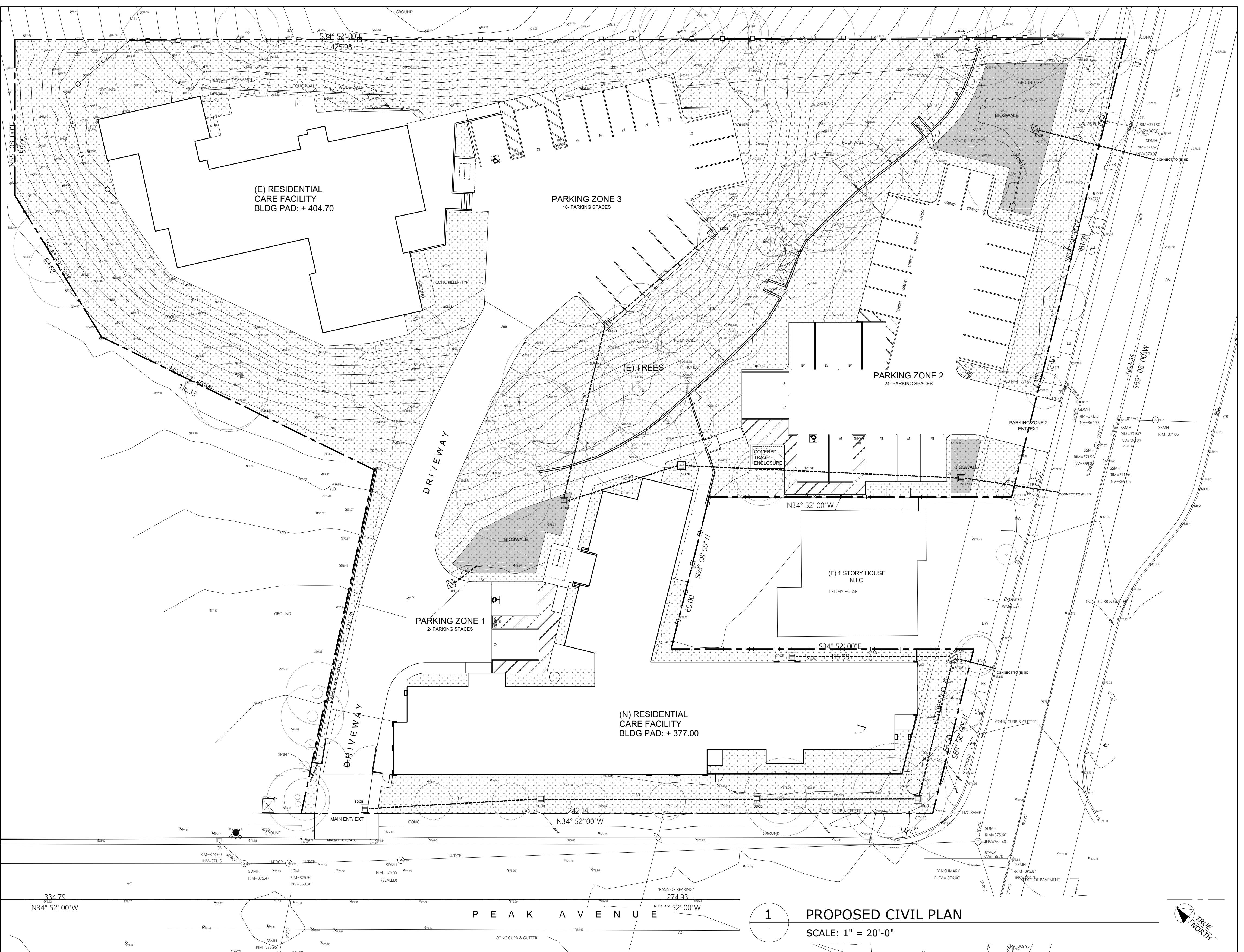
PLANNING OFFICIAL

IMPERVIOUS DMAs			
DMA	AREA	SURFACE	DRAINS TO IMP #
1	11,124± SF	PAVEMENT	1
2	1,931± SF	PAVEMENT	3
3	12,579± SF	PAVEMENT	8
4	5,787± SF	ROOF	DMA-16
5	1,133± SF	PAVEMENT	DMA-16
6	1,741± SF	PAVEMENT	DMA-16
8	2,800± SF	PAVEMENT	2
9	525± SF	ROOF	6
10	2,221± SF	ROOF	5
11	1,191± SF	ROOF	4
13	1,712± SF	ROOF	9
14	2,521± SF	ROOF	7
TOTAL	47,115± SF		

SELF-TREATING DMAs		
DMA	AREA	SURFACE
7	1,250± SF	LANDSCAPE
17	4,010± SF	LANDSCAPE

SELF-RETAINING DMAs		
DMA	AREA	SURFACE
12	1,207±	PERVIOUS
15	643±	LANDSCAPE
16	28,075± SF	LANDSCAPE
TOTAL	29,925± SF	

IMP	AREA DRAINING TO IMP (SF)	4% OF AREA (SF)	SIZE (SF)
1	11,124	445	507± SF
2	2,800	112	184± SF
3	1,931	77	91± SF
4	1,191	48	312± SF
5	2,221	89	221± SF
6	525	21	60± SF
7	2,521	101	214± SF
8	12,702	508	628± SF
9	1,712	68	73± SF



GENERAL NOTES

1. THIS IS A CONCEPTUAL CIVIL PLAN FOR PLAN REVIEWER COMMENTS. FULL SET OF PLANS AND DETAILS FOR PERMIT WILL BE SUBMITTED AND PREPARED BY A LICENSED CIVIL ENGINEER.
2. THIS PLAN REFLECTS THE (E) SITE CONDITIONS TO THE BEST OF OUR CURRENT KNOWLEDGE.

CONCEPTUAL CIVIL PLAN

SHEET TITLE

CO₂

**VILA MONTE
CARE FACILITY**

APN 767-03-017

PROJECT ADDRESS
17090 PEAK AVENUE,
MORGAN HILL, CA 95037

MANAGED BY: HGCI
B-GENERAL BUILDING CONTRACTOR
LIC.# 720437



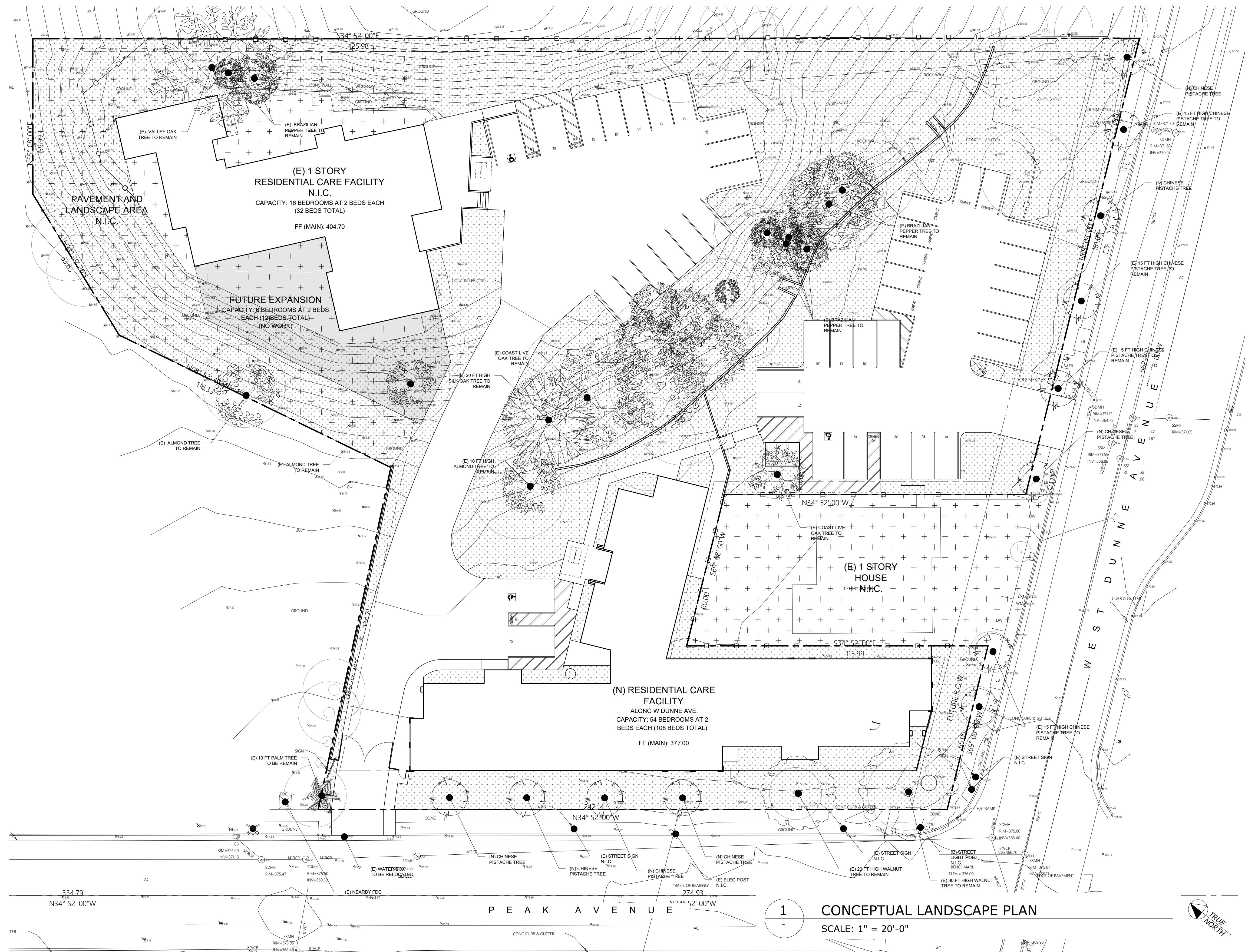
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REVISIONS

12.30.2021	CUP: 3RD COMMENT RESPONSE
04.11.2023	CUP: PLAN UPDATE



GENERAL NOTES

1. THIS IS A CONCEPTUAL LANDSCAPE PLAN FOR PLAN REVIEWER COMMENTS. FULL SET OF PLANS AND DETAILS FOR PERMIT WILL BE SUBMITTED AND PREPARED BY A LICENSED LANDSCAPE ARCHITECT.
2. LANDSCAPE SHALL HAVE AN AUTOMATED IRRIGATION SYSTEM. A DETAILED IRRIGATION PLAN WILL BE SUBMITTED FOR THE BUILDING PLAN CHECK.
3. THIS PLAN REFLECTS THE (E) SITE CONDITIONS TO THE BEST OF OUR CURRENT KNOWLEDGE.
4. THE MAJORITY OF TREES ON SITE HAVE NOT BEEN PLANTED. THEY HAVE GROWN NATURALLY OVER TIME. THE FEW OAKS THAT ARE SIGNIFICANTLY SIZEABLE ARE BEING RETAINED AND PROTECTED UNLESS OTHERWISE NOTED.
5. CONTRACTOR TO VERIFY LOCATION AND DEPTH OF ALL (E) UTILITIES PRIOR TO ANY EXCAVATION.
6. ALL SPOILS, DEBRIS AND INCIDENTALS ITEMS TO BE REMOVED SHALL BE HANDED OVER TO THE CONTRACTOR AND BE DISPOSED OF IN A LANDFILL UNLESS AS OTHERWISE NOTED.
7. CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE IN ANY WAY ANY (E) ELEMENTS NOT DESIGNATED FOR REMOVAL.
8. SHUT OFF ALL WATER, GAS, AND ELECTRIC WILL NEED TO BE COORDINATED WITH (E) SITE OPERATIONS.
9. THE (E) RCF ARE TO REMAIN IN USE DURING CONSTRUCTION.
10. THE SITE MUST BE CLEANED AT THE END OF EACH BUSINESS DAY.

**CONCEPTUAL LANDSCAPE
PLAN**

SHEET TITLE

L0.00

SHEET NO.

00