

MANZANITA PARK

MORGAN HILL, CALIFORNIA
BY NORTH CORRIDOR INVESTORS, LLC
SB 330 APPLICATION
March 22, 2020



CITY OF MORGAN HILL

PLAN APPROVED

THIS PLAN WAS APPROVED BY

THE PLANNING COMMISSION

ON March 22, 2022

SD2020-0007/SR2020-0017/EA2020-0014: Monterey-Lucky-Shing
(Manzanita Park)

FILE NUMBER

Gina Paolini

PLANNING OFFICIAL

PROJECT DIRECTORY

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-	FOOTCANDLES CALCULATED AT GRADE

DATE 03-22-2021
JOB NO. 297.081

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200



DESIGN STANDARDS:

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HIGHLIGHTED ITEMS ARE INCLUDED IN THIS PROJECT.
SEE LANDSCAPE DRAWINGS FOR MORE INFORMATION

4. Orientation to an existing street
For residential buildings adjacent to a collector or arterial street, the primary entrance of homes (front door) is located along the street unless sound walls are installed (see "Sound Wall" section for requirements).
(GP Policy CNF-11.18)

8. On-Site Recreational Amenities
The project has provided on-site recreational amenities to serve residences based on the following table:
16 - 50 units Tier 1:2 Tier 2:2
51-100 units Tier 1:2 Tier 2:2 Tier 3:1
101-150 units Tier 1:2 Tier 2:2 Tier 3:2
151 + units Tier 1:2 Tier 2:3 Tier 3:3
201 + units Tier 1:2 Tier 2:3 Tier 3:3

Tier 1 amenities:
Shuffleboard
Horseshoes
Bowling green with artificial turf
Picnic/barbecue area
Park benches
Passive water features (e.g. fountain)
Passive recreation area and/or gardens

Tier 2 amenities:
Cabana or shade trellis area
Two picnic/barbecue areas
Clubhouse
Volleyball court and/or Bocce ball court
Outdoor racquetball/handball tilt-up wall
Dog Park
Sauna and/or Jacuzzi
Community garden plots (minimum one forty-eight-square-foot plot per each ten dwelling units) with water service located in an area that will get a minimum of six hours of direct sun when trees mature
1/2 court basketball (one hoop)
Bridle paths
Bocce ball
Artificial turf putting green
Exercise structure or complex (age appropriate play equipment/minimum three activities; can be integrated in structure)

Tier 3 amenities:
• Softball field
• Sports court and/or 2 1/2-court basketball courts (two hoops)
• Restroom area
• 1/2 scale soccer field
• Exercise structure or complex (age appropriate play equipment/minimum five activities; can be integrated in structure)
• Jacuzzi and separate child wading pool
• Tennis court
• Recreation hall with exercise equipment and/or game equipment
• Exercise room
• Clubhouse w/ kitchen
• Swimming pool
(GP Policy- Housing element HE-4)

13. Useable Private and Common Open Space:
Each lot must include a private open space area, such as a private yard, porch, balcony, roof garden, or patio. Private open space must be contiguous to the unit it serves and accessible and visible from the living area of the unit. Private open space must be open air. Private open space cannot be covered by a roof by more than 50 percent of the area; however, balconies can have up to 100 percent ceiling coverage. The following private open space is required per unit type:

a. Single-family attached and detached units meeting the following average lot sizes shall provide useable open space as specified:

Average Lot Area (square feet)	1,440-1,920	1,920-2,999	3,000-4,356	4,357-6,999
Private Open Space	60 square feet per unit	150 square feet per unit	300 square feet per unit	350 square feet per unit
Common Open Space	140 square feet per unit	150 square feet per unit	175 square feet per unit	200 square feet per unit

b. Single-family detached (lots 7,000 square feet and over)- 500 square feet per unit (Private Open Space)

c. Multi-family residential – At least fifty percent of the units have at least 48 square feet per unit (Private Open Space). Fifteen percent of the site area shall be dedicated to common open space.

d. If On-site Recreational Amenities are not provided, private and common open space shall be increased by 25 percent.
Common open space shall be fully landscaped and accessible to all residents.
Private open space per unit may be reduced by up to 25 percent if off-set by the equivalent increase in common open space with amenities.
(GP Policy CNF-11.29)

42. Trash Enclosure, Solid Waste and Recyclable Materials:
Detailed enclosure plans are required for multi-family, new construction and alteration projects, and comply with the following:

a. The exterior materials and colors of the enclosure walls shall match the building walls.
b. Chain link fencing with or without wooden/plastic slats is prohibited.
c. Roofs shall be painted with rust-inhibitive paint.
d. Shall not obstruct on-site or off-site pedestrian or vehicle traffic movement.
If project requires a consolidated solid waste plan, the project shall comply with the enclosure and development guidelines specified by Recology South Valley. All trash enclosure areas must meet the following structural or treatment control Best Management Practices (BMP) requirements (individual single-family residences are exempt from these requirements):

a. Roof Required: Trash enclosure areas shall have an all-weather noncombustible solid roof to prevent rainwater from mixing with the enclosure's contents.
b. Walls Required: Trash enclosure shall have structural walls to prevent unauthorized off-site transport of trash.
c. Doors: Trash enclosure shall have door(s) which can be secured when closed.
d. Grades: The pad for the enclosure shall be designed to not drain outward, and the grade surrounding the enclosure shall be designed to not drain into the enclosure.
e. Drain Inlet: Within the enclosure, an area drain with an approved (Zurn) vandal proof drain shall be installed and shall be plumbed to the sanitary sewer system with grease trap. Grease trap shall be located within the trash enclosure footprint.

ARCHITECTURAL SITE CALCULATIONS:

Architectural Summary									
PLAN	Bed Count	Unit Count	Courtyard	Entry Porch	Deck	Total Private Open Space	Garage	Living Area	Total Living Area
		DU	SF	SF	SF	SF	SF	SF	SF
A	2	4	167	0	80	988	531	1,363	5,452
B	3 + Den	4	124	94	85	1,212	560	1,843	7,372
C	3 + Den	35	125	159	84	12,880	476	1,999	69,965
CX	3 + Den	12	130	168	99	4,764	476	2,052	24,624
D	3 + Den	8	222	70	73	2,920	514	2,036	16,288
DX	3 + Den	4	222	24	73	1,276	485	2,112	8,448
Total		67				24,040			132,149

OPEN SPACE CALCULATIONS:
PRIVATE OPEN SPACE REQUIRED: (MINIMUM 48 SQ. FT. PER UNIT x 50% OF UNITS)
PRIVATE OPEN SPACE PROVIDED: 254 - 397 PER UNIT (100% OF UNITS)

UNIT A 254 SQ. FT.
UNIT B 303 SQ. FT.
UNIT C 368 SQ. FT.
UNIT CX 397 SQ. FT.
UNIT D 365 SQ. FT.
UNIT DX 319 SQ. FT.

COMMON OPEN SPACE REQUIRED: 15% OF THE SITE AREA
COMMON OPEN SPACE PROVIDED: (PARCEL 1) 24,727 SQ. FT. / 135,581 SQ. FT = 18.2%
(PARCEL 2) 14,925 SQ. FT. / 76,968 SQ. FT = 19.4%

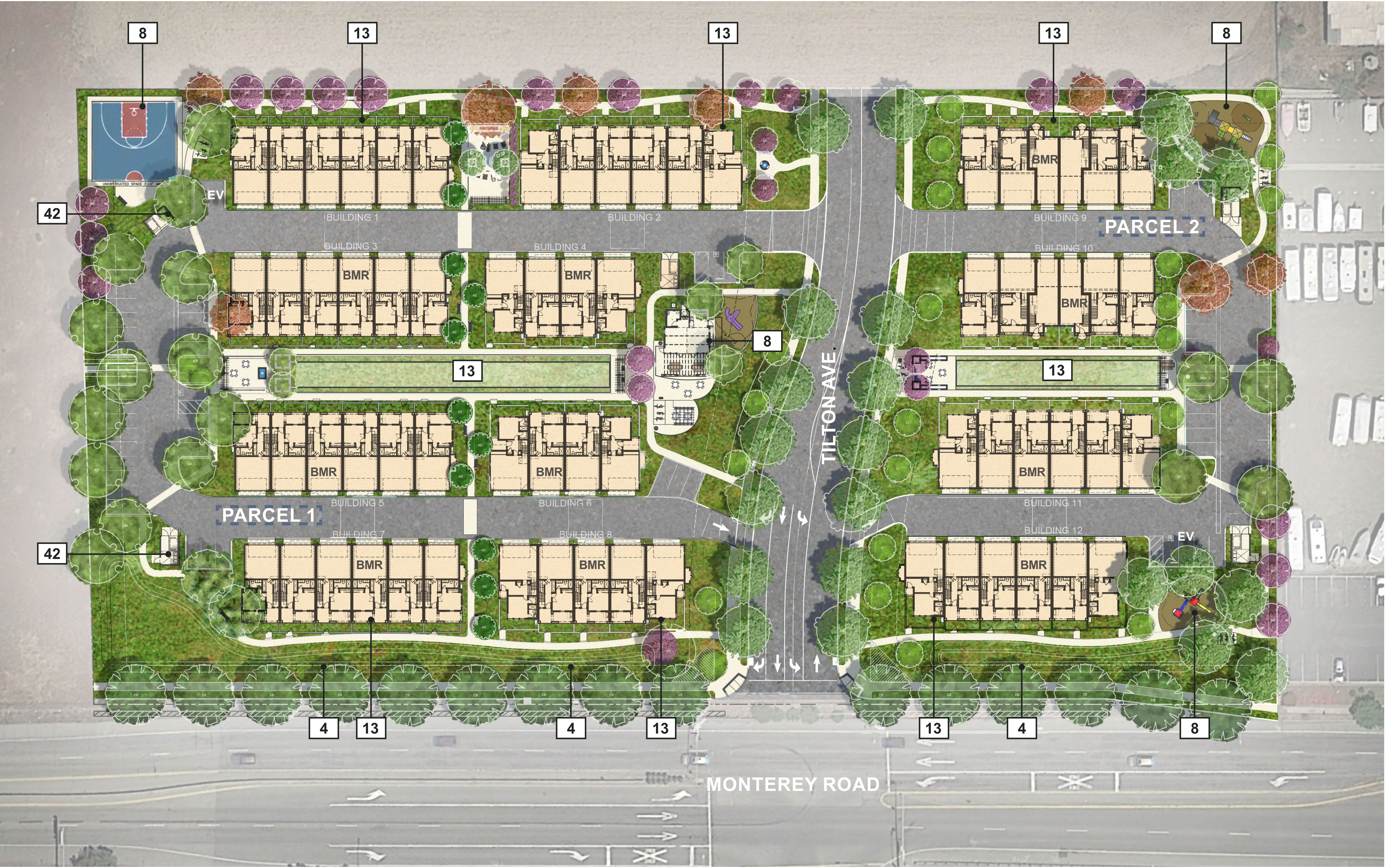
Zoning Compliance Summary				
Standard	MU-F (Table 18.22-2)	Multi-Family Dev Standards (18.40.050)	PROVIDED	
			Parcel 1	Parcel 2

Site Requirements				
Min. Lot Area (SF)	6,000	6,000	135,581	76,968
Lot Area (Ac)			3.1	1.8
Average Lot Area / Unit (SF)			3,153	3,207
Min. Lot Width (Ft)	60	60	356	204
Min. Lot Depth (Ft)	100	85	349	349
Max. Building Coverage (% of Lot)	50%	60%	28%	28%
Building Coverage (SF)			37,428	21,451
Unit Count (DU)			43	24
Min. Density (DU/Ac)	7		13.8	13.6
Max. Density (DU/Ac)	24		13.8	13.6
Max. Height (Stories)	3		3	3
Max. Height (Ft) ¹	35' (45' with 10' roof element)		38' to top of roof ridge	38' to top of roof ridge

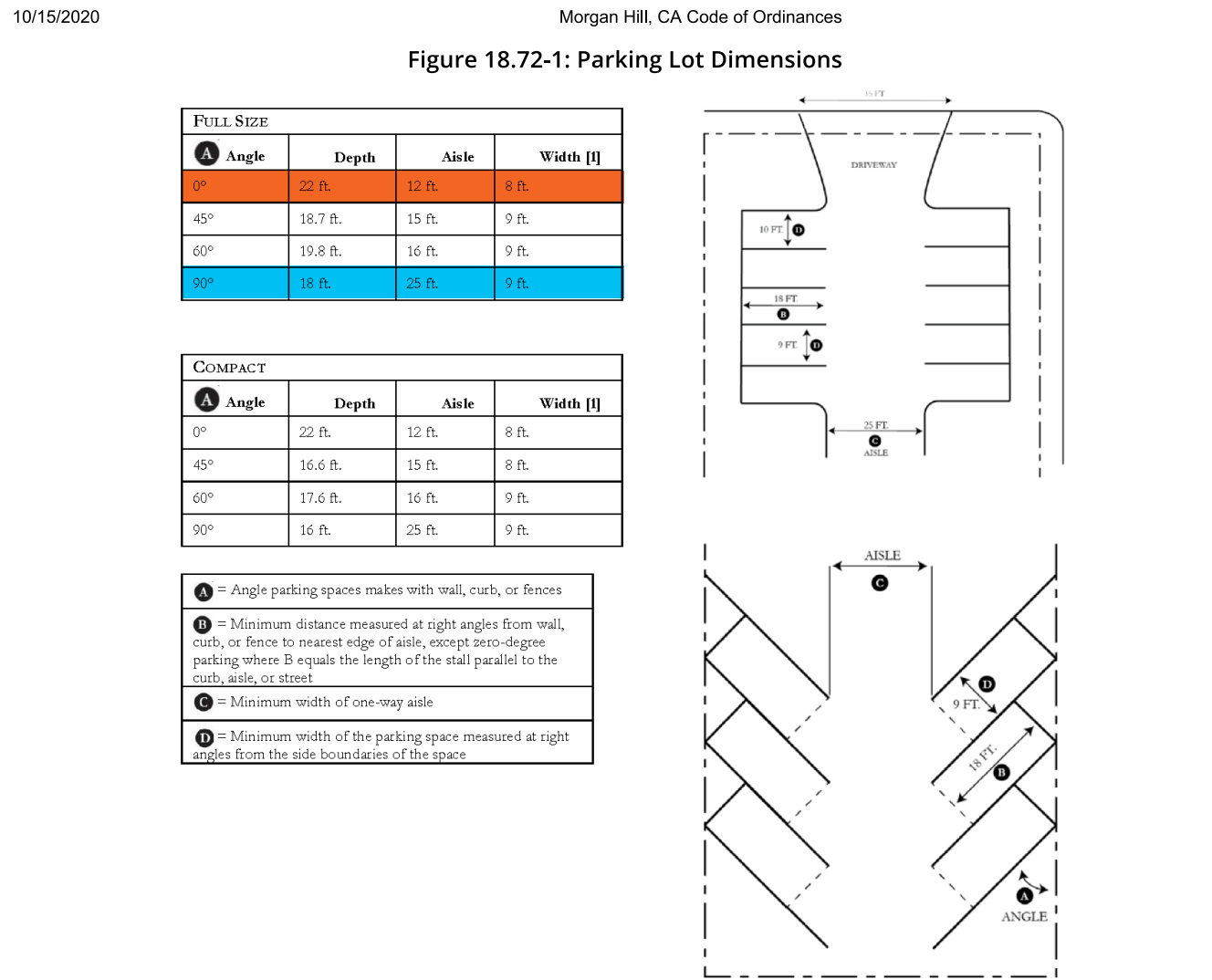
BMR UNITS: 10 TOTAL UNITS PROVIDED
(LOCATIONS SHOWN ON SITE PLAN BELOW)

PARCEL 1 6 UNITS PROVIDED
2 PLAN C UNITS (3 BEDROOM UNITS - 1,999 SF EACH)

PARCEL 2 4 UNITS PROVIDED
2 PLAN A UNITS (2 BEDROOM UNITS - 1,363 SF EACH)
2 PLAN C UNITS (3 BEDROOM UNITS - 1,999 SF EACH)



- A. Conformance with City Standards. All parking spaces, lots, driveways and other improvements intended and used for vehicle parking and circulation shall comply with the design standards and standard details for construction as maintained by the city of Morgan Hill engineering division.
- B. Parking Space and Lot Dimensions.
- General. The dimensions of parking spaces, maneuvering aisles, and access ways within a parking lot shall conform to the city's official parking space standard specifications maintained by the engineering division and as shown in Figure 18.72-1. All required parking spaces shall be full size parking spaces. Alternatively, with the issuance of a design permit, up to thirty percent of the required parking spaces may be compact spaces.
 - Garage Spaces. All parking spaces within a structure shall be a minimum of ten feet in width and twenty feet in length.
 - Access to Spaces. All access to spaces in a parking lot shall be from the lot.
 - Driveway Width. The minimum required driveway with at the street entrance shall be as shown in Table 18.72-4.



Notes:

[1] Minimum ten-foot width for spaces with one or two sides adjacent to a landscaped area.

Table 18.72-4: Minimum Driveway Widths

Land Use Served by Driveway	Minimum Width at Street Entrance
Commercial Uses	
One-Way Driveway	25 ft.
Two-Way driveway	35 ft.
Residential Uses	
One-way Driveways	12 ft. at street entrance
Two-way Driveways	18 ft. at street entrance

5. Circulation Drive Aisle Width. Main circulation drive aisles within a shopping center or other commercial development shall be a minimum of thirty feet in width.
6. Stacking Area. All parking lots shall provide a minimum forty-foot stacking from the travel lane of the adjoining street.
- C. Surfacing.
- All parking spaces, maneuvering aisles, and access ways shall be paved with asphalt, concrete, or other all-weather surface.
 - Permeable paving materials, such as porous concrete/asphalt, open-jointed pavers, and turf grids, are a permitted surface material, subject to approval by the development services department.
- D. Tandem Parking Spaces. Tandem parking spaces are permitted for all residential land uses, provided that they comply with the following standards:
- Parking spaces in a tandem configuration shall be reserved for and assigned to a single dwelling unit. All required guest parking shall be provided as single, non-tandem parking spaces.

- Tandem parking spaces shall not block the use of the driveway to access other parking spaces located within the parking area.
 - Tandem parking spaces shall be used to accommodate passenger vehicles only.
- E. Forward Entrance and Exit. For parking areas adjacent to an arterial or collector roadway, sufficient maneuvering area shall be provided so that vehicles may enter and exit an abutting street in a forward direction.
- F. Parking Lifts. Required parking may be provided using elevator-like mechanical parking systems ("lifts") provided the lifts are located within an enclosed structure or otherwise screened from public view.
- G. Lighting.
- A parking area with six or more parking spaces shall include outdoor lighting that provides a minimum illumination of 1.0 foot-candles over the entire parking area.
 - Outdoor lighting as required above shall be provided during nighttime business hours.
 - All parking space area lighting shall be energy efficient and designed so that any glare or spillage is directed away from residential properties.
 - All fixtures shall be hooded and downward facing.
 - Parking structures shall provide indoor lighting as required by the California Building Code.
- H. Pedestrian Access.
- Parking lots with more than thirty parking spaces shall include a pedestrian walkway in compliance with ADA requirements.
 - The design of the pedestrian walkway shall be clearly visible and distinguished from parking and circulation areas through striping, contrasting paving material, or other similar method as approved by the community development director.

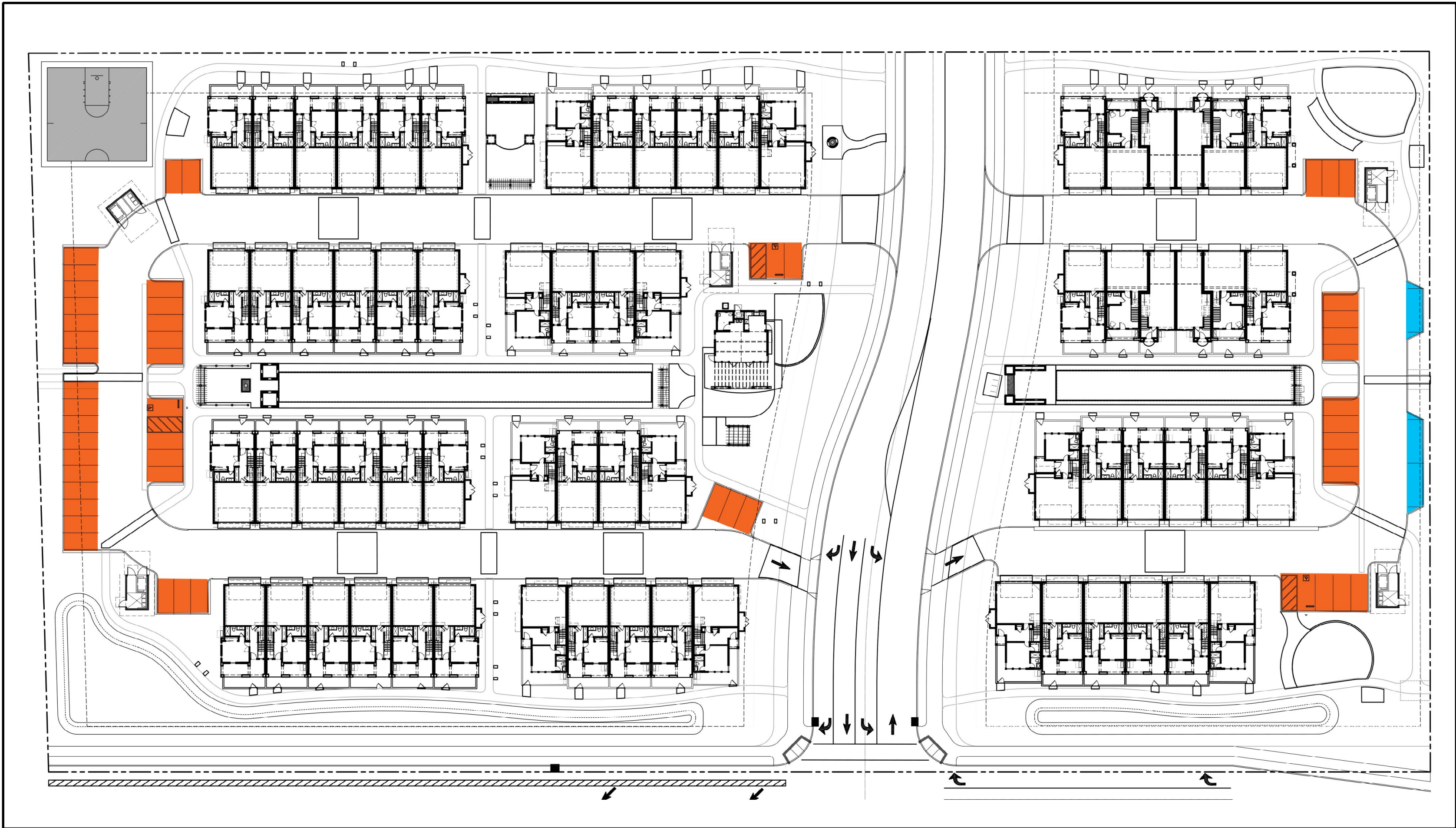
- I. Screening. Parking lots of six spaces or more shall comply with the following screening standards:
- Location. Screening shall be provided along the perimeter of parking lots fronting a street or abutting a residential zoning district.
 - Height.
 - Screening adjacent to streets shall have a minimum height of three feet.
 - For parking lots within ten feet of a residential zoning district, screening shall have a minimum height of six feet.
 - Materials. Required screening may consist of one or more of the following materials:
 - Low-profile walls constructed of brick, stone, stucco or other durable and graffiti-proof coating material.
 - Evergreen plants that form an opaque screen.
 - An open fence combined with landscaping to form an opaque screen.
 - A berm landscaped with ground cover, shrubs, or trees.
 - Parking lots within ten feet of a residential zoning district shall be screened by a six-foot masonry wall.

- J. Driveway Spacing.
- Driveways shall be setback from street intersections as shown in Table 18.72-5:

Table 18.72-5: Driveway Setbacks from Intersections

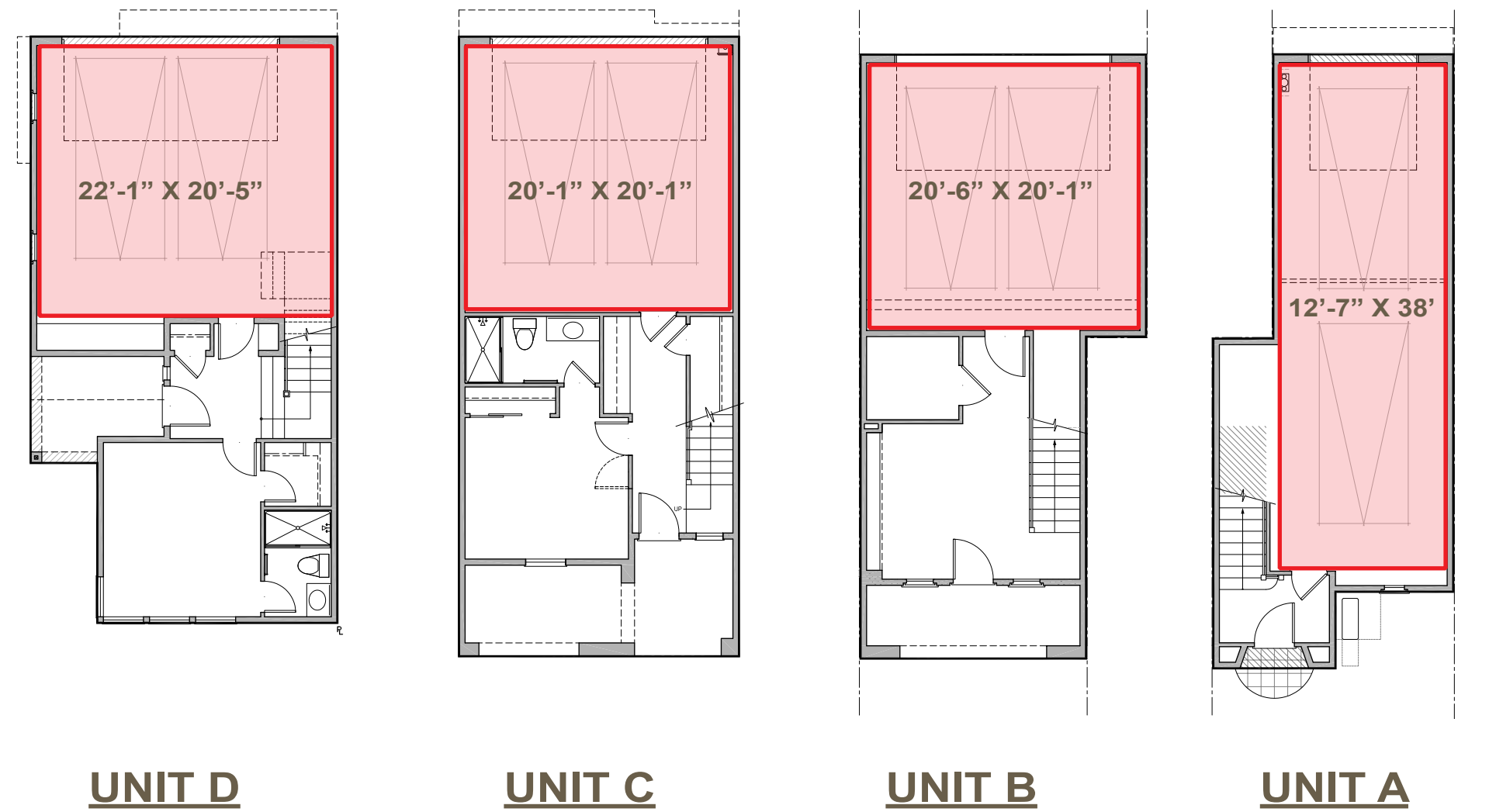
Use Served by Driveway	Minimum Distance from Intersection
Residential	10 ft.
Commercial	25 ft.
Industrial	30 ft.
Other Uses	As required by the City Engineer

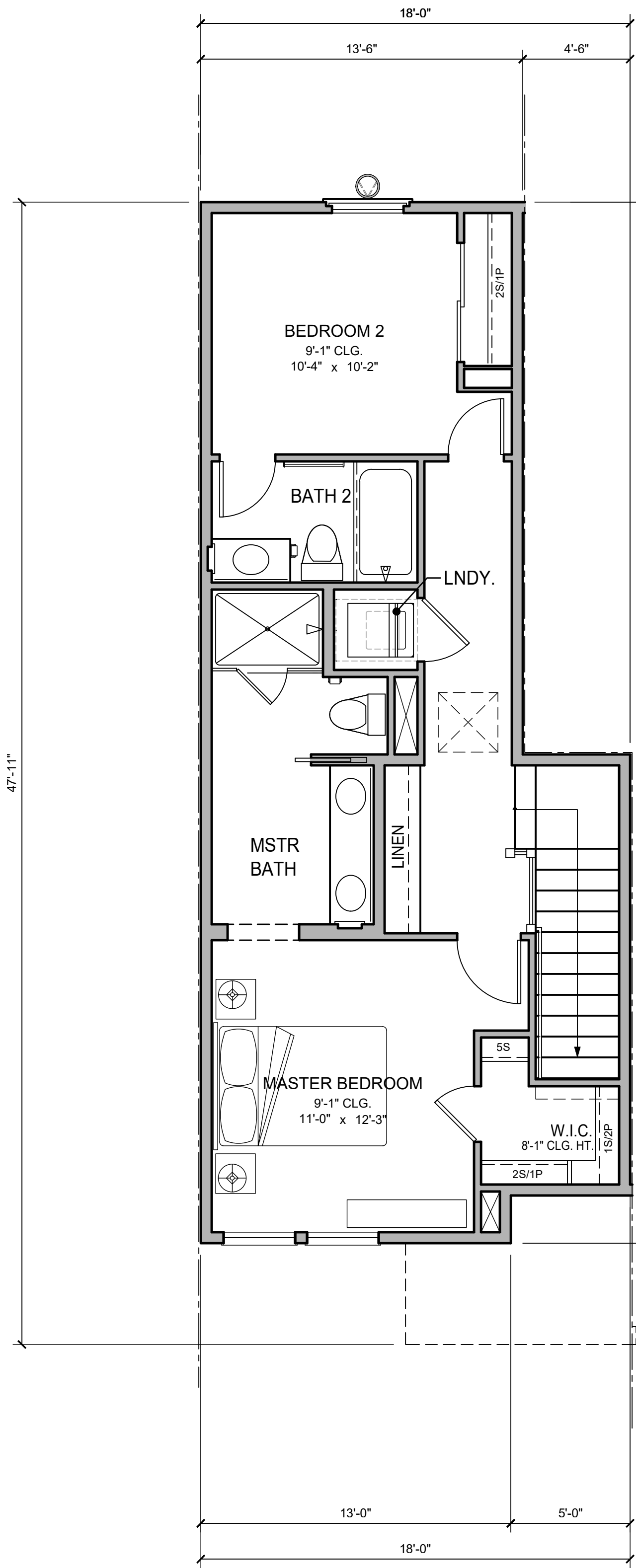
- Setbacks shall be measured from corner radius or t feet, whichever is greater. The corner radius shall be the arc length measured between the linear distance of the adjoining street.
- K. Adjustments to Parking Design and Development Standards. The Planning Commission may allow adjustments to parking design and development standards in this section through the approval of a Minor Exception as described in Chapter 18.108.070 (Minor Exceptions).
- (Ord. No. 2277 N.S., § 5(Exh. A), 6-6-2018)



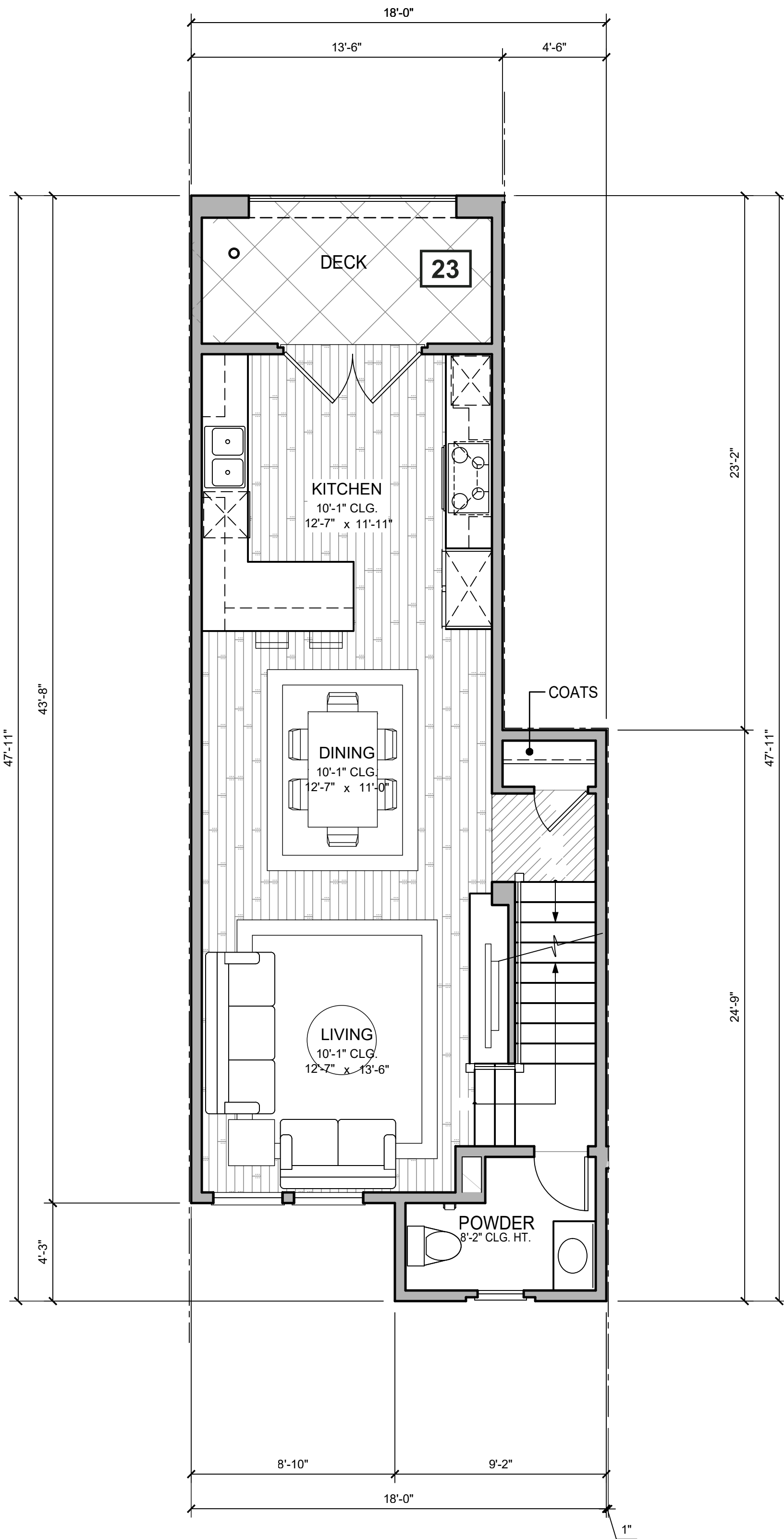
Parcel 1 Parking Summary			Required (Tables 18.72-2 & 18.72-3)			Provided	
Plan	Unit Count	Bedroom Count	Resident Parking / Unit	Resident Parking	Guest Parking	Garage Parking	Surface Parking
A	0	2	2	0.0	0.0	0	
B	0	3 + Den	2.5	0.0	0.0	0	
C	27	3 + Den	2.5	67.5	9.0	54	
CX	8	3 + Den	2.5	20.0	2.7	16	
D	6	3 + Den	2.5	15.0	2.0	12	
DX	2	3 + Den	2.5	5.0	0.7	4	
Sub-Total	43			107.5	14.3	86	36
Total				121.8		122	

Parcel 2 Parking Summary			Required (Tables 18.72-2 & 18.72-3)			Provided	
Plan	Unit Count	Bedroom Count	Resident Parking / Unit	Resident Parking	Guest Parking	Garage Parking	Surface Parking
A	4	2	2	8.0	1.3	8	
B	4	3 + Den	2.5	10.0	1.3	8	
C	8	3 + Den	2.5	20.0	2.7	16	
CX	4	3 + Den	2.5	10.0	1.3	8	
D	2	3 + Den	2.5	5.0	0.7	4	
DX	2	3 + Den	2.5	5.0	0.7	4	
Sub-Total	24			58.0	8.0	48	19
Total				66.0		67	

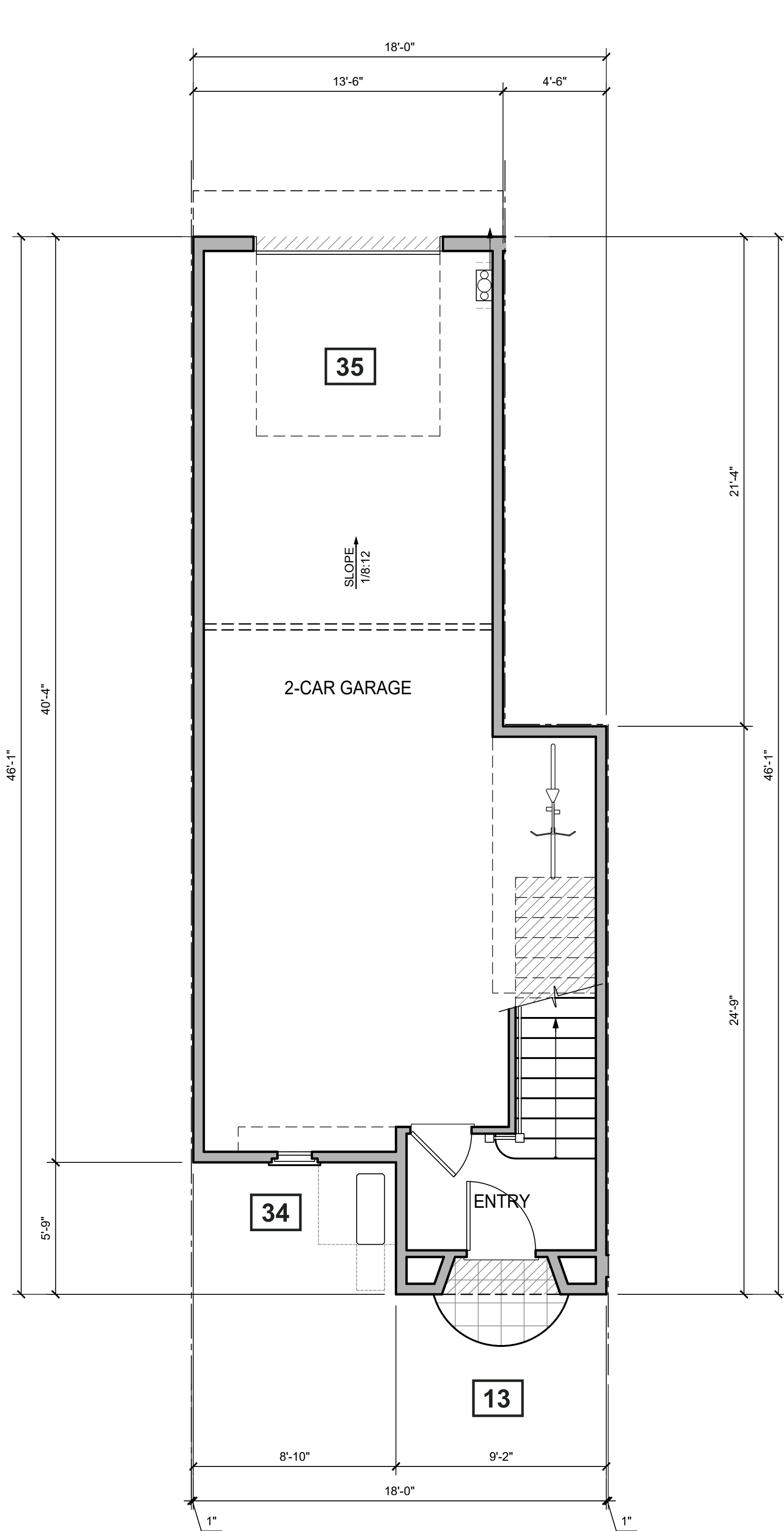




UNIT A: THIRD FLOOR PLAN



UNIT A: SECOND FLOOR PLAN



UNIT A: FIRST FLOOR PLAN

DESIGN STANDARDS:

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13. Usable Private and Common Open Space:

Each lot must include a private open space area, such as a private yard, porch, balcony, roof garden, or patio. Private open space must be contiguous to the unit it serves and accessible and visible from the living area of the unit. Private open space must be open air. Private open space cannot be covered by a roof by more than 50 percent of the area; however, balconies can have up to 100 percent ceiling coverage. The following private open space is required per unit type:

a. Single-family attached and detached units meeting the following average lot sizes shall provide useable open space as specified:

Average Lot Area (square feet)	1,440-1,920	1,920-2,999	3,000-4,356	4,357-6,999
Private Open Space	60 square feet per unit	150 square feet per unit	300 square feet per unit	350 square feet per unit
Common Open Space	140 square feet per unit	150 square feet per unit	175 square feet per unit	200 square feet per unit

b. Single-family detached (lots 7,000 square feet and over)- 500 square feet per unit (Private Open Space)

c. Multi-family residential – At least fifty percent of the units have at least 48 square feet per unit (Private Open Space). Fifteen percent of the site area shall be dedicated to common open space.

d. If On-site Recreational Amenities are not provided, private and common open space shall be increased by 25 percent.
Common open space shall be fully landscaped and accessible to all residents.
Private open space per unit may be reduced by up to 25 percent if off-set by the equivalent increase in common open space with amenities.
(GP Policy CNF-11.29)

22. Front Porches:

50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet

23. Balconies:

25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum size of 6 feet by 4 feet.

34. Equipment Screening:

All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment

35. Residential Parking Garage:

The project is designed to reduce the prominence of garage doors through one or more of the following strategies:

a. Locate the garage door behind the front porch and/or living space, relative to the front lot line;

b. Design the second floor to overhang beyond the garage door

c. Locate the garage to the side or rear of building rather than at the center; or

d. For garages with three or more non-landem parked cars, the area of the front wall(s) of garage(s) shall not be more than 25 percent of the cumulative exterior front walls of two story single family residential building; no more than 50 percent of the cumulative exterior front walls of a one story single-family residential building; and at least one front wall of the a three car garage must be separated from the remaining garage front wall by at least two feet. (GP Policy CNF-11.19)

UNIT A 2 BEDROOMS / 2 BATHS

FIRST FLOOR:	114 SQ. FT.
SECOND FLOOR:	634 SQ. FT.
THIRD FLOOR:	615 SQ. FT.
TOTAL:	1363 SQ. FT.
GARAGE:	569 SQ. FT.
PORCH:	-
DECK:	87 SQ. FT.
COURTYARD:	167 SQ. FT.
(TOTAL PRIVATE OPEN SPACE:	254 SQ. FT.)

MANZANITA PARK IN MORGAN HILL, CA

BY NORTH CORRIDOR INVESTORS, LLC

UNIT A: FLOOR PLANS

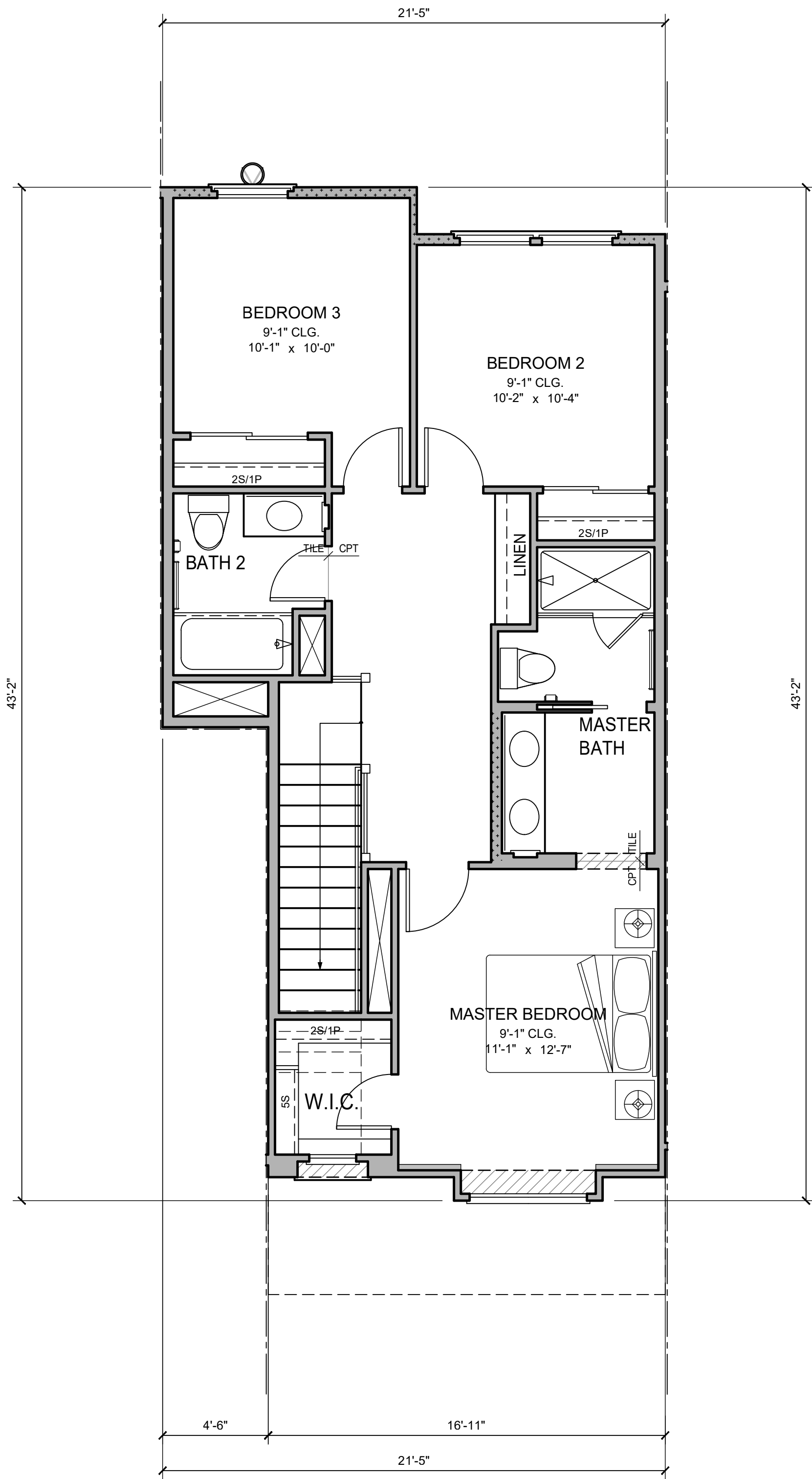
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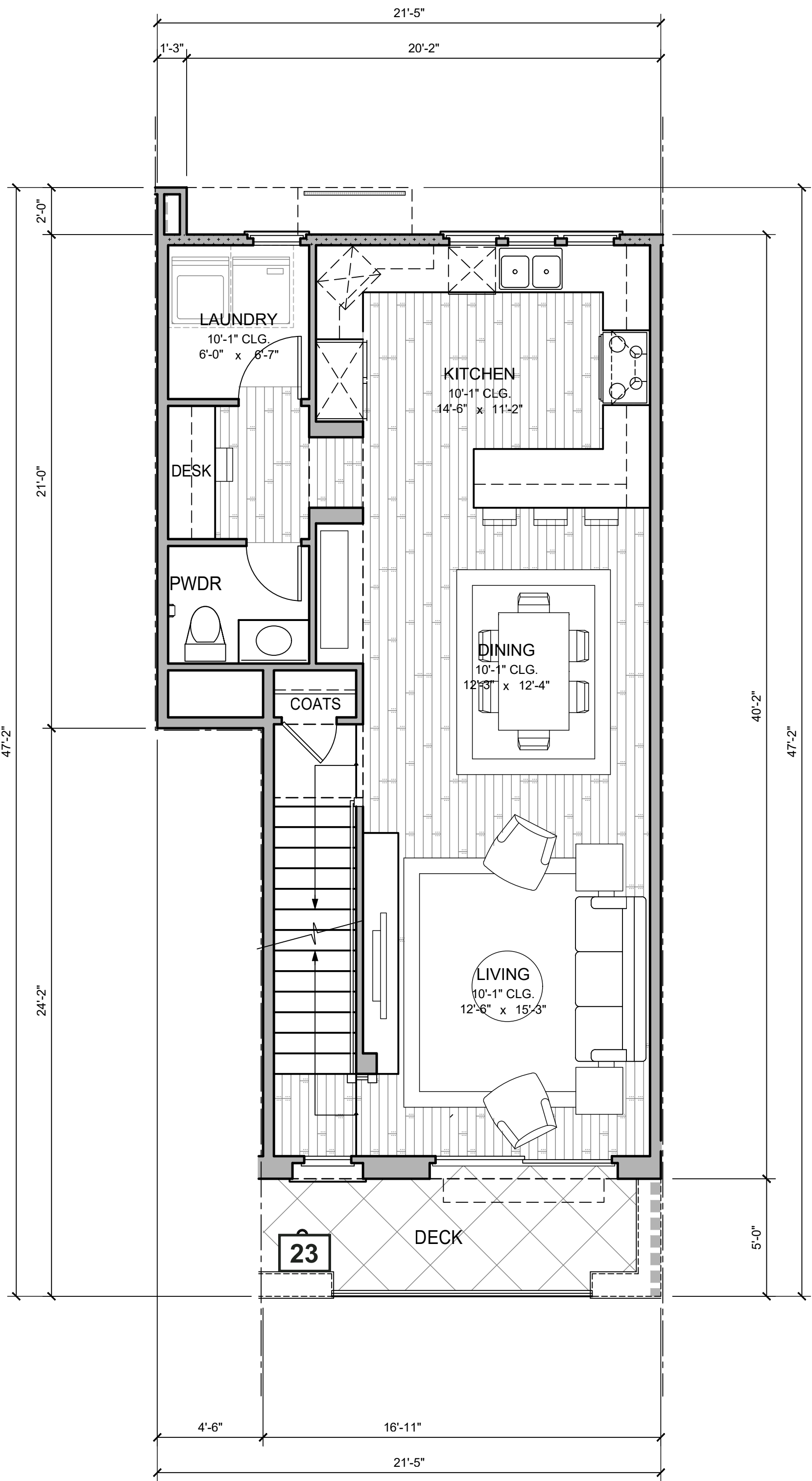
DAHLIN

5865 Owens Drive
Pleasanton, CA 94588
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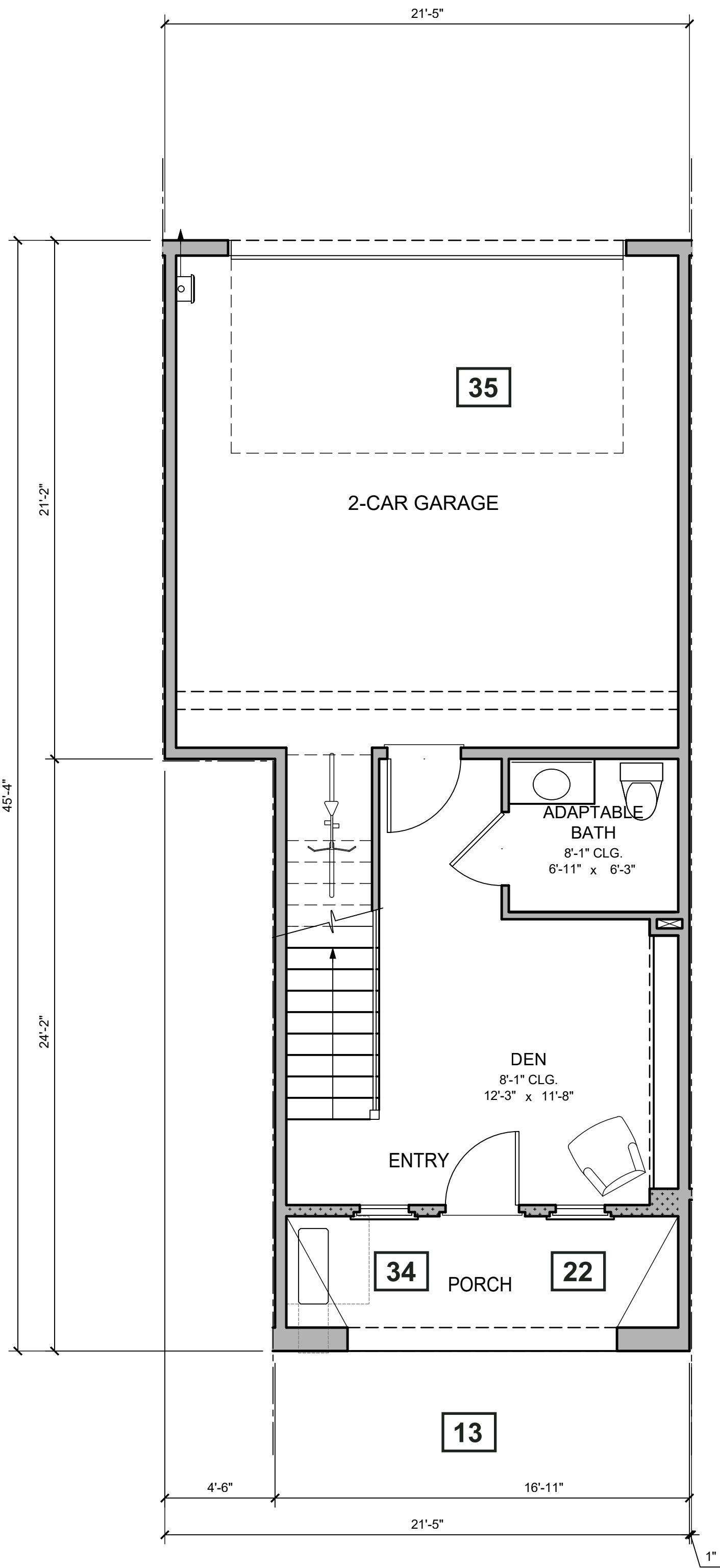
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UNIT B: THIRD FLOOR PLAN



UNIT B: SECOND FLOOR PLAN



UNIT B: FIRST FLOOR PLAN

DESIGN STANDARDS:

#

13. Useable Private and Common Open Space:
Each lot must include a private open space area, such as a private yard, porch, balcony, roof garden, or patio. Private open space must be contiguous to the unit it serves and accessible and visible from the living area of the unit. Private open space must be open air. Private open space cannot be covered by a roof by more than 50 percent of the area; however, balconies can have up to 100 percent ceiling coverage. The following private open space is required per unit type:

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b. Single-family detached (lots 7,000 square feet and over)- 500 square feet per unit (Private Open Space)

c. Multi-family residential – At least fifty percent of the units have at least 48 square feet per unit (Private Open Space). Fifteen percent of the site area shall be dedicated to common open space.

d. If On-site Recreational Amenities are not provided, private and common open space shall be increased by 25 percent.
Common open space shall be fully landscaped and accessible to all residents.
Private open space per unit may be reduced by up to 25 percent if off-set by the equivalent increase in common open space with amenities.
(GP Policy CNF-11.29)

22. Front Porches:
50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet

23. Balconies:
25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum size of 6 feet by 4 feet.

34. Equipment Screening:
All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment

35. Residential Parking Garage:
The project is designed to reduce the prominence of garage doors through one or more of the following strategies:
a. Locate the garage door behind the front porch and/or living space, relative to the front lot line;
b. Design the second floor to overhang beyond the garage door
c. Locate the garage to the side or rear of building rather than at the center; or
d. For garages with three or more non-tandem parked cars, the area of the front wall(s) of garage(s) shall not be more than 25 percent of the cumulative exterior front walls of two story single family residential building; no more than 50 percent of the cumulative exterior front walls of a one story single-family residential building; and at least one front wall of the a three car garage must be separated from the remaining garage front wall by at least two feet. (GP Policy CNF-11.19)

UNIT B	
3 BEDROOMS + DEN	
/ 2 FULL & 2 HALF BATHS	
FIRST FLOOR:	324 SQ. FT.
SECOND FLOOR:	774 SQ. FT.
THIRD FLOOR:	745 SQ. FT.
TOTAL:	1843 SQ. FT.
GARAGE:	446 SQ. FT.
PORCH:	94 SQ. FT.
DECK:	85 SQ. FT.
COURTYARD:	124 SQ. FT.
(TOTAL PRIVATE OPEN SPACE: 303 SQ. FT.)	

DESIGN STANDARDS:

#

13. Useable Private and Common Open Space:

Each lot must include a private open space area, such as a private yard, porch, balcony, roof garden, or patio. Private open space must be contiguous to the unit it serves and accessible and visible from the living area of the unit. Private open space must be open air. Private open space cannot be covered by a roof by more than 50 percent of the area; however, balconies can have up to 100 percent ceiling coverage. The following private open space is required per unit type:

a. Single-family attached and detached units meeting the following average lot sizes shall provide useable open space as specified:

Average Lot Area (square feet)	1,440-1,920	1,920-2,999	3,000-4,356	4,357-6,999
Private Open Space	60 square feet per unit	150 square feet per unit	300 square feet per unit	350 square feet per unit
Common Open Space	140 square feet per unit	150 square feet per unit	175 square feet per unit	200 square feet per unit

b. Single-family detached (lots 7,000 square feet and over)- 500 square feet per unit (Private Open Space)

c. Multi-family residential – At least fifty percent of the units have at least 48 square feet per unit (Private Open Space). Fifteen percent of the site area shall be dedicated to common open space.

d. If On-site Recreational Amenities are not provided, private and common open space shall be increased by 25 percent.

Common open space shall be fully landscaped and accessible to all residents.

Private open space per unit may be reduced by up to 25 percent if off-set by the equivalent increase in common open space with amenities.

(GP Policy CNF-11.29)

22. Front Porches:

50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet

23. Balconies:

25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum size of 6 feet by 4 feet.

34. Equipment Screening:

All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment

35. Residential Parking Garage:

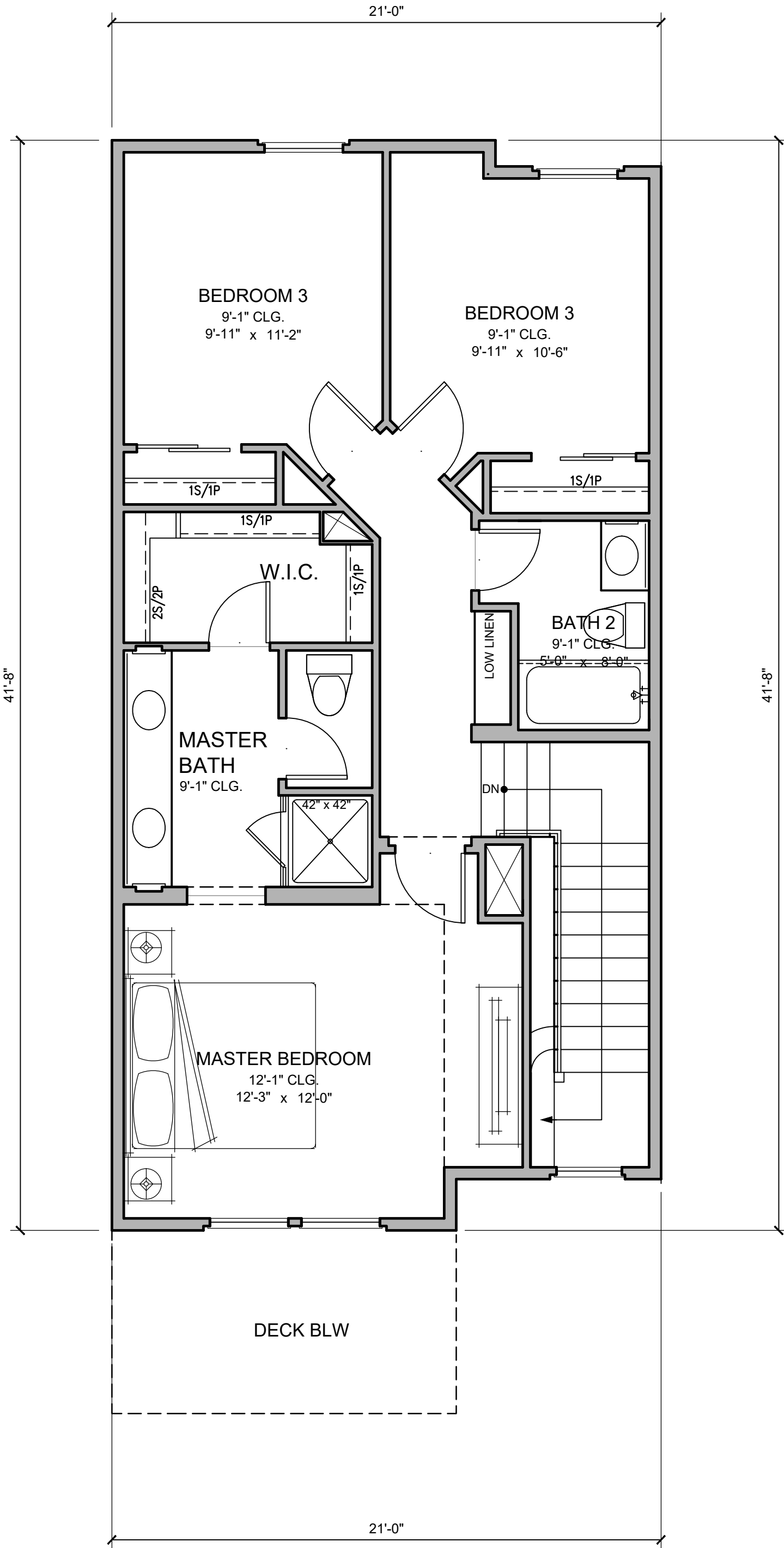
The project is designed to reduce the prominence of garage doors through one or more of the following strategies:

a. Locate the garage door behind the front porch and/or living space, relative to the front lot line;

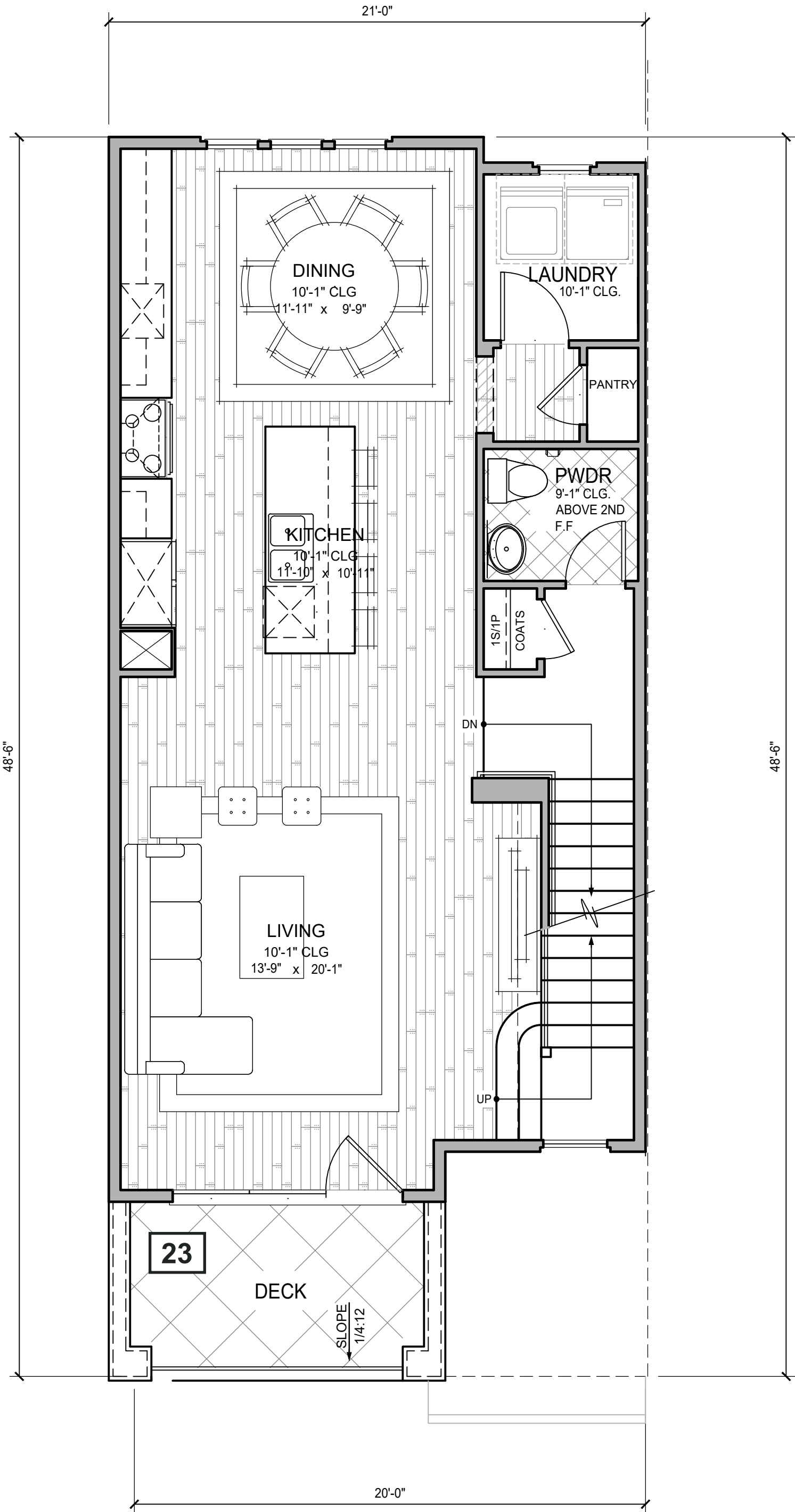
b. Design the second floor to overhang beyond the garage door

c. Locate the garage to the side or rear of building rather than at the center; or

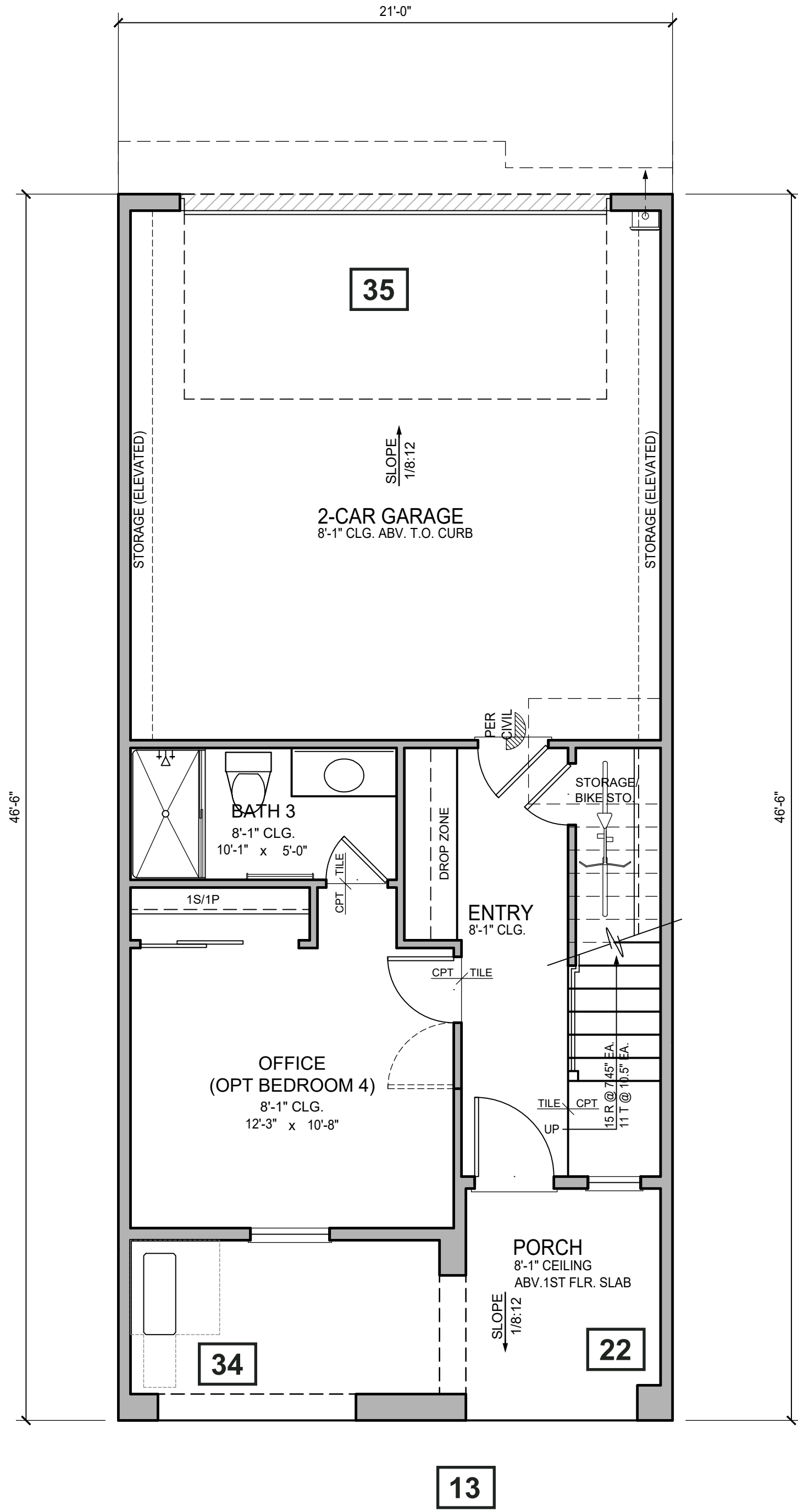
d. For garages with three or more non-tandem parked cars, the area of the front wall(s) of garage(s) shall not be more than 25 percent of the cumulative exterior front walls of two story single family residential building; no more than 50 percent of the cumulative exterior front walls of a one story single-family residential building; and at least one front wall of the a three car garage must be separated from the remaining garage front wall by at least two feet. (GP Policy CNF-11.19)



UNIT C: THIRD FLOOR PLAN



UNIT C: SECOND FLOOR PLAN



UNIT C: FIRST FLOOR PLAN

UNIT C
3 BEDROOMS + DEN (4 BEDROOM OPT)
/ 3.5 BATHS

FIRST FLOOR: 383 SQ. FT.
SECOND FLOOR: 853 SQ. FT.
THIRD FLOOR: 763 SQ. FT.

TOTAL: 1999 SQ. FT.

GARAGE: 435 SQ. FT.
PORCH: 159 SQ. FT.
DECK: 84 SQ. FT.

COURTYARD: 125 SQ. FT.
(TOTAL PRIVATE OPEN SPACE: 368 SQ. FT.)

MANZANITA PARK IN MORGAN HILL, CA

BY NORTH CORRIDOR INVESTORS, LLC

UNIT C: FLOOR PLANS

DAHLIN

DATE 03-22-2021
JOB NO. 297.081

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

A.05

DESIGN STANDARDS:

#

13. Useable Private and Common Open Space:

Each lot must include a private open space area, such as a private yard, porch, balcony, roof garden, or patio. Private open space must be contiguous to the unit it serves and accessible and visible from the living area of the unit. Private open space must be open air. Private open space cannot be covered by a roof by more than 50 percent of the area; however, balconies can have up to 100 percent ceiling coverage. The following private open space is required per unit type:

a. Single-family attached and detached units meeting the following average lot sizes shall provide useable open space as specified:

Average Lot Area (square feet)	1,440-1,920	1,920-2,999	3,000-4,356	4,357-6,999
Private Open Space	60 square feet per unit	150 square feet per unit	300 square feet per unit	350 square feet per unit
Common Open Space	140 square feet per unit	150 square feet per unit	175 square feet per unit	200 square feet per unit

b. Single-family detached (lots 7,000 square feet and over)- 500 square feet per unit (Private Open Space)

c. Multi-family residential – At least fifty percent of the units have at least 48 square feet per unit (Private Open Space). Fifteen percent of the site area shall be dedicated to common open space.

d. If On-site Recreational Amenities are not provided, private and common open space shall be increased by 25 percent.

Common open space shall be fully landscaped and accessible to all residents.

Private open space per unit may be reduced by up to 25 percent if off-set by the equivalent increase in common open space with amenities.

(GP Policy CNF-11.29)

22. Front Porches:

50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet

23. Balconies:

25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum size of 6 feet by 4 feet.

34. Equipment Screening:

All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment

35. Residential Parking Garage:

The project is designed to reduce the prominence of garage doors through one or more of the following strategies:

a. Locate the garage door behind the front porch and/or living space, relative to the front lot line;

b. Design the second floor to overhang beyond the garage door

c. Locate the garage to the side or rear of building rather than at the center; or

d. For garages with three or more non-tandem parked cars, the area of the front wall(s) of garage(s) shall not be more than 25 percent of the cumulative exterior front walls of two story single family residential building; no more than 50 percent of the cumulative exterior front walls of a one story single-family residential building; and at least one front wall of the a three car garage must be separated from the remaining garage front wall by at least two feet. (GP Policy CNF-11.19)

UNIT C-X: THIRD FLOOR PLAN

UNIT C-X: SECOND FLOOR PLAN

UNIT C-X: FIRST FLOOR PLAN

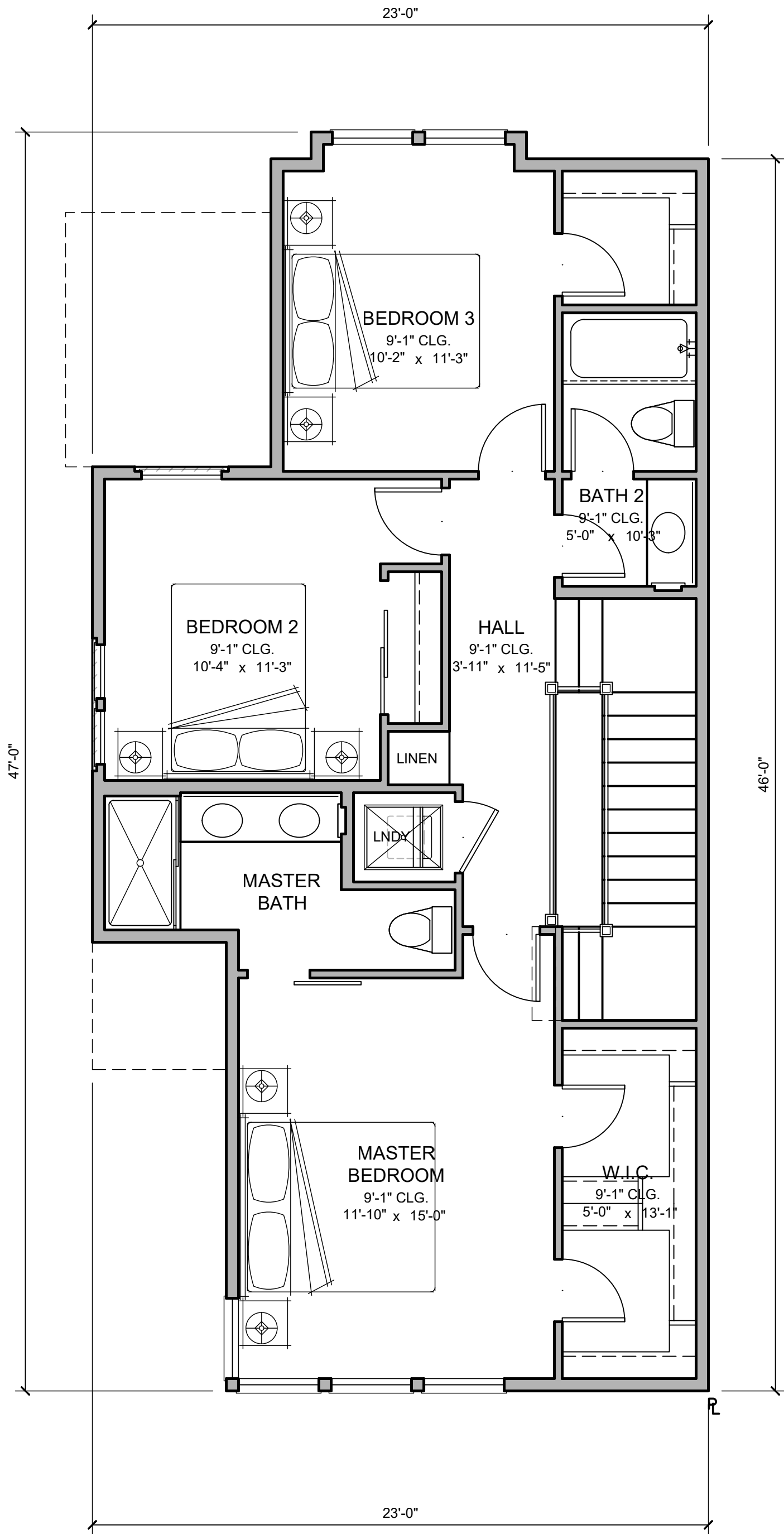
UNIT CX
3 BEDROOMS + DEN (4 BEDROOM OPT)
/ 3.5 BATHS

FIRST FLOOR: 397 SQ. FT.
SECOND FLOOR: 873 SQ. FT.
THIRD FLOOR: 782 SQ. FT.

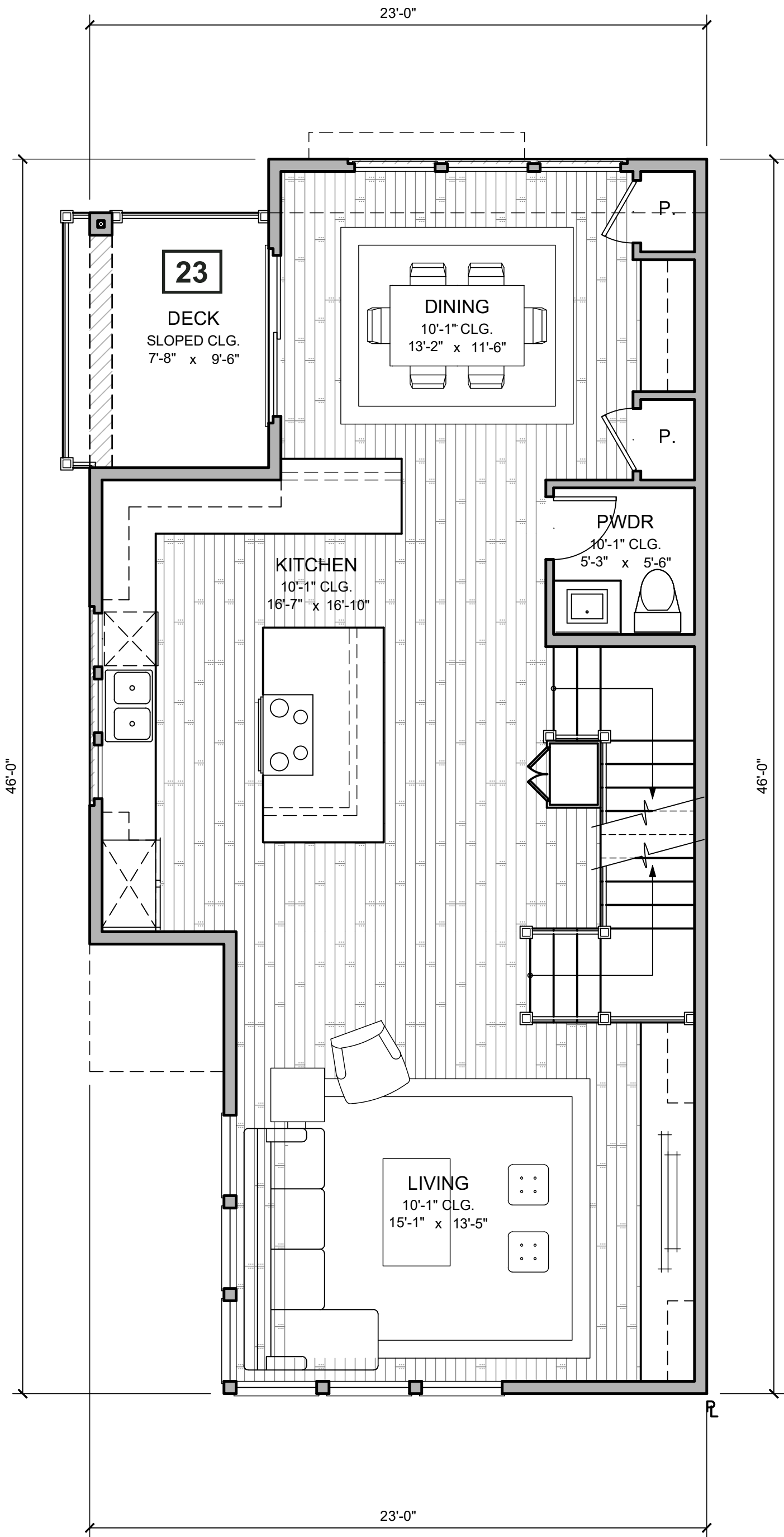
TOTAL: 2052 SQ. FT.

GARAGE: 441 SQ. FT.
PORCH: 168 SQ. FT.
DECK: 99 SQ. FT.

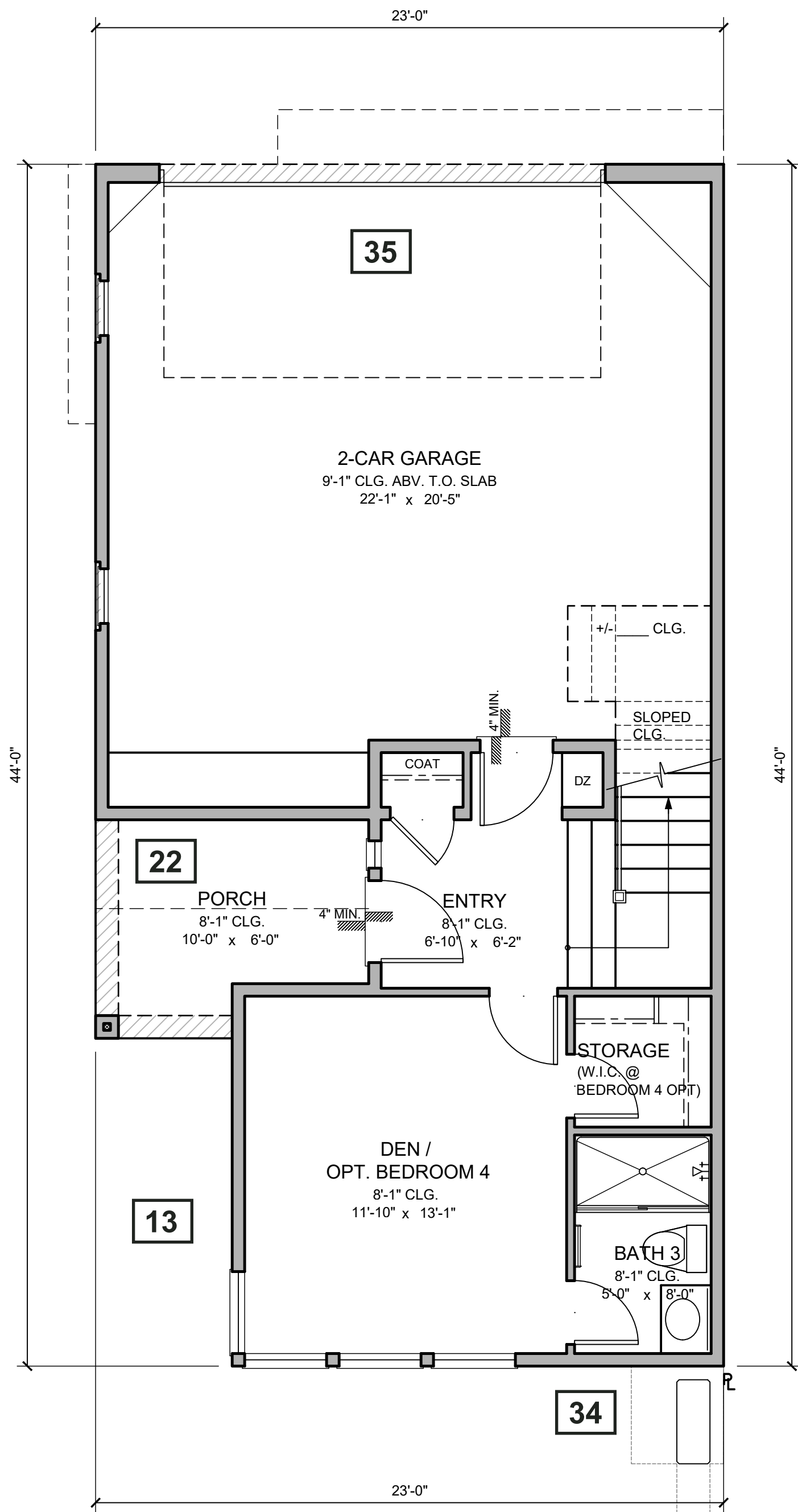
COURTYARD: 130 SQ. FT.
(TOTAL PRIVATE OPEN SPACE: 397 SQ. FT.)



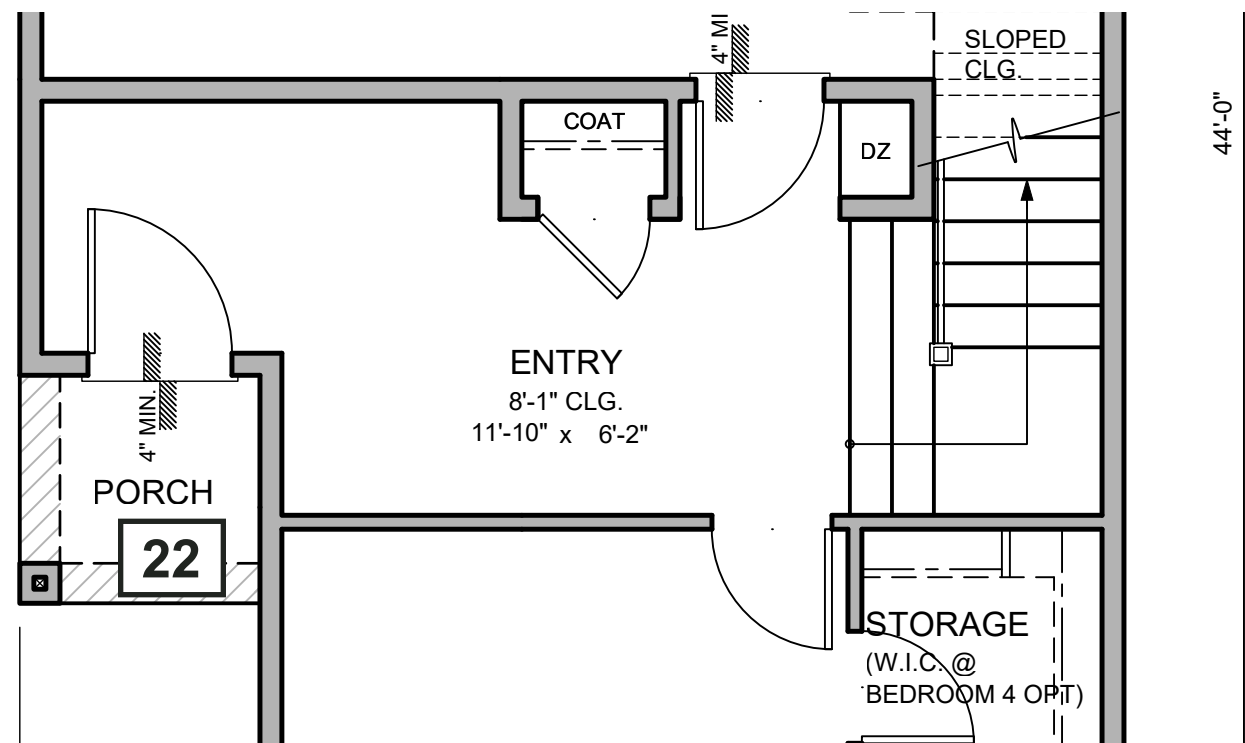
UNIT D: THIRD FLOOR PLAN



UNIT D: SECOND FLOOR PLAN



UNIT D: FIRST FLOOR PLAN



UNIT D-X: PARTIAL FIRST FLOOR PLAN

DESIGN STANDARDS:

#																
13.	Useable Private and Common Open Space: Each lot must include a private open space area, such as a private yard, porch, balcony, roof garden, or patio. Private open space must be contiguous to the unit it serves and accessible and visible from the living area of the unit. Private open space must be open air. Private open space cannot be covered by a roof by more than 50 percent of the area; however, balconies can have up to 100 percent ceiling coverage. The following private open space is required per unit type: a. Single-family attached and detached units meeting the following average lot sizes shall provide useable open space as specified: <table><tr><th>Average Lot Area (square feet)</th><th>1,440-1920</th><th>1,920-2,999</th><th>3,000-4,356</th><th>4,357-6,999</th></tr><tr><td>Private Open Space</td><td>60 square feet per unit</td><td>150 square feet per unit</td><td>300 square feet per unit</td><td>350 square feet per unit</td></tr><tr><td>Common Open Space</td><td>140 square feet per unit</td><td>150 square feet per unit</td><td>175 square feet per unit</td><td>200 square feet per unit</td></tr></table> b. Single-family detached (lots 7,000 square feet and over)- 500 square feet per unit (Private Open Space) c. Multi-family residential – At least fifty percent of the units have at least 48 square feet per unit (Private Open Space). Fifteen percent of the site area shall be dedicated to common open space. d. If On-site Recreational Amenities are not provided, private and common open space shall be increased by 25 percent. Common open space shall be fully landscaped and accessible to all residents. Private open space per unit may be reduced by up to 25 percent if off-set by the equivalent increase in common open space with amenities. (GP Policy CNF-11.29)	Average Lot Area (square feet)	1,440-1920	1,920-2,999	3,000-4,356	4,357-6,999	Private Open Space	60 square feet per unit	150 square feet per unit	300 square feet per unit	350 square feet per unit	Common Open Space	140 square feet per unit	150 square feet per unit	175 square feet per unit	200 square feet per unit
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Common Open Space	140 square feet per unit	150 square feet per unit	175 square feet per unit	200 square feet per unit												
22.	Front Porches: 50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet															
23.	Balconies: 25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum size of 6 feet by 4 feet.															
34.	Equipment Screening: All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventers, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment															
35.	Residential Parking Garage: The project is designed to reduce the prominence of garage doors through one or more of the following strategies: a. Locate the garage door behind the front porch and/or living space, relative to the front lot line; b. Design the second floor to overhang beyond the garage door c. Locate the garage to the side or rear of building rather than at the center; or d. For garages with three or more non-tandem parked cars, the area of the front wall(s) of garage(s) shall not be more than 25 percent of the cumulative exterior front walls of two story single family residential building; no more than 50 percent of the cumulative exterior front walls of a one story single-family residential building; and at least one front wall of the a three car garage must be separated from the remaining garage front wall by at least two feet. (GP Policy CNF-11.19)															

UNIT D

3 BEDROOMS + DEN (4 BEDROOM OPT)
/ 3.5 BATHS

FIRST FLOOR:	321 SQ. FT.
SECOND FLOOR:	898 SQ. FT.
THIRD FLOOR:	817 SQ. FT.

TOTAL:	2036 SQ. FT.
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GARAGE:	514 SQ. FT.
PORCH:	70 SQ. FT.
DECK:	73 SQ. FT.

COURTYARD:	222 SQ. FT.
TOTAL OPEN SPACE:	365 SQ. FT.

UNIT D-X

3 BEDROOMS + DEN (4 BEDROOM OPT)
/ 3.5 BATHS

FIRST FLOOR:	397 SQ. FT.
SECOND FLOOR:	898 SQ. FT.
THIRD FLOOR:	817 SQ. FT.

TOTAL:	2112 SQ. FT.
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GARAGE:	485 SQ. FT.
PORCH:	24 SQ. FT.
DECK:	73 SQ. FT.

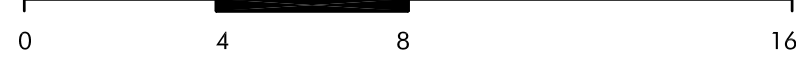
COURTYARD:	222 SQ. FT.
TOTAL OPEN SPACE:	319 SQ. FT.

MANZANITA PARK

IN MORGAN HILL, CA

BY NORTH CORRIDOR INVESTORS, LLC

UNIT D: FLOOR PLANS



DATE	03-22-2021
JOB NO.	297.081

DAHLIN

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

A.07

DESIGN STANDARDS:

#

13. Useable Private and Common Open Space:
Each lot must include a private open space area, such as a private yard, porch, balcony, roof garden, or patio. Private open space must be contiguous to the unit it serves and accessible and visible from the living area of the unit. Private open space must be open air. Private open space cannot be covered by a roof by more than 50 percent of the area, however, balconies can have up to 100 percent ceiling coverage. The following private open space is required per unit type:

a. Single-family attached and detached units meeting the following average lot sizes shall provide useable open space as specified:

Average Lot Area (square feet)	1,440-1,920	1,920-2,999	3,000-4,356	4,357-6,999
Private Open Space	60 square feet per unit	150 square feet per unit	300 square feet per unit	350 square feet per unit
Common Open Space	140 square feet per unit	150 square feet per unit	175 square feet per unit	200 square feet per unit

b. Single-family detached (lots 7,000 square feet and over)- 500 square feet per unit (Private Open Space)

c. Multi-family residential – At least fifty percent of the units have at least 48 square feet per unit (Private Open Space). Fifteen percent of the site area shall be dedicated to common open space.

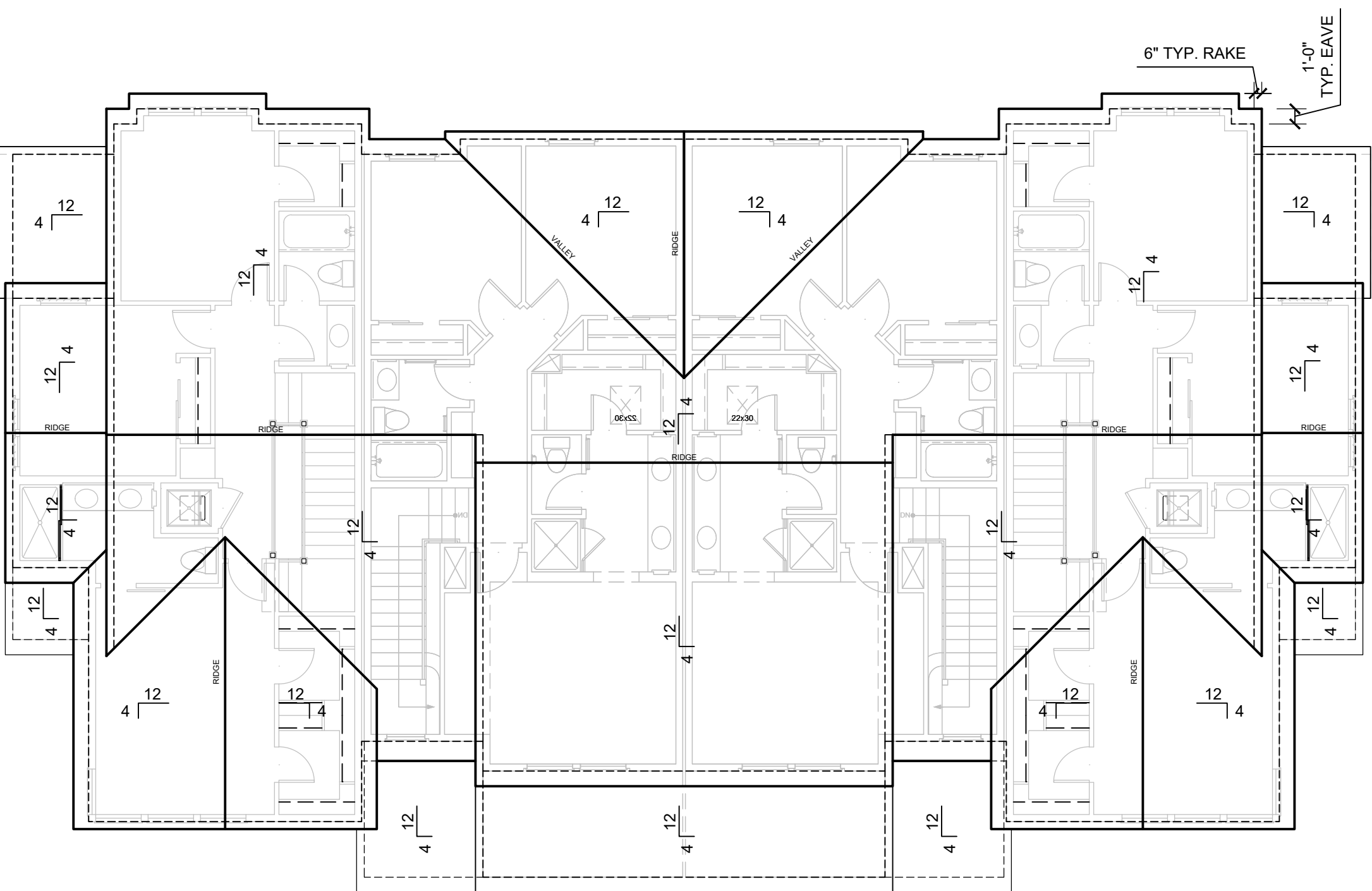
d. If On-site Recreational Amenities are not provided, private and common open space shall be increased by 25 percent.
Common open space shall be fully landscaped and accessible to all residents.
Private open space per unit may be reduced by up to 25 percent if off-set by the equivalent increase in common open space with amenities.
(GP Policy CNF-11.29)

22. Front Porches:
50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet

23. Balconies:
25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum size of 6 feet by 4 feet.

34. Equipment Screening:
All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment

35. Residential Parking Garage:
The project is designed to reduce the prominence of garage doors through one or more of the following strategies:
a. Locate the garage door behind the front porch and/or living space, relative to the front lot line;
b. Design the second floor to overhang beyond the garage door
c. Locate the garage to the side or rear of building rather than at the center; or
d. For garages with three or more non-landem parked cars, the area of the front wall(s) of garage(s) shall not be more than 25 percent of the cumulative exterior front walls of two story single family residential building; no more than 50 percent of the cumulative exterior front walls of a one story single-family residential building; and at least one front wall of the a three car garage must be separated from the remaining garage front wall by at least two feet. (GP Policy CNF-11.19)



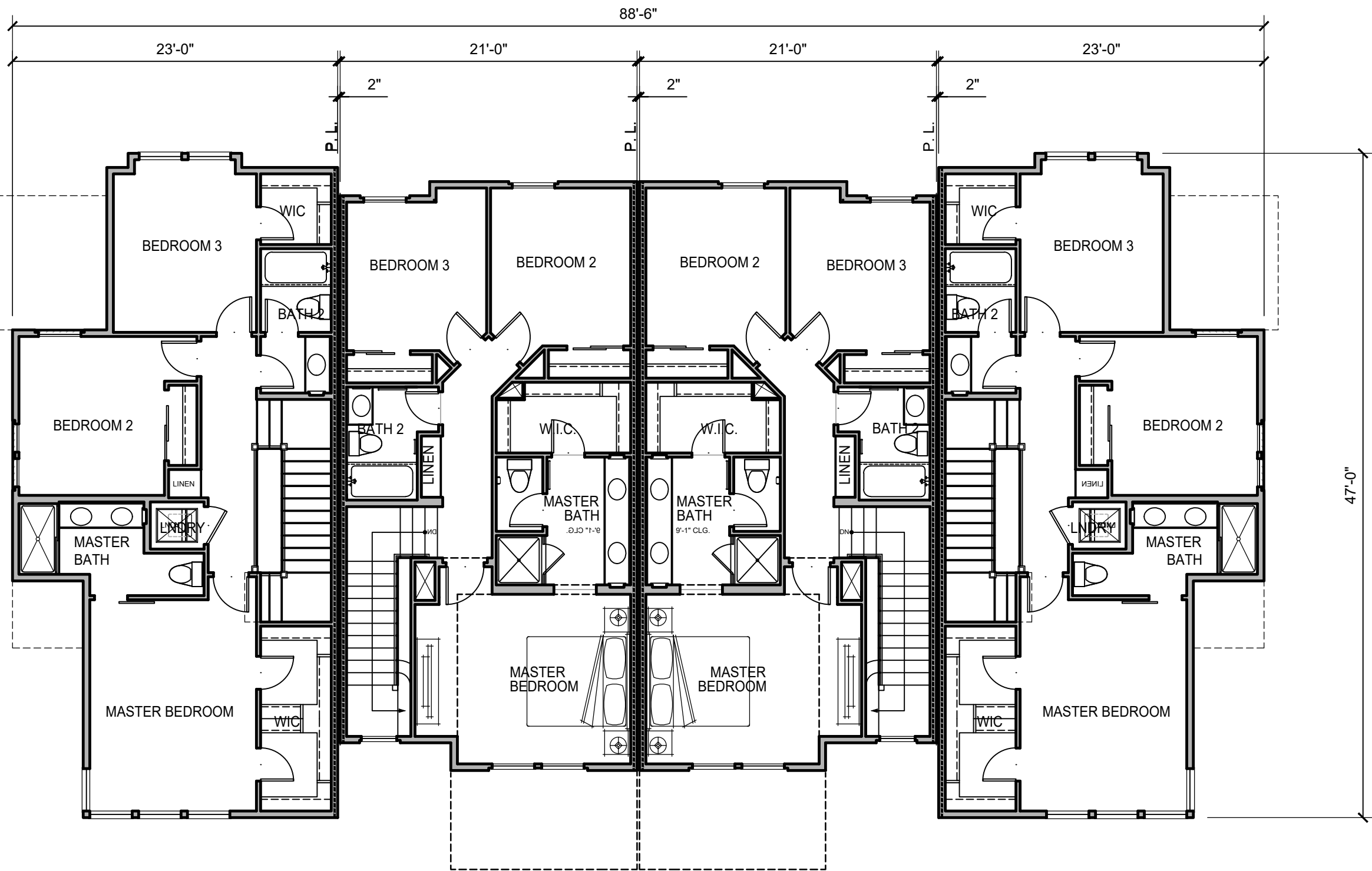
UNIT D

UNIT C

UNIT C

UNIT D

4-PLEX: ROOF PLAN



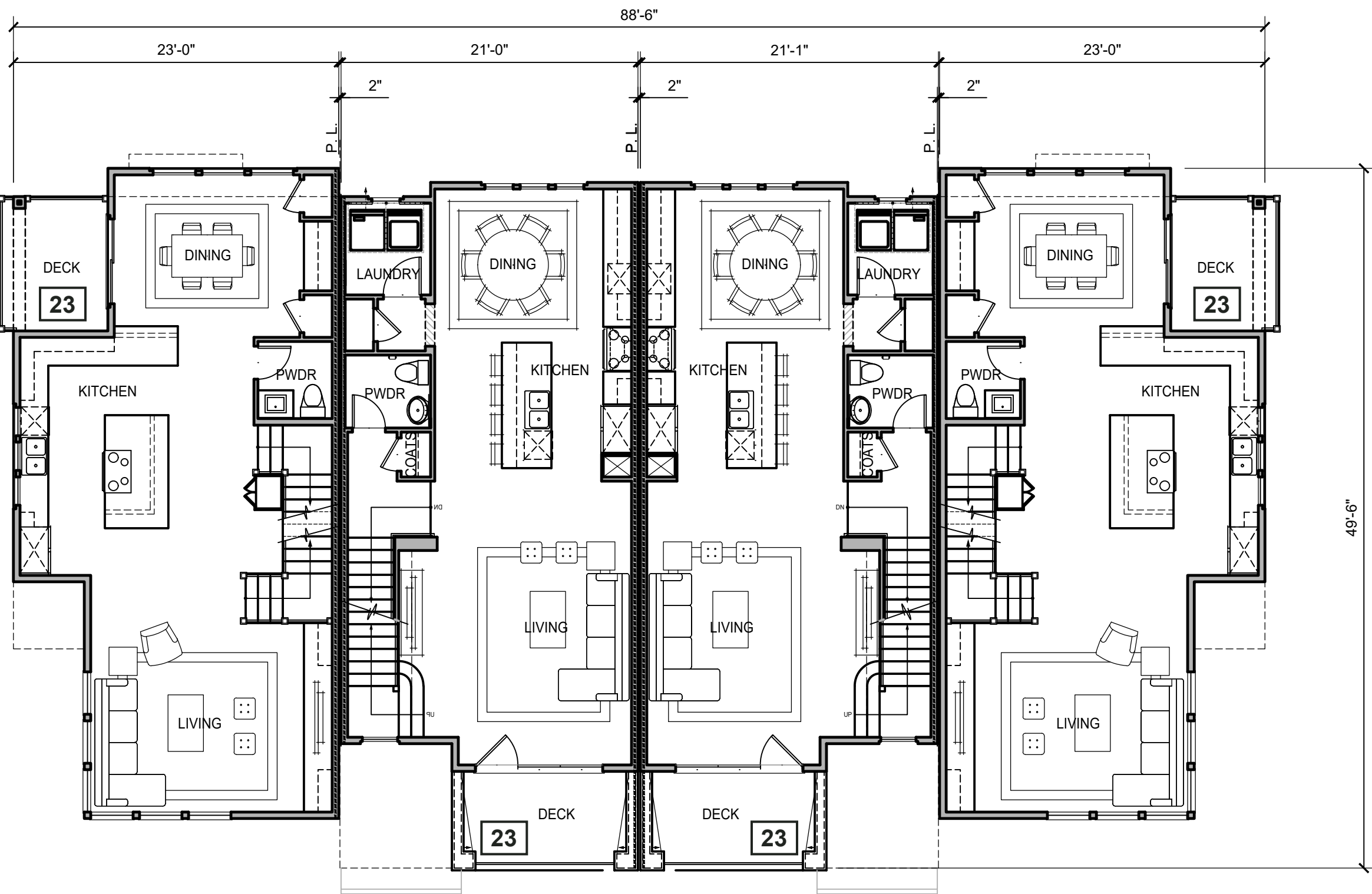
UNIT D

UNIT C

UNIT C

UNIT D

4-PLEX: THIRD FLOOR PLAN



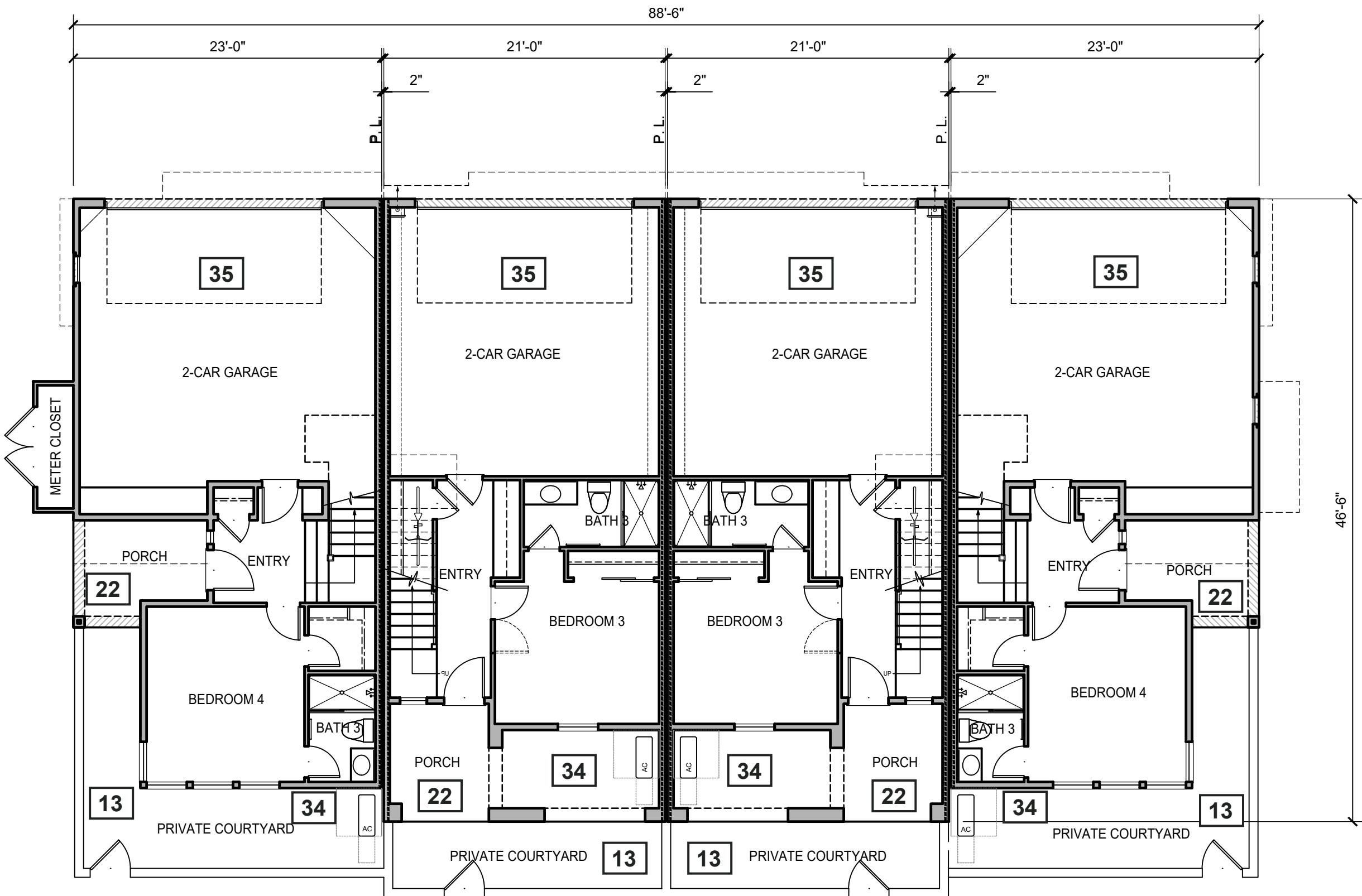
UNIT D

UNIT C

UNIT C

UNIT D

4-PLEX: SECOND FLOOR PLAN



UNIT D

UNIT C

UNIT C

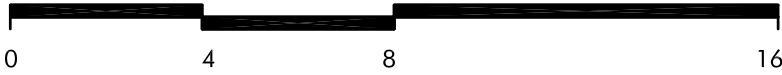
UNIT D

4-PLEX: FIRST FLOOR PLAN

MANZANITA PARK IN MORGAN HILL, CA

BY NORTH CORRIDOR INVESTORS, LLC

4-PLEX: FLOOR PLANS



DATE 03-22-2021
JOB NO. 297.081

DAHLIN

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

A.08



FRONT ELEVATION - 1/4" = 1'-0"

DESIGN STANDARDS:

<p>22. Front Porches: 50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet.</p> <p>23. Balconies: 25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum size of 6 feet by 4 feet.</p> <p>24. Fences: All fences and walls designed for screening purposes shall be of solid material. Chain link or chain link with slats is not permitted.</p> <p>25. 360 Degree Architecture: The project includes two of the following details: Windows, shutters, awnings, bay windows, trellis features, texture variations, stone, brick or other material enhancements. All facades (sides and rear) must have the level of detail, and materials (GP Policy CNF-11.16)</p> <p>26. Exterior Treatments and Materials: At least two materials shall be used on any building facade, in addition to glazing and railings. Any one material must comprise at least 20% of any building facade, excluding windows and railings. A change in material must be offset by a minimum of six inches in depth. Exterior finish materials should be chosen and applied to not appear artificial as in the case of brick veneer applied on a single building face so that it is obviously ¼ inch thick when viewed from the side, or in the case of a trellis made of 2 inch x 2 inch or 2 inch x 4 inch members. Veneers are required to turn corners, avoiding exposed edges.</p>	<p>27. Roof Line Variation for three or more units: Roofs have been designed to incorporate a minimum of two varying roof heights or types (hip, gable, shed, flat, etc.)</p> <p>28. Height and Project Massing: Project design minimizes bulk of the buildings by limiting building length, or designing buildings with the following special features to break up building bulk, including: a. Changes in roof form and height; and, b. Major full-height recesses (At least 10 feet deep for multi-family projects and three feet deep for single-family attached projects) along the length of the building that successfully break the building into smaller discrete masses. (General Plan Policy CNF 11.22)</p> <p>29. Separate Structures-Attached Projects: Large projects shall be divided into separate structures. The maximum number of units per structure is as follows: a. Single-family Attached: 7 units maximum per structure (General Plan Policy CNF 11.22) 100 percent affordable projects are exempt from this requirement</p> <p>30. Building Colors The project has provided a sample color palette of complimentary colors compatible with surrounding neighborhood. The number of colors appearing on any building exterior is limited to no more than four colors or tones of the same color, including trim and accent colors. The use of fluorescent or neon colors is prohibited.</p>	<p>31. Window Design: The window recesses, trim and other window elements have been designed to be substantial in depth to create shadows. The project incorporates at least one of the following window features throughout the project: a. Minimum depth of at least 1 1/2 inches from glass to exterior of trim; b. Minimum depth of at least six inches from glass to wall edge around windows if there is no trim (this is only appropriate for certain architectural styles such as Spanish Revival or Modern); or, c. Decorative trim elements that add detail and articulation, such as window surrounds with at least a two-inch depth. They must be designed as an integral part of the design.</p> <p>32. Glazing: Mirrored glass is prohibited in order to minimize off-site glare and maximize transparency.</p> <p>33. Exterior Lighting and Illumination: Wall-mounted lights or bollards shall be provided for security purposes. Lights shall be directed down and shielded to avoid glare impacts. The project has demonstrated compliance by submittal of a photometric plan and fixture details.</p> <p>34. Equipment Screening: All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment</p>	<p>36. Garage Door Design: The garage doors proposed within the project feature windows or other architectural design features consistent with the main dwelling, approved by the Development Services Director or designee</p> <p>39. Multi Family Roof Form: The roof element of the multi-family project is designed such that no more than two side-by-side units are covered by one unarticulated roof. Articulation may be accomplished by changing roof height, offsets, and direction of slope, and by introducing elements such as dormers, towers, or parapets. Other alternative design approaches that achieve the same goal of breaking down building masses into small individual units may also be acceptable, for example shifting the units in section and varying the design treatment for individual units. (GP Policy CNF-11.22)</p> <p>40. Massing for three story buildings or taller: Buildings three stories or taller shall have major massing breaks at least every 100 feet along any street frontage, adjacent public park, publicly accessible outdoor space, or designated open space, through the use of varying setbacks and/or building entries. Major breaks shall be a minimum of 30 inches deep and four feet wide and extend the full height of the building.</p> <p>41. Distinct material changes for three story buildings or taller: Buildings three stories or taller must provide a ground floor elevation that is distinctive from the upper stories by providing a material change between the first floor and upper floors along at least 75% of the building façade with frontage upon a street, adjacent public park or public open space.</p>
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SEE SHEET A.42 FOR COLOR AND MATERIAL BOARDS

MANZANITA PARK IN MORGAN HILL, CA

BY NORTH CORRIDOR INVESTORS, LLC

4-PLEX: ELEVATIONS



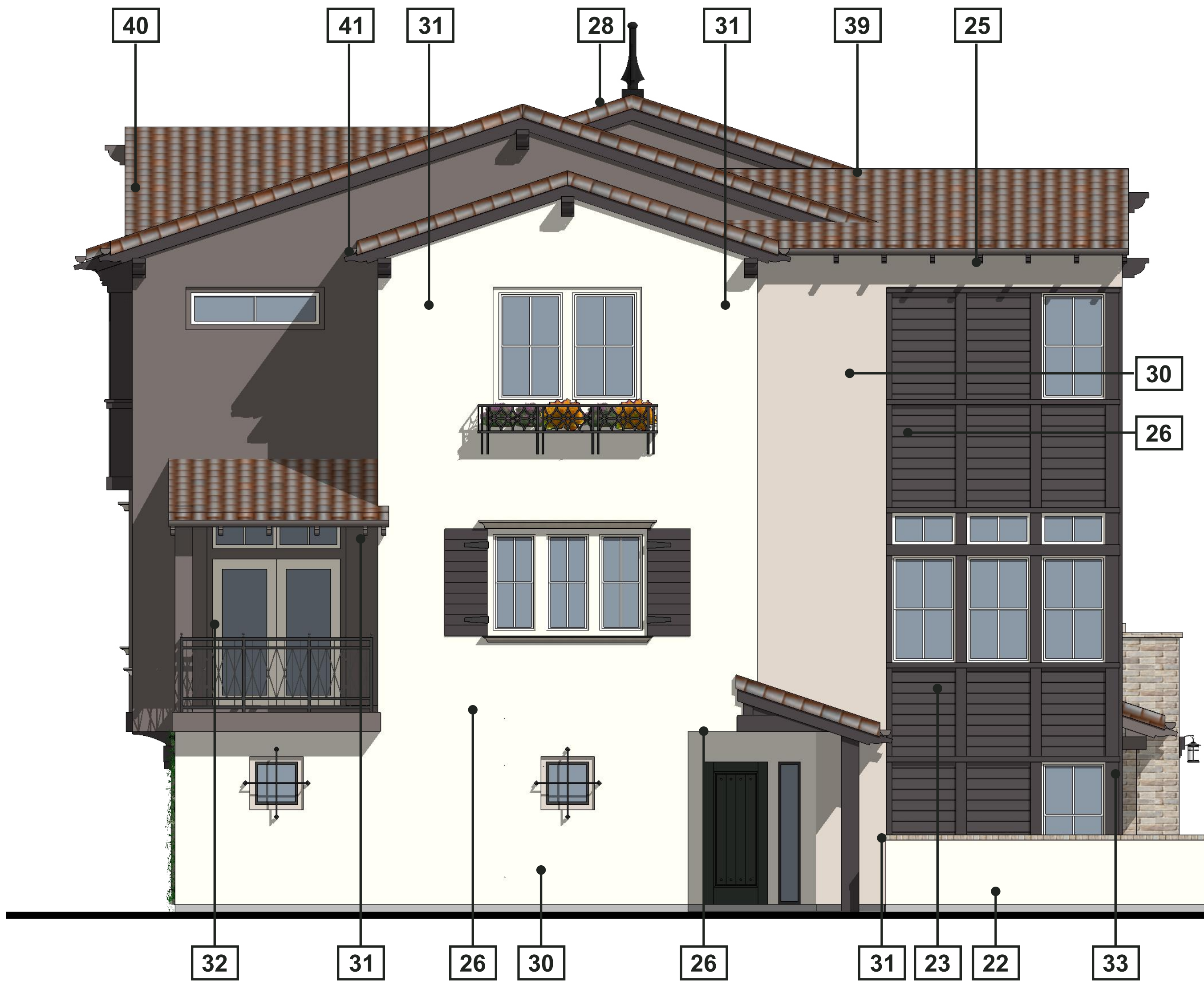
04816

DATE03-22-2021

JOB NO.297.081

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

A.09



UNIT D

LEFT ELEVATION - 1/4" = 1'-0"



UNIT D

RIGHT ELEVATION - 1/4" = 1'-0"

DESIGN STANDARDS:

22. Front Porches: 50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet.
23. Balconies: 25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum size of 6 feet by 4 feet.
24. Fences: All fences and walls designed for screening purposes shall be of solid material. Chain link or chain link with slats is not permitted.
25. 360 Degree Architecture: The project includes two of the following details: Windows, shutters, awnings, bay windows, trellis features, texture variations, stone, brick or other material enhancements. All facades (sides and rear) must have the level of detail, and materials (GP Policy CNF-11.16)
26. Exterior Treatments and Materials: At least two materials shall be used on any building facade, in addition to glazing and railings. Any one material must comprise at least 20% of any building facade, excluding windows and railings. A change in material must be offset by a minimum of six inches in depth. Exterior finish materials should be chosen and applied to not appear artificial as in the case of brick veneer applied on a single building face so that it is obviously ¼ inch thick when viewed from the side, or in the case of a trellis made of 2 inch x 2 inch or 2 inch x 4 inch members. Veneers are required to turn corners, avoiding exposed edges.

27. Roof Line Variation for three or more units: Roofs have been designed to incorporate a minimum of two varying roof heights or types (hip, gable, shed, flat, etc.)
28. Height and Project Massing: Project design minimizes bulk of the buildings by limiting building length, or designing buildings with the following special features to break up building bulk, including: a. Changes in roof form and height; and, b. Major full-height recesses (At least 10 feet deep for multi-family projects and three feet deep for single-family attached projects) along the length of the building that successfully break the building into smaller discrete masses. (General Plan Policy CNF 11.22)
29. Separate Structures-Attached Projects: Large projects shall be divided into separate structures. The maximum number of units per structure is as follows: a. Single-family Attached: 7 units maximum per structure (General Plan Policy CNF 11.22) 100 percent affordable projects are exempt from this requirement
30. Building Colors The project has provided a sample color palette of complimentary colors compatible with surrounding neighborhood. The number of colors appearing on any building exterior is limited to no more than four colors or tones of the same color, including trim and accent colors. The use of fluorescent or neon colors is prohibited.

31. Window Design: The window recesses, trim and other window elements have been designed to be substantial in depth to create shadows. The project incorporates at least one of the following window features throughout the project: a. Minimum depth of at least 1 1/2 inches from glass to exterior of trim; b. Minimum depth of at least six inches from glass to wall edge around windows if there is no trim (this is only appropriate for certain architectural styles such as Spanish Revival or Modern); or, c. Decorative trim elements that add detail and articulation, such as window surrounds with at least a two-inch depth. They must be designed as an integral part of the design.
32. Glazing: Mirrored glass is prohibited in order to minimize off-site glare and maximize transparency.
33. Exterior Lighting and Illumination: Wall-mounted lights or bollards shall be provided for security purposes. Lights shall be directed down and shielded to avoid glare impacts. The project has demonstrated compliance by submittal of a photometric plan and fixture details.
34. Equipment Screening: All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment

36. Garage Door Design: The garage doors proposed within the project feature windows or other architectural design features consistent with the main dwelling, approved by the Development Services Director or designee
39. Multi Family Roof Form: The roof element of the multi-family project is designed such that no more than two side-by-side units are covered by one unarticulated roof. Articulation may be accomplished by changing roof height, offsets, and direction of slope, and by introducing elements such as dormers, towers, or parapets. Other alternative design approaches that achieve the same goal of breaking down building masses into small individual units may also be acceptable, for example shifting the units in section and varying the design treatment for individual units. (GP Policy CNF-11.22)
40. Massing for three story buildings or taller: Buildings three stories or taller shall have major massing breaks at least every 100 feet along any street frontage, adjacent public park, publicly accessible outdoor space, or designated open space, through the use of varying setbacks and/or building entries. Major breaks shall be a minimum of 30 inches deep and four feet wide and extend the full height of the building.
41. Distinct material changes for three story buildings or taller: Buildings three stories or taller must provide a ground floor elevation that is distinctive from the upper stories by providing a material change between the first floor and upper floors along at least 75% of the building facade with frontage upon a street, adjacent public park or public open space.

SEE SHEET A.42 FOR COLOR AND MATERIAL BOARDS

MANZANITA PARK IN MORGAN HILL, CA

BY NORTH CORRIDOR INVESTORS, LLC

4-PLEX: ELEVATIONS



04816

DATE03-22-2021

JOB NO.297.081

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

A.10



REAR ELEVATION - 1/4" = 1'-0"

DESIGN STANDARDS:

<p>22. Front Porches: 50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet.</p> <p>23. Balconies: 25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum size of 6 feet by 4 feet.</p> <p>24. Fences: All fences and walls designed for screening purposes shall be of solid material. Chain link or chain link with slats is not permitted.</p> <p>25. 360 Degree Architecture: The project includes two of the following details: Windows, shutters, awnings, bay windows, trellis features, texture variations, stone, brick or other material enhancements. All facades (sides and rear) must have the level of detail, and materials (GP Policy CNF-11.16)</p> <p>26. Exterior Treatments and Materials: At least two materials shall be used on any building facade, in addition to glazing and railings. Any one material must comprise at least 20% of any building facade, excluding windows and railings. A change in material must be offset by a minimum of six inches in depth. Exterior finish materials should be chosen and applied to not appear artificial as in the case of brick veneer applied on a single building face so that it is obviously ¼ inch thick when viewed from the side, or in the case of a trellis made of 2 inch x 2 inch or 2 inch x 4 inch members. Veneers are required to turn corners, avoiding exposed edges.</p>	<p>27. Roof Line Variation for three or more units: Roofs have been designed to incorporate a minimum of two varying roof heights or types (hip, gable, shed, flat, etc.)</p> <p>28. Height and Project Massing: Project design minimizes bulk of the buildings by limiting building length, or designing buildings with the following special features to break up building bulk, including: a. Changes in roof form and height; and, b. Major full-height recesses (At least 10 feet deep for multi-family projects and three feet deep for single-family attached projects) along the length of the building that successfully break the building into smaller discrete masses. (General Plan Policy CNF 11.22)</p> <p>29. Separate Structures-Attached Projects: Large projects shall be divided into separate structures. The maximum number of units per structure is as follows: a. Single-family Attached: 7 units maximum per structure (General Plan Policy CNF 11.22) 100 percent affordable projects are exempt from this requirement</p> <p>30. Building Colors The project has provided a sample color palette of complementary colors compatible with surrounding neighborhood. The number of colors appearing on any building exterior is limited to no more than four colors or tones of the same color, including trim and accent colors. The use of fluorescent or neon colors is prohibited.</p>	<p>31. Window Design: The window recesses, trim and other window elements have been designed to be substantial in depth to create shadows. The project incorporates at least one of the following window features throughout the project: a. Minimum depth of at least 1 1/2 inches from glass to exterior of trim; b. Minimum depth of at least six inches from glass to wall edge around windows if there is no trim (this is only appropriate for certain architectural styles such as Spanish Revival or Modern); or, c. Decorative trim elements that add detail and articulation, such as window surrounds with at least a two-inch depth. They must be designed as an integral part of the design.</p> <p>32. Glazing: Mirrored glass is prohibited in order to minimize off-site glare and maximize transparency.</p> <p>33. Exterior Lighting and Illumination: Wall-mounted lights or bollards shall be provided for security purposes. Lights shall be directed down and shielded to avoid glare impacts. The project has demonstrated compliance by submittal of a photometric plan and fixture details.</p> <p>34. Equipment Screening: All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment</p>	<p>36. Garage Door Design: The garage doors proposed within the project feature windows or other architectural design features consistent with the main dwelling, approved by the Development Services Director or designee</p> <p>39. Multi Family Roof Form: The roof element of the multi-family project is designed such that no more than two side-by-side units are covered by one unarticulated roof. Articulation may be accomplished by changing roof height, offsets, and direction of slope, and by introducing elements such as dormers, towers, or parapets. Other alternative design approaches that achieve the same goal of breaking down building masses into small individual units may also be acceptable, for example shifting the units in section and varying the design treatment for individual units. (GP Policy CNF-11.22)</p> <p>40. Massing for three story buildings or taller: Buildings three stories or taller shall have major massing breaks at least every 100 feet along any street frontage, adjacent public park, publicly accessible outdoor space, or designated open space, through the use of varying setbacks and/or building entries. Major breaks shall be a minimum of 30 inches deep and four feet wide and extend the full height of the building.</p> <p>41. Distinct material changes for three story buildings or taller: Buildings three stories or taller must provide a ground floor elevation that is distinctive from the upper stories by providing a material change between the first floor and upper floors along at least 75% of the building façade with frontage upon a street, adjacent public park or public open space.</p>
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SEE SHEET A.42 FOR COLOR AND MATERIAL BOARDS

MANZANITA PARK IN MORGAN HILL, CA

BY NORTH CORRIDOR INVESTORS, LLC

4-PLEX: ELEVATIONS



DATE	03-22-2021
JOB NO.	297.081

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

A.11

DESIGN STANDARDS:

#

13. Useable Private and Common Open Space:
Each lot must include a private open space area, such as a private yard, porch, balcony, roof garden, or patio. Private open space must be contiguous to the unit it serves and accessible and visible from the living area of the unit. Private open space must be open air. Private open space cannot be covered by a roof by more than 50 percent of the area, however, balconies can have up to 100 percent ceiling coverage. The following private open space is required per unit type:

a. Single-family attached and detached units meeting the following average lot sizes shall provide useable open space as specified:

Average Lot Area (square feet)	1,440-1,920	1,920-2,999	3,000-4,356	4,357-6,999
Private Open Space	60 square feet per unit	150 square feet per unit	300 square feet per unit	350 square feet per unit
Common Open Space	140 square feet per unit	150 square feet per unit	175 square feet per unit	200 square feet per unit

b. Single-family detached (lots 7,000 square feet and over)- 500 square feet per unit (Private Open Space)

c. Multi-family residential – At least fifty percent of the units have at least 48 square feet per unit (Private Open Space). Fifteen percent of the site area shall be dedicated to common open space.

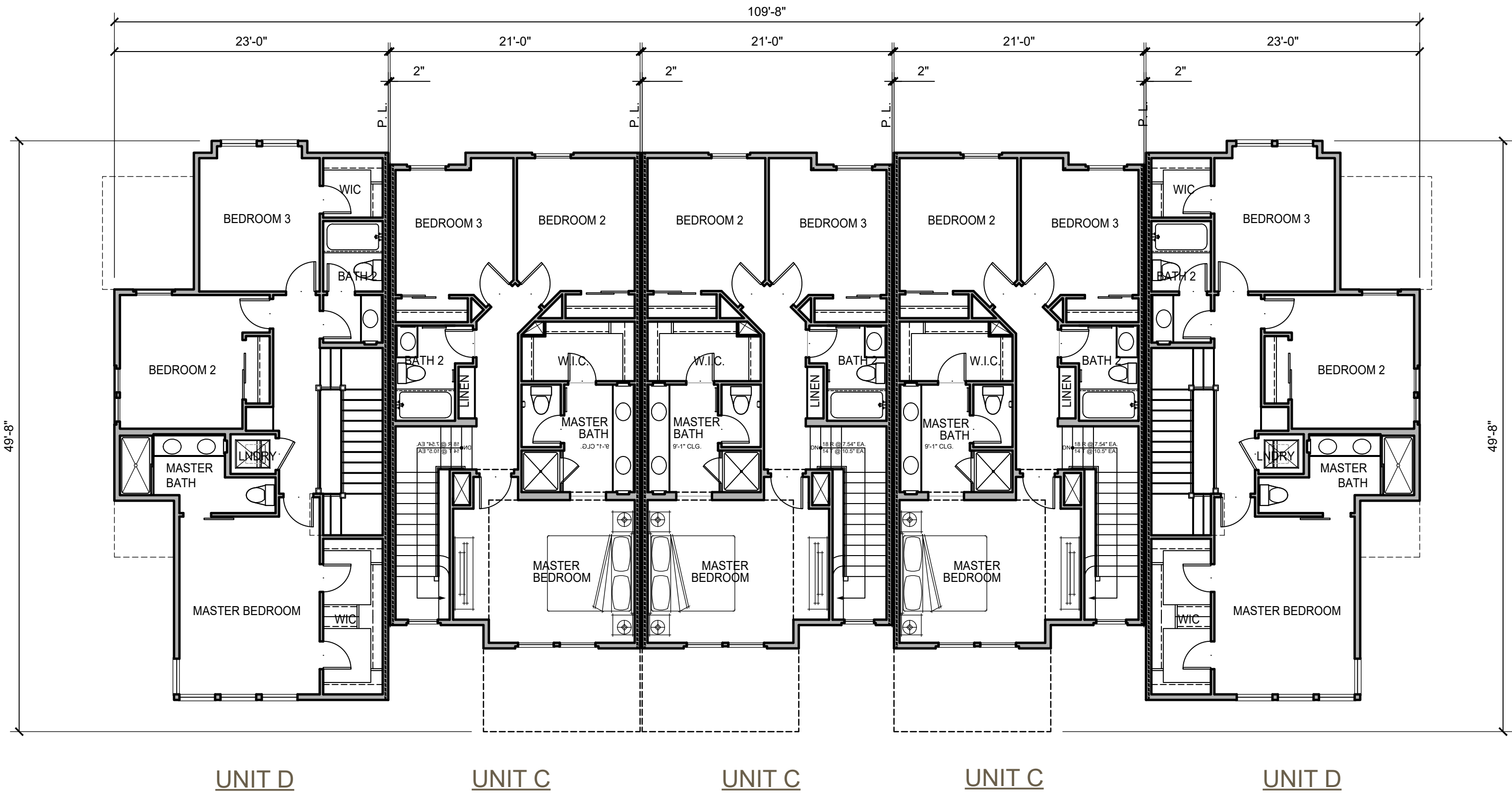
d. If On-site Recreational Amenities are not provided, private and common open space shall be increased by 25 percent.
Common open space shall be fully landscaped and accessible to all residents.
Private open space per unit may be reduced by up to 25 percent if off-set by the equivalent increase in common open space with amenities.
(GP Policy CNF-11.29)

22. Front Porches:
50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet

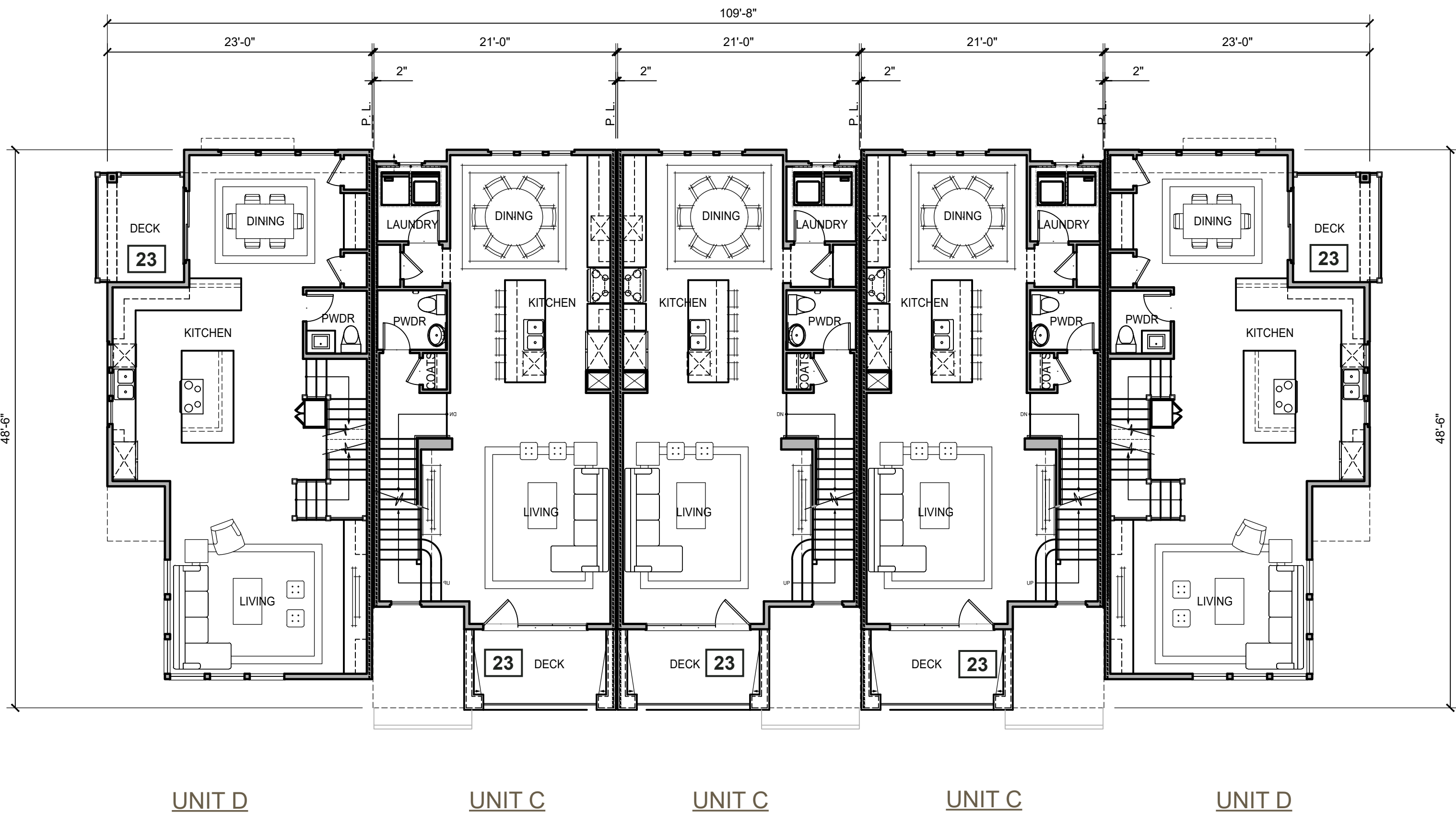
23. Balconies:
25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum size of 6 feet by 4 feet.

34. Equipment Screening:
All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment

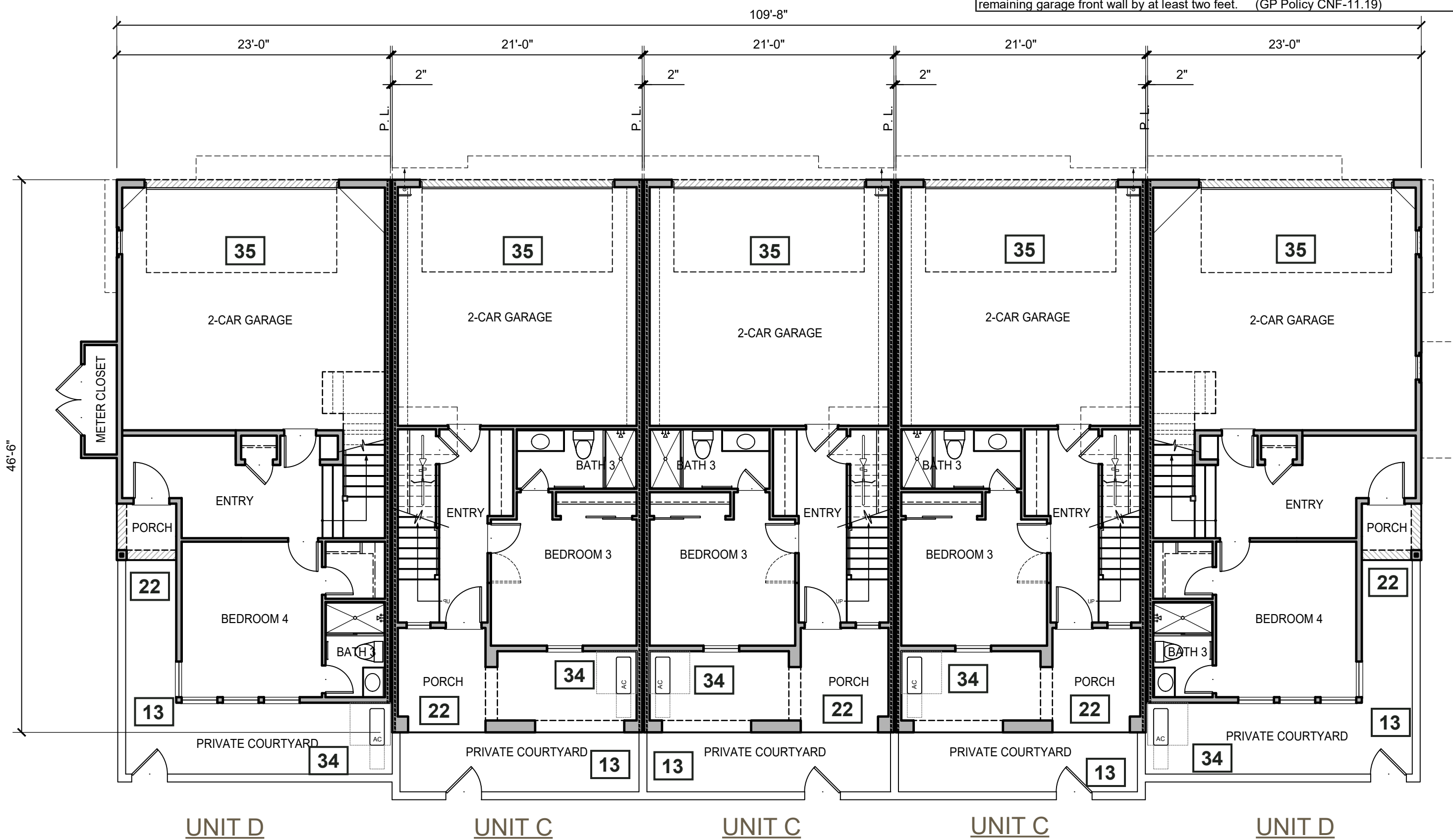
35. Residential Parking Garage:
The project is designed to reduce the prominence of garage doors through one or more of the following strategies:
a. Locate the garage door behind the front porch and/or living space, relative to the front lot line;
b. Design the second floor to overhang beyond the garage door
c. Locate the garage to the side or rear of building rather than at the center; or
d. For garages with three or more non-tandem parked cars, the area of the front wall(s) of garage(s) shall not be more than 25 percent of the cumulative exterior front walls of two story single family residential building; no more than 50 percent of the cumulative exterior front walls of a one story single-family residential building; and at least one front wall of the a three car garage must be separated from the remaining garage front wall by at least two feet. (GP Policy CNF-11.19)



5-PLEX: THIRD FLOOR PLAN



5-PLEX: SECOND FLOOR PLAN

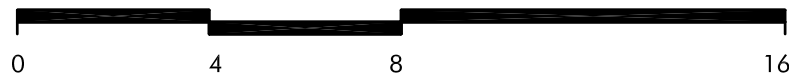


5-PLEX: FIRST FLOOR PLAN

MANZANITA PARK IN MORGAN HILL, CA

BY NORTH CORRIDOR INVESTORS, LLC

5-PLEX: FLOOR PLANS



DATE 03-22-2021
JOB NO. 297.081

DAHLIN

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

A.12

DESIGN STANDARDS:

#

13. Useable Private and Common Open Space:

Each lot must include a private open space area, such as a private yard, porch, balcony, roof garden, or patio. Private open space must be contiguous to the unit it serves and accessible and visible from the living area of the unit. Private open space must be open air. Private open space cannot be covered by a roof by more than 50 percent of the area, however, balconies can have up to 100 percent ceiling coverage. The following private open space is required per unit type:

a. Single-family attached and detached units meeting the following average lot sizes shall provide useable open space as specified:

Average Lot Area (square feet)	1,440-1,920	1,920-2,999	3,000-4,356	4,357-6,999
Private Open Space	60 square feet per unit	150 square feet per unit	300 square feet per unit	350 square feet per unit
Common Open Space	140 square feet per unit	150 square feet per unit	175 square feet per unit	200 square feet per unit

b. Single-family detached (lots 7,000 square feet and over)- 500 square feet per unit (Private Open Space)

c. Multi-family residential – At least fifty percent of the units have at least 48 square feet per unit (Private Open Space). Fifteen percent of the site area shall be dedicated to common open space.

d. If On-site Recreational Amenities are not provided, private and common open space shall be increased by 25 percent.

Common open space shall be fully landscaped and accessible to all residents.

Private open space per unit may be reduced by up to 25 percent if off-set by the equivalent increase in common open space with amenities.

(GP Policy CNF-11.29)

22. Front Porches:

50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet

23. Balconies:

25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum size of 6 feet by 4 feet.

34. Equipment Screening:

All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment

35. Residential Parking Garage:

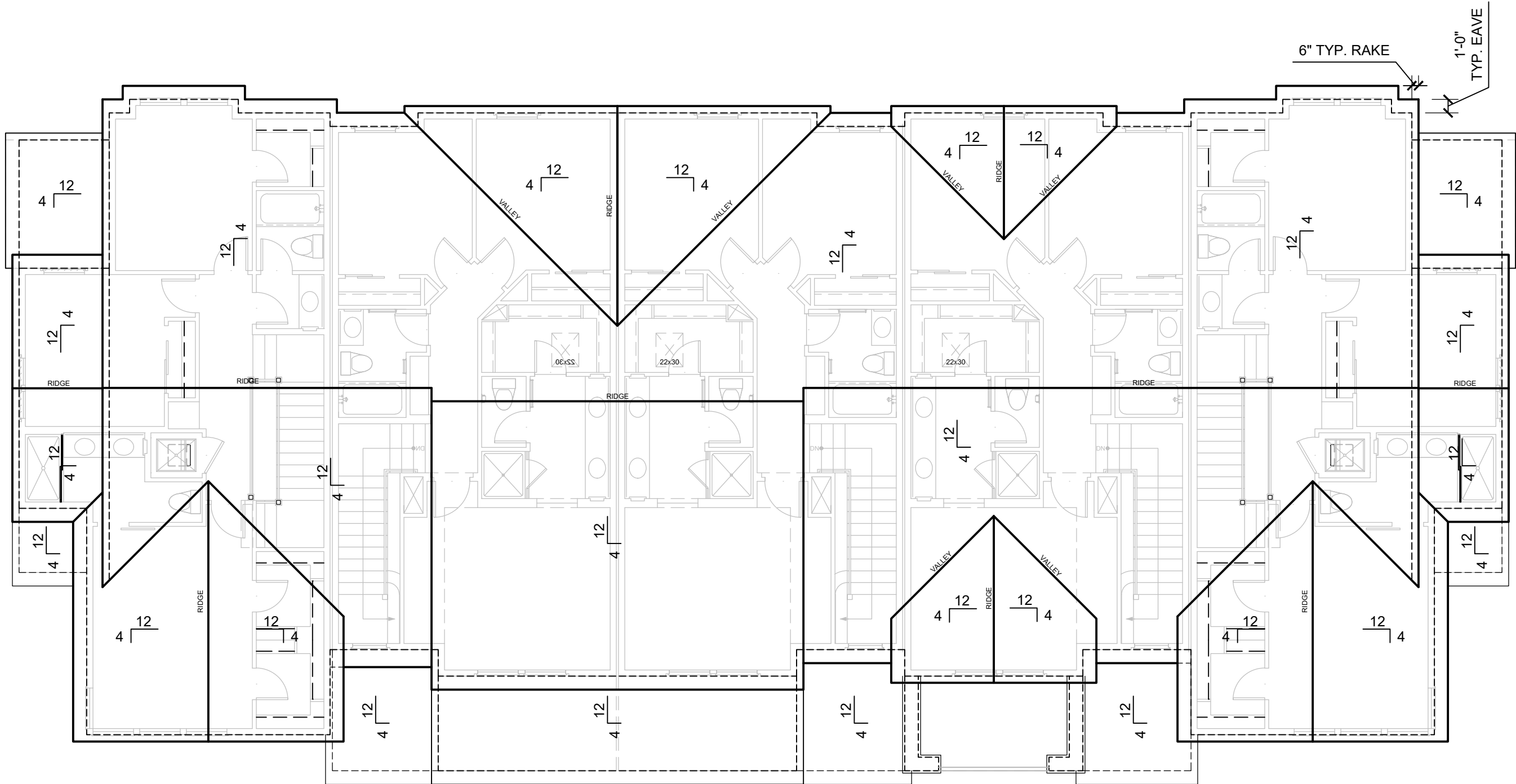
The project is designed to reduce the prominence of garage doors through one or more of the following strategies:

a. Locate the garage door behind the front porch and/or living space, relative to the front lot line;

b. Design the second floor to overhang beyond the garage door

c. Locate the garage to the side or rear of building rather than at the center; or

d. For garages with three or more non-tandem parked cars, the area of the front wall(s) of garage(s) shall not be more than 25 percent of the cumulative exterior front walls of two story single family residential building; no more than 50 percent of the cumulative exterior front walls of a one story single-family residential building; and at least one front wall of the a three car garage must be separated from the remaining garage front wall by at least two feet. (GP Policy CNF-11.19)



UNIT D

UNIT C

UNIT C

UNIT C

UNIT D

5-PLEX: ROOF PLAN



FRONT ELEVATION - 1/4" = 1'-0"

DESIGN STANDARDS:

22. Front Porches: 50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet.	27. Roof Line Variation for three or more units: Roofs have been designed to incorporate a minimum of two varying roof heights or types (hip, gable, shed, flat, etc.)	31. Window Design: The window recesses, trim and other window elements have been designed to be substantial in depth to create shadows. The project incorporates at least one of the following window features throughout the project: a. Minimum depth of at least 1 1/2 inches from glass to exterior of trim; b. Minimum depth of at least six inches from glass to wall edge around windows if there is no trim (this is only appropriate for certain architectural styles such as Spanish Revival or Modern); or c. Decorative trim elements that add detail and articulation, such as window surrounds with at least a two-inch depth. They must be designed as an integral part of the design.	36. Garage Door Design: The garage doors proposed within the project feature windows or other architectural design features consistent with the main dwelling, approved by the Development Services Director or designee.
23. Balconies: 25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum size of 6 feet by 4 feet.	28. Height and Project Massing: Project design minimizes bulk of the buildings by limiting building length, or designing buildings with the following special features to break up building bulk, including: a. Changes in roof form and height; and b. Major full-height recesses (At least 10 feet deep for multi-family projects and three feet deep for single-family attached projects) along the length of the building that successfully break the building into smaller discrete masses. (General Plan Policy CNF 11.22)	32. Glazing: Mirrored glass is prohibited in order to minimize off-site glare and maximize transparency.	39. Multi Family Roof Form: The roof element of the multi-family project is designed such that no more than two side-by-side units are covered by one unarticulated roof. Articulation may be accomplished by changing roof height, offsets, and direction of slope, and by introducing elements such as dormers, towers, or parapets. Other alternative design approaches that achieve the same goal of breaking down building masses into small individual units may also be acceptable, for example shifting the units in section and varying the design treatment for individual units. (GP Policy CNF-11.22)
24. Fences: All fences and walls designed for screening purposes shall be of solid material. Chain link or chain link with slats is not permitted.	29. Separate Structures-Attached Projects: Large projects shall be divided into separate structures. The maximum number of units per structure is as follows: a. Single-family Attached: 7 units maximum per structure (General Plan Policy CNF 11.22) 100 percent affordable projects are exempt from this requirement	33. Exterior Lighting and Illumination: Wall-mounted lights or bollards shall be provided for security purposes. Lights shall be directed down and shielded to avoid glare impacts. The project has demonstrated compliance by submittal of a photometric plan and fixture details.	40. Massing for three story buildings or taller: Buildings three stories or taller shall have major massing breaks at least every 100 feet along any street frontage, adjacent public park, publicly accessible outdoor space, or designated open space, through the use of varying setbacks and/or building entries. Major breaks shall be a minimum of 30 inches deep and four feet wide and extend the full height of the building.
25. 360 Degree Architecture: The project includes two of the following details: Windows, shutters, awnings, bay windows, trellis features, texture variations, stone, brick or other material enhancements. All facades (sides and rear) must have the level of detail, and materials (GP Policy CNF-11.16)	30. Building Colors: The project has provided a sample color palette of complimentary colors compatible with surrounding neighborhood. The number of colors appearing on any building exterior is limited to no more than four colors or tones of the same color, including trim and accent colors. The use of fluorescent or neon colors is prohibited.	34. Equipment Screening: All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment	41. Distinct material changes for three story buildings or taller: Buildings three stories or taller must provide a ground floor elevation that is distinctive from the upper stories by providing a material change between the first floor and upper floors along at least 75% of the building façade with frontage upon a street, adjacent public park or public open space.
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SEE SHEET A.42 FOR COLOR AND MATERIAL BOARDS

MANZANITA PARK IN MORGAN HILL, CA

BY NORTH CORRIDOR INVESTORS, LLC

5-PLEX: ELEVATIONS

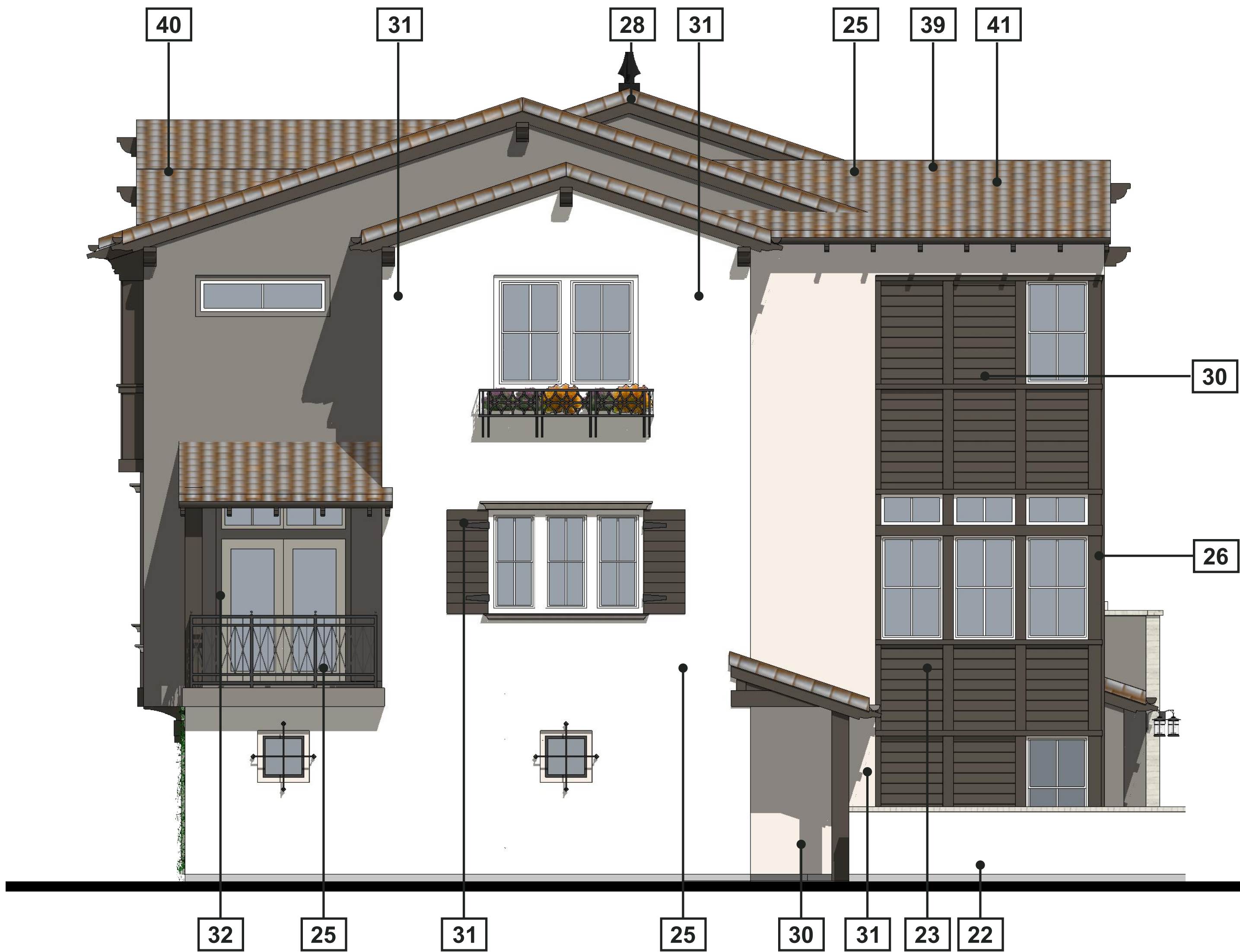


DATE 03-22-2021
JOB NO. 297.081

DAHLIN

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

A.14



UNIT D

LEFT ELEVATION - 1/4" = 1'-0"



UNIT D

RIGHT ELEVATION - 1/4" = 1'-0"

DESIGN STANDARDS:

22. Front Porches: 50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet.
23. Balconies: 25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum size of 6 feet by 4 feet.
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31. Window Design: The window recesses, trim and other window elements have been designed to be substantial in depth to create shadows. The project incorporates at least one of the following window features throughout the project: a. Minimum depth of at least 1 1/2 inches from glass to exterior of trim; b. Minimum depth of at least six inches from glass to wall edge around windows if there is no trim (this is only appropriate for certain architectural styles such as Spanish Revival or Modern); or, c. Decorative trim elements that add detail and articulation, such as window surrounds with at least a two-inch depth. They must be designed as an integral part of the design.
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41. Distinct material changes for three story buildings or taller: Buildings three stories or taller must provide a ground floor elevation that is distinctive from the upper stories by providing a material change between the first floor and upper floors along at least 75% of the building facade with frontage upon a street, adjacent public park or public open space.

SEE SHEET A.42 FOR COLOR AND MATERIAL BOARDS

MANZANITA PARK IN MORGAN HILL, CA

BY NORTH CORRIDOR INVESTORS, LLC

5-PLEX: ELEVATIONS



04816

DATE03-22-2021

JOB NO.297.081

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

A.15



REAR ELEVATION - 1/4" = 1'-0"

DESIGN STANDARDS:

<p>22. Front Porches: 50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet.</p> <p>23. Balconies: 25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum size of 6 feet by 4 feet.</p> <p>24. Fences: All fences and walls designed for screening purposes shall be of solid material. Chain link or chain link with slats is not permitted.</p> <p>25. 360 Degree Architecture: The project includes two of the following details: Windows, shutters, awnings, bay windows, trellis features, texture variations, stone, brick or other material enhancements. All facades (sides and rear) must have the level of detail, and materials (GP Policy CNF-11.16)</p> <p>26. Exterior Treatments and Materials: At least two materials shall be used on any building facade, in addition to glazing and railings. Any one material must comprise at least 20% of any building facade, excluding windows and railings. A change in material must be offset by a minimum of six inches in depth. Exterior finish materials should be chosen and applied to not appear artificial as in the case of brick veneer applied on a single building face so that it is obviously ¼ inch thick when viewed from the side, or in the case of a trellis made of 2 inch x 2 inch or 2 inch x 4 inch members. Veneers are required to turn corners, avoiding exposed edges.</p>	<p>27. Roof Line Variation for three or more units: Roofs have been designed to incorporate a minimum of two varying roof heights or types (hip, gable, shed, flat, etc.)</p> <p>28. Height and Project Massing: Project design minimizes bulk of the buildings by limiting building length, or designing buildings with the following special features to break up building bulk, including: a. Changes in roof form and height; and, b. Major full-height recesses (At least 10 feet deep for multi-family projects and three feet deep for single-family attached projects) along the length of the building that successfully break the building into smaller discrete masses. (General Plan Policy CNF 11.22)</p> <p>29. Separate Structures-Attached Projects: Large projects shall be divided into separate structures. The maximum number of units per structure is as follows: a. Single-family Attached: 7 units maximum per structure (General Plan Policy CNF 11.22) 100 percent affordable projects are exempt from this requirement</p> <p>30. Building Colors The project has provided a sample color palette of complementary colors compatible with surrounding neighborhood. The number of colors appearing on any building exterior is limited to no more than four colors or tones of the same color, including trim and accent colors. The use of fluorescent or neon colors is prohibited.</p>	<p>31. Window Design: The window recesses, trim and other window elements have been designed to be substantial in depth to create shadows. The project incorporates at least one of the following window features throughout the project: a. Minimum depth of at least 1 1/2 inches from glass to exterior of trim; b. Minimum depth of at least six inches from glass to wall edge around windows if there is no trim (this is only appropriate for certain architectural styles such as Spanish Revival or Modern); or, c. Decorative trim elements that add detail and articulation, such as window surrounds with at least a two-inch depth. They must be designed as an integral part of the design.</p> <p>32. Glazing: Mirrored glass is prohibited in order to minimize off-site glare and maximize transparency.</p> <p>33. Exterior Lighting and Illumination: Wall-mounted lights or bollards shall be provided for security purposes. Lights shall be directed down and shielded to avoid glare impacts. The project has demonstrated compliance by submittal of a photometric plan and fixture details.</p> <p>34. Equipment Screening: All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment</p>	<p>36. Garage Door Design: The garage doors proposed within the project feature windows or other architectural design features consistent with the main dwelling, approved by the Development Services Director or designee</p> <p>39. Multi Family Roof Form: The roof element of the multi-family project is designed such that no more than two side-by-side units are covered by one unarticulated roof. Articulation may be accomplished by changing roof height, offsets, and direction of slope, and by introducing elements such as dormers, towers, or parapets. Other alternative design approaches that achieve the same goal of breaking down building masses into small individual units may also be acceptable, for example shifting the units in section and varying the design treatment for individual units. (GP Policy CNF-11.22)</p> <p>40. Massing for three story buildings or taller: Buildings three stories or taller shall have major massing breaks at least every 100 feet along any street frontage, adjacent public park, publicly accessible outdoor space, or designated open space, through the use of varying setbacks and/or building entries. Major breaks shall be a minimum of 30 inches deep and four feet wide and extend the full height of the building.</p> <p>41. Distinct material changes for three story buildings or taller: Buildings three stories or taller must provide a ground floor elevation that is distinctive from the upper stories by providing a material change between the first floor and upper floors along at least 75% of the building façade with frontage upon a street, adjacent public park or public open space.</p>
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SEE SHEET A.42 FOR COLOR AND MATERIAL BOARDS

MANZANITA PARK IN MORGAN HILL, CA

BY NORTH CORRIDOR INVESTORS, LLC

5-PLEX: ELEVATIONS



DATE	03-22-2021
JOB NO.	297.081

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

A.16

DESIGN STANDARDS:

#

13. Useable Private and Common Open Space:
Each lot must include a private open space area, such as a private yard, porch, balcony, roof garden, or patio. Private open space must be contiguous to the unit it serves and accessible and visible from the living area of the unit. Private open space must be open air. Private open space cannot be covered by a roof by more than 50 percent of the area, however, balconies can have up to 100 percent ceiling coverage. The following private open space is required per unit type:

a. Single-family attached and detached units meeting the following average lot sizes shall provide useable open space as specified:

Average Lot Area (square feet)	1,440-1,920	1,920-2,999	3,000-4,356	4,357-6,999
Private Open Space	60 square feet per unit	150 square feet per unit	300 square feet per unit	350 square feet per unit
Common Open Space	140 square feet per unit	150 square feet per unit	175 square feet per unit	200 square feet per unit

b. Single-family detached (lots 7,000 square feet and over)- 500 square feet per unit (Private Open Space)

c. Multi-family residential – At least fifty percent of the units have at least 48 square feet per unit (Private Open Space). Fifteen percent of the site area shall be dedicated to common open space.

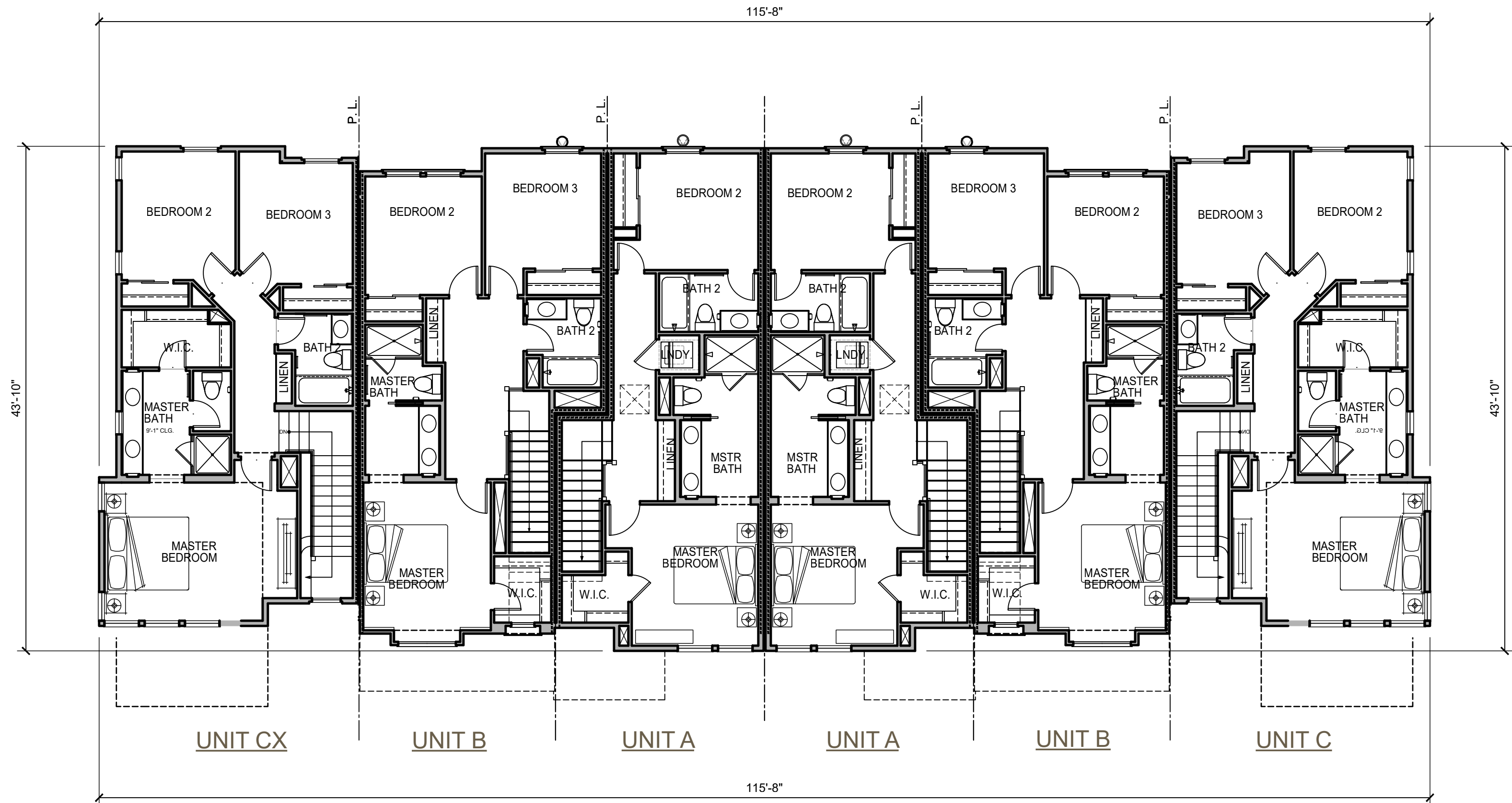
d. If On-site Recreational Amenities are not provided, private and common open space shall be increased by 25 percent.
Common open space shall be fully landscaped and accessible to all residents.
Private open space per unit may be reduced by up to 25 percent if off-set by the equivalent increase in common open space with amenities.
(GP Policy CNF-11.29)

22. Front Porches:
50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet

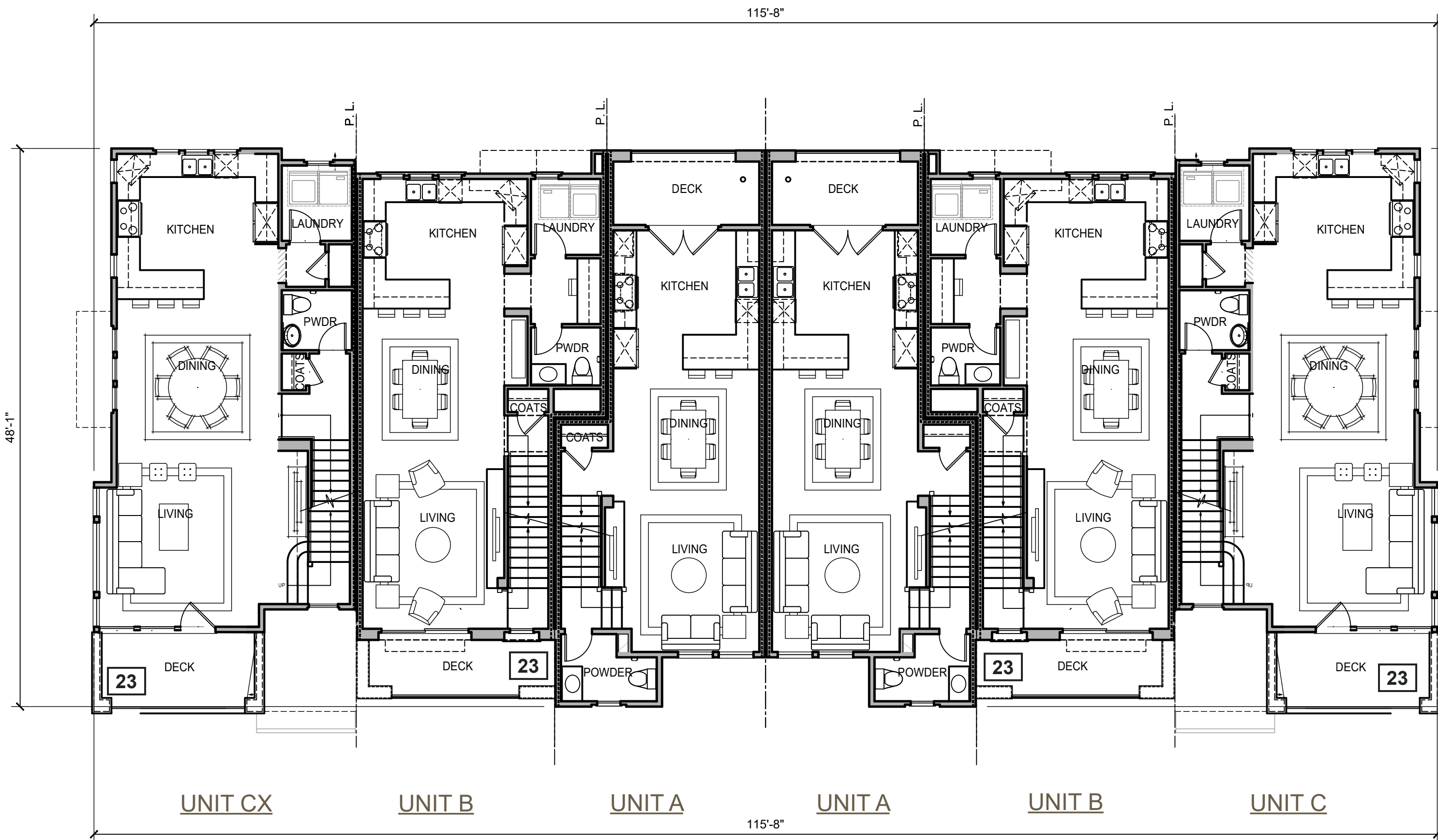
23. Balconies:
25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum size of 6 feet by 4 feet.

34. Equipment Screening:
All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment

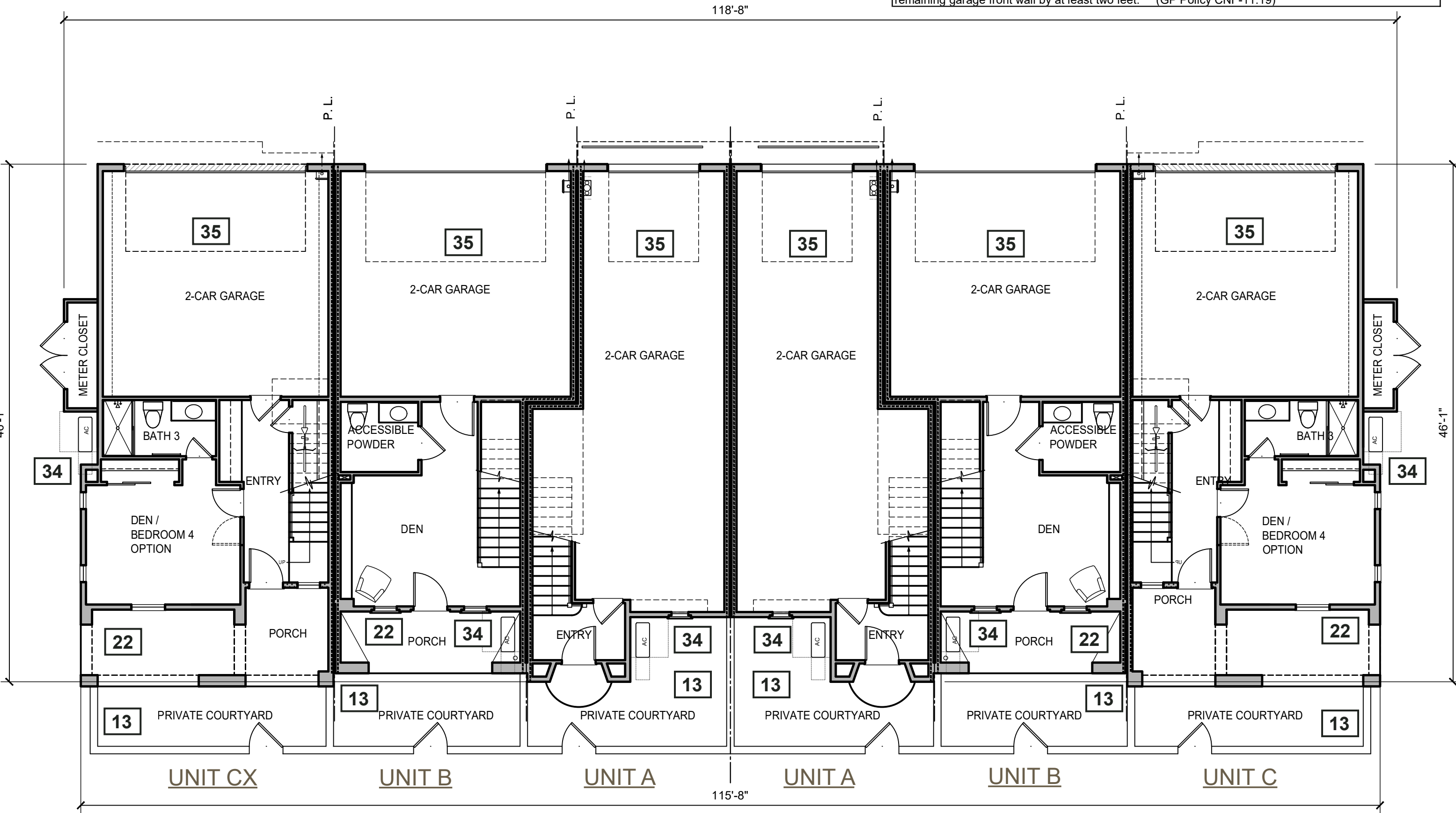
35. Residential Parking Garage:
The project is designed to reduce the prominence of garage doors through one or more of the following strategies:
a. Locate the garage door behind the front porch and/or living space, relative to the front lot line;
b. Design the second floor to overhang beyond the garage door
c. Locate the garage to the side or rear of building rather than at the center; or
d. For garages with three or more non-landem parked cars, the area of the front wall(s) of garage(s) shall not be more than 25 percent of the cumulative exterior front walls of two story single family residential building; no more than 50 percent of the cumulative exterior front walls of a one story single-family residential building; and at least one front wall of the a three car garage must be separated from the remaining garage front wall by at least two feet. (GP Policy CNF-11.19)



6-plex_1: THIRD FLOOR PLAN



6-plex_1: SECOND FLOOR PLAN

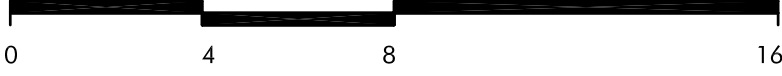


6-plex_1: FIRST FLOOR PLAN

MANZANITA PARK IN MORGAN HILL, CA

BY NORTH CORRIDOR INVESTORS, LLC

6-plex_1: FLOOR PLANS



DATE 03-22-2021
JOB NO. 297.081

DAHLIN

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

A.17

DESIGN STANDARDS:

#

13. Useable Private and Common Open Space:

Each lot must include a private open space area, such as a private yard, porch, balcony, roof garden, or patio. Private open space must be contiguous to the unit it serves and accessible and visible from the living area of the unit. Private open space must be open air. Private open space cannot be covered by a roof by more than 50 percent of the area, however, balconies can have up to 100 percent ceiling coverage. The following private open space is required per unit type:

a. Single-family attached and detached units meeting the following average lot sizes shall provide useable open space as specified:

Average Lot Area (square feet)	1,440-1,920	1,920-2,999	3,000-4,356	4,357-6,999
Private Open Space	60 square feet per unit	150 square feet per unit	300 square feet per unit	350 square feet per unit
Common Open Space	140 square feet per unit	150 square feet per unit	175 square feet per unit	200 square feet per unit

b. Single-family detached (lots 7,000 square feet and over)- 500 square feet per unit (Private Open Space)

c. Multi-family residential – At least fifty percent of the units have at least 48 square feet per unit (Private Open Space). Fifteen percent of the site area shall be dedicated to common open space.

d. If On-site Recreational Amenities are not provided, private and common open space shall be increased by 25 percent.

Common open space shall be fully landscaped and accessible to all residents.

Private open space per unit may be reduced by up to 25 percent if off-set by the equivalent increase in common open space with amenities.

(GP Policy CNF-11.29)

22. Front Porches:

50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet

23. Balconies:

25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum size of 6 feet by 4 feet.

34. Equipment Screening:

All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment

35. Residential Parking Garage:

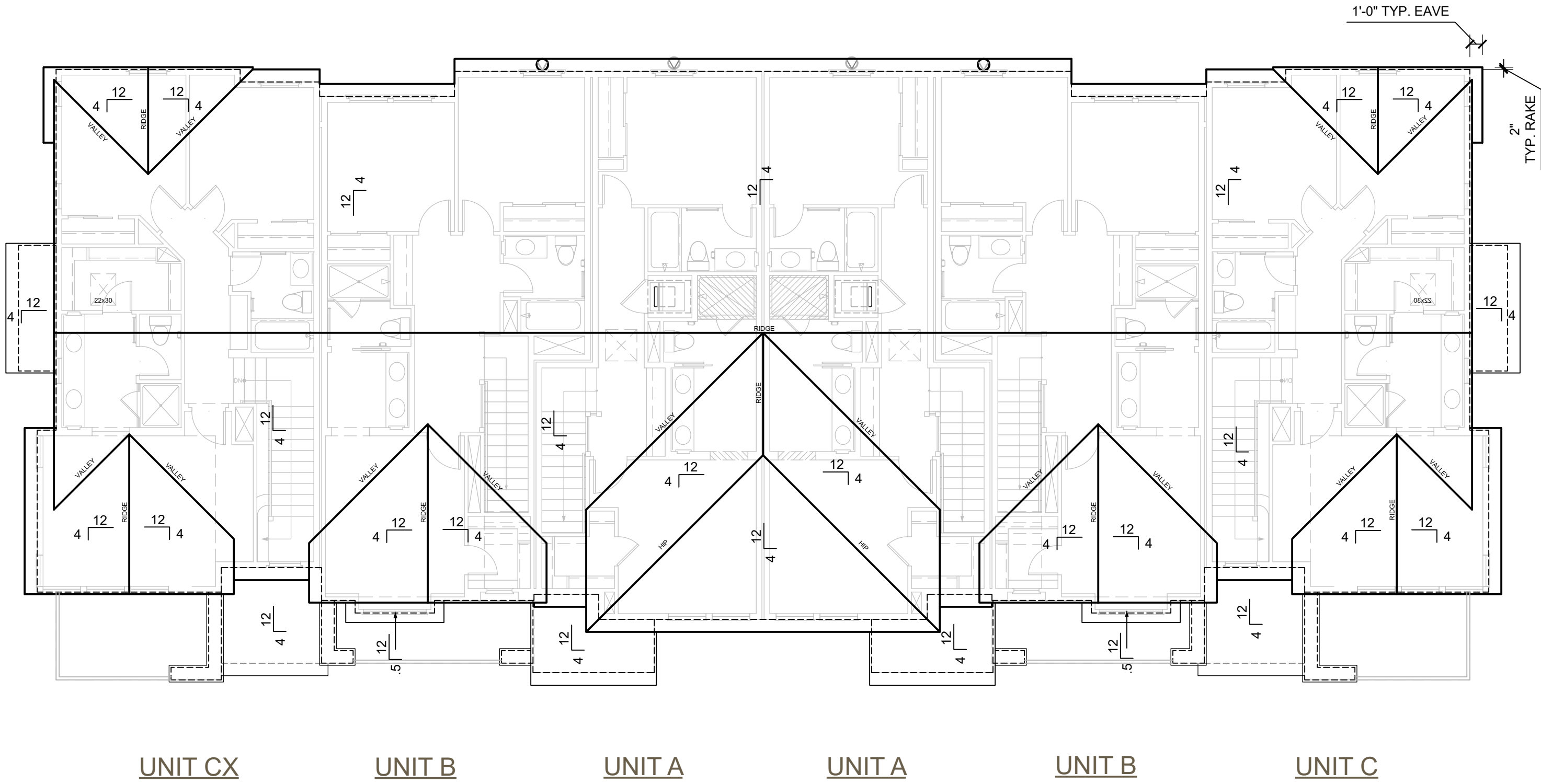
The project is designed to reduce the prominence of garage doors through one or more of the following strategies:

a. Locate the garage door behind the front porch and/or living space, relative to the front lot line;

b. Design the second floor to overhang beyond the garage door

c. Locate the garage to the side or rear of building rather than at the center; or

d. For garages with three or more non-landem parked cars, the area of the front wall(s) of garage(s) shall not be more than 25 percent of the cumulative exterior front walls of two story single family residential building; no more than 50 percent of the cumulative exterior front walls of a one story single-family residential building; and at least one front wall of the a three car garage must be separated from the remaining garage front wall by at least two feet. (GP Policy CNF-11.19)



6-PLEX_1: ROOF PLAN



FRONT ELEVATION - 1/4" = 1'-0"

DESIGN STANDARDS:

<p>22. Front Porches: 50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet.</p> <p>23. Balconies: 25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum size of 6 feet by 4 feet.</p> <p>24. Fences: All fences and walls designed for screening purposes shall be of solid material. Chain link or chain link with slats is not permitted.</p> <p>25. 360 Degree Architecture: The project includes two of the following details: Windows, shutters, awnings, bay windows, trellis features, texture variations, stone, brick or other material enhancements. All facades (sides and rear) must have the level of detail, and materials (GP Policy CNF-11.16)</p> <p>26. Exterior Treatments and Materials: At least two materials shall be used on any building facade, in addition to glazing and railings. Any one material must comprise at least 20% of any building facade, excluding windows and railings. A change in material must be offset by a minimum of six inches in depth. Exterior finish materials should be chosen and applied to not appear artificial as in the case of brick veneer applied on a single building face so that it is obviously ¼ inch thick when viewed from the side, or in the case of a trellis made of 2 inch x 2 inch or 2 inch x 4 inch members. Veneers are required to turn corners, avoiding exposed edges.</p>	<p>27. Roof Line Variation for three or more units: Roofs have been designed to incorporate a minimum of two varying roof heights or types (hip, gable, shed, flat, etc.)</p> <p>28. Height and Project Massing: Project design minimizes bulk of the buildings by limiting building length, or designing buildings with the following special features to break up building bulk, including: a. Changes in roof form and height; and, b. Major full-height recesses (At least 10 feet deep for multi-family projects and three feet deep for single-family attached projects) along the length of the building that successfully break the building into smaller discrete masses. (General Plan Policy CNF 11.22)</p> <p>29. Separate Structures-Attached Projects: Large projects shall be divided into separate structures. The maximum number of units per structure is as follows: a. Single-family Attached: 7 units maximum per structure (General Plan Policy CNF 11.22) 100 percent affordable projects are exempt from this requirement</p> <p>30. Building Colors The project has provided a sample color palette of complimentary colors compatible with surrounding neighborhood. The number of colors appearing on any building exterior is limited to no more than four colors or tones of the same color, including trim and accent colors. The use of fluorescent or neon colors is prohibited.</p>	<p>31. Window Design: The window recesses, trim and other window elements have been designed to be substantial in depth to create shadows. The project incorporates at least one of the following window features throughout the project: a. Minimum depth of at least 1 1/2 inches from glass to exterior of trim; b. Minimum depth of at least six inches from glass to wall edge around windows if there is no trim (this is only appropriate for certain architectural styles such as Spanish Revival or Modern); or, c. Decorative trim elements that add detail and articulation, such as window surrounds with at least a two-inch depth. They must be designed as an integral part of the design.</p> <p>32. Glazing: Mirrored glass is prohibited in order to minimize off-site glare and maximize transparency.</p> <p>33. Exterior Lighting and Illumination: Wall-mounted lights or bollards shall be provided for security purposes. Lights shall be directed down and shielded to avoid glare impacts. The project has demonstrated compliance by submittal of a photometric plan and fixture details.</p> <p>34. Equipment Screening: All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment</p>	<p>36. Garage Door Design: The garage doors proposed within the project feature windows or other architectural design features consistent with the main dwelling, approved by the Development Services Director or designee</p> <p>39. Multi Family Roof Form: The roof element of the multi-family project is designed such that no more than two side-by-side units are covered by one unarticulated roof. Articulation may be accomplished by changing roof height, offsets, and direction of slope, and by introducing elements such as dormers, towers, or parapets. Other alternative design approaches that achieve the same goal of breaking down building masses into small individual units may also be acceptable, for example shifting the units in section and varying the design treatment for individual units. (GP Policy CNF-11.22)</p> <p>40. Massing for three story buildings or taller: Buildings three stories or taller shall have major massing breaks at least every 100 feet along any street frontage, adjacent public park, publicly accessible outdoor space, or designated open space, through the use of varying setbacks and/or building entries. Major breaks shall be a minimum of 30 inches deep and four feet wide and extend the full height of the building.</p> <p>41. Distinct material changes for three story buildings or taller: Buildings three stories or taller must provide a ground floor elevation that is distinctive from the upper stories by providing a material change between the first floor and upper floors along at least 75% of the building façade with frontage upon a street, adjacent public park or public open space.</p>
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SEE SHEET A.42 FOR COLOR AND MATERIAL BOARDS

MANZANITA PARK IN MORGAN HILL, CA

BY NORTH CORRIDOR INVESTORS, LLC

6-PLEX_1: ELEVATIONS



04816

DATE03-22-2021

JOB NO.297.081

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

A.19



LEFT ELEVATION - 1/4" = 1'-0"

RIGHT ELEVATION - 1/4" = 1'-0"

DESIGN STANDARDS:

22. Front Porches: 50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet	27. Roof Line Variation for three or more units: Roofs have been designed to incorporate a minimum of two varying roof heights or types (hip, gable, shed, flat, etc.)	31. Window Design: The window recesses, trim and other window elements have been designed to be substantial in depth to create shadows. The project incorporates at least one of the following window features throughout the project: a. Minimum depth of at least 1 1/2 inches from glass to exterior of trim; b. Minimum depth of at least six inches from glass to wall edge around windows if there is no trim (this is only appropriate for certain architectural styles such as Spanish Revival or Modern); or, c. Decorative trim elements that add detail and articulation, such as window surrounds with at least a two-inch depth. They must be designed as an integral part of the design.	36. Garage Door Design: The garage doors proposed within the project feature windows or other architectural design features consistent with the main dwelling, approved by the Development Services Director or designee
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SEE SHEET A.42 FOR COLOR AND MATERIAL BOARDS

MANZANITA PARK IN MORGAN HILL, CA

BY NORTH CORRIDOR INVESTORS, LLC

6-PLEX_1: ELEVATIONS



04816

DATE03-22-2021

JOB NO.297.081

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

A.20



REAR ELEVATION - 1/4" = 1'-0"

DESIGN STANDARDS:

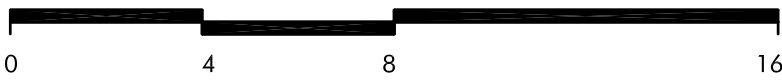
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The project has demonstrated compliance by submittal of a photometric plan and fixture details.</p> <p>34. Equipment Screening: All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment</p>	<p>36. 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Massing for three story buildings or taller: Buildings three stories or taller shall have major massing breaks at least every 100 feet along any street frontage, adjacent public park, publicly accessible outdoor space, or designated open space, through the use of varying setbacks and/or building entries. Major breaks shall be a minimum of 30 inches deep and four feet wide and extend the full height of the building.</p> <p>41. Distinct material changes for three story buildings or taller: Buildings three stories or taller must provide a ground floor elevation that is distinctive from the upper stories by providing a material change between the first floor and upper floors along at least 75% of the building façade with frontage upon a street, adjacent public park or public open space.</p>
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SEE SHEET A.42 FOR COLOR AND MATERIAL BOARDS

MANZANITA PARK IN MORGAN HILL, CA

BY NORTH CORRIDOR INVESTORS, LLC

6-PLEX_1: ELEVATIONS



DATE 03-22-2021
JOB NO. 297.081

DAHLIN

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

A.21

DESIGN STANDARDS:

#

13. Useable Private and Common Open Space:
Each lot must include a private open space area, such as a private yard, porch, balcony, roof garden, or patio. Private open space must be contiguous to the unit it serves and accessible and visible from the living area of the unit. Private open space must be open air. Private open space cannot be covered by a roof by more than 50 percent of the area, however, balconies can have up to 100 percent ceiling coverage. The following private open space is required per unit type:

a. Single-family attached and detached units meeting the following average lot sizes shall provide useable open space as specified:

Average Lot Area (square feet)	1,440-1,920	1,920-2,999	3,000-4,356	4,357-6,999
Private Open Space	60 square feet per unit	150 square feet per unit	300 square feet per unit	350 square feet per unit
Common Open Space	140 square feet per unit	150 square feet per unit	175 square feet per unit	200 square feet per unit

b. Single-family detached (lots 7,000 square feet and over)- 500 square feet per unit (Private Open Space)

c. Multi-family residential – At least fifty percent of the units have at least 48 square feet per unit (Private Open Space). Fifteen percent of the site area shall be dedicated to common open space.

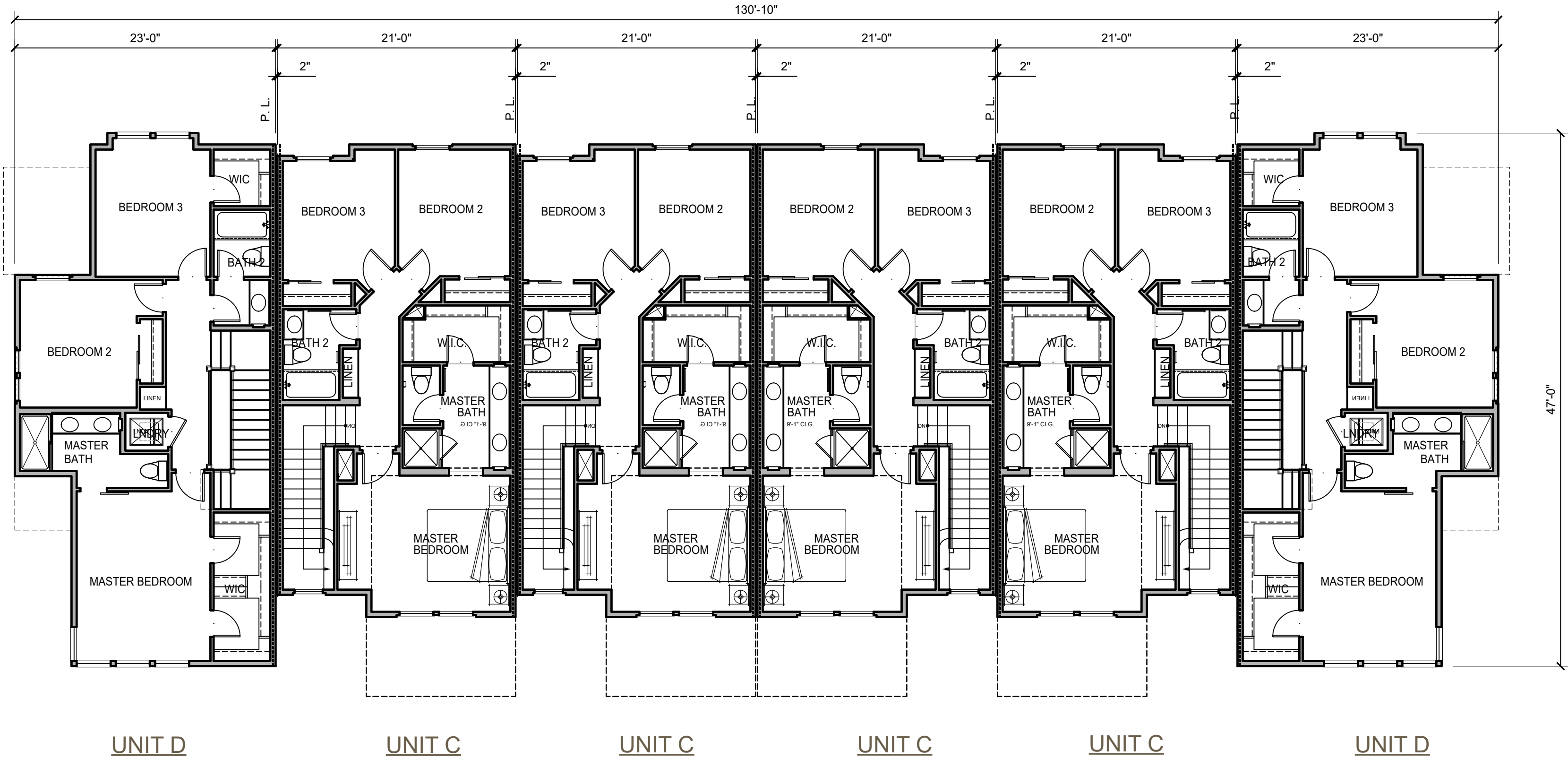
d. If On-site Recreational Amenities are not provided, private and common open space shall be increased by 25 percent.
Common open space shall be fully landscaped and accessible to all residents.
Private open space per unit may be reduced by up to 25 percent if off-set by the equivalent increase in common open space with amenities.
(GP Policy CNF-11.29)

22. Front Porches:
50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet

23. Balconies:
25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum size of 6 feet by 4 feet.

34. Equipment Screening:
All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment

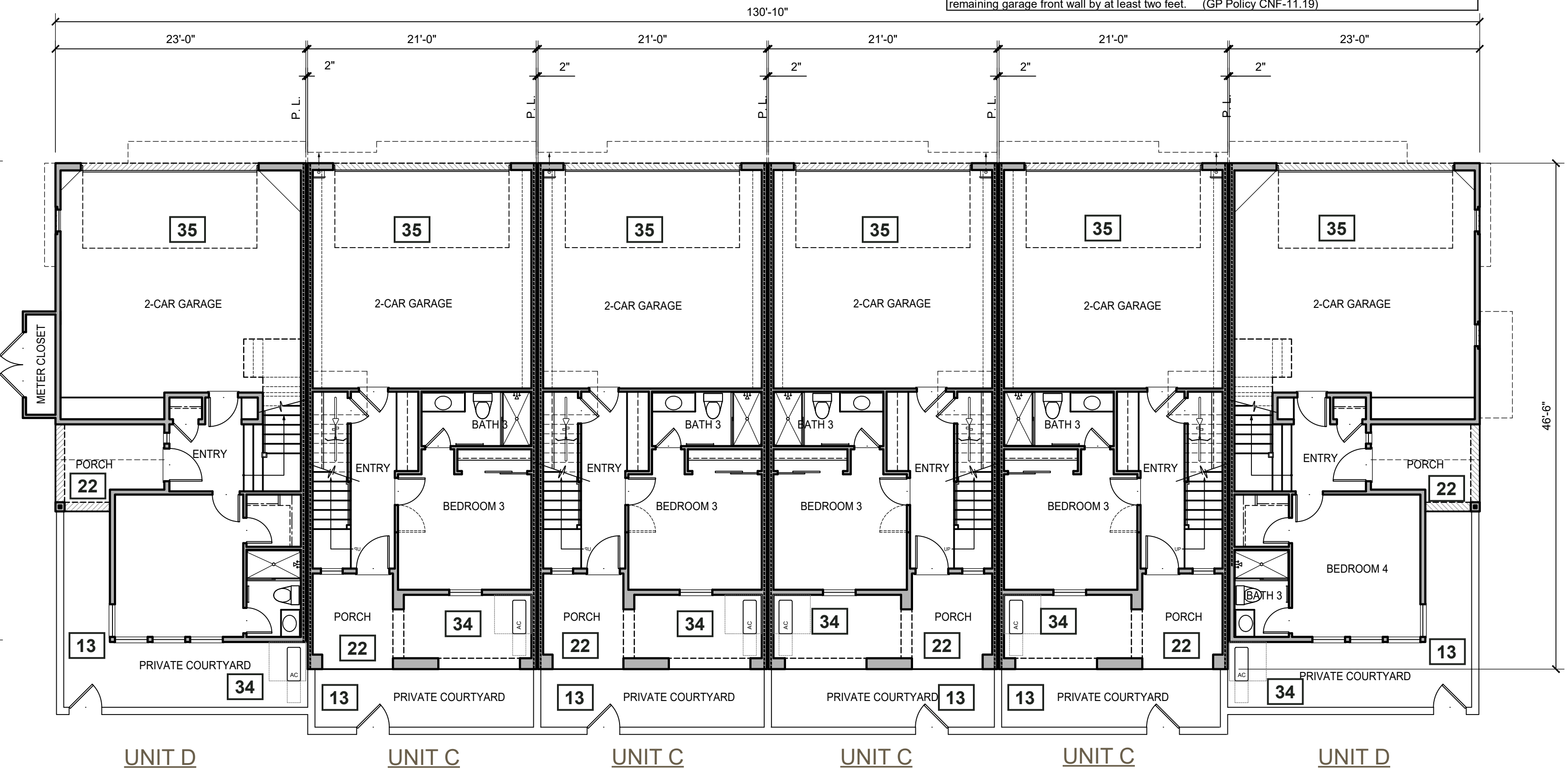
35. Residential Parking Garage:
The project is designed to reduce the prominence of garage doors through one or more of the following strategies:
a. Locate the garage door behind the front porch and/or living space, relative to the front lot line;
b. Design the second floor to overhang beyond the garage door
c. Locate the garage to the side or rear of building rather than at the center; or
d. For garages with three or more non-tandem parked cars, the area of the front wall(s) of garage(s) shall not be more than 25 percent of the cumulative exterior front walls of two story single family residential building; no more than 50 percent of the cumulative exterior front walls of a one story single-family residential building; and at least one front wall of the a three car garage must be separated from the remaining garage front wall by at least two feet. (GP Policy CNF-11.19)



6-PLEX_2: THIRD FLOOR PLAN



6-PLEX_2: SECOND FLOOR PLAN

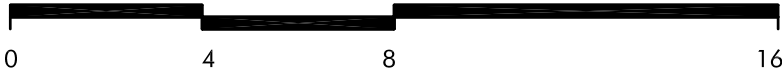


6-PLEX_2: FIRST FLOOR PLAN

MANZANITA PARK IN MORGAN HILL, CA

BY NORTH CORRIDOR INVESTORS, LLC

6-PLEX_2: FLOOR PLANS



DATE 03-22-2021
JOB NO. 297.081

DAHLIN

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

A.22

DESIGN STANDARDS:

#

13. Useable Private and Common Open Space:

Each lot must include a private open space area, such as a private yard, porch, balcony, roof garden, or patio. Private open space must be contiguous to the unit it serves and accessible and visible from the living area of the unit. Private open space must be open air. Private open space cannot be covered by a roof by more than 50 percent of the area; however, balconies can have up to 100 percent ceiling coverage. The following private open space is required per unit type:

a. Single-family attached and detached units meeting the following average lot sizes shall provide useable open space as specified:

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Common Open Space	140 square feet per unit	150 square feet per unit	175 square feet per unit	200 square feet per unit

b. Single-family detached (lots 7,000 square feet and over)- 500 square feet per unit (Private Open Space)

c. Multi-family residential – At least fifty percent of the units have at least 48 square feet per unit (Private Open Space). Fifteen percent of the site area shall be dedicated to common open space.

d. If On-site Recreational Amenities are not provided, private and common open space shall be increased by 25 percent.

Common open space shall be fully landscaped and accessible to all residents.

Private open space per unit may be reduced by up to 25 percent if off-set by the equivalent increase in common open space with amenities.

(GP Policy CNF-11.29)

22. Front Porches:

50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet

23. Balconies:

25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum size of 6 feet by 4 feet.

34. Equipment Screening:

All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment

35. Residential Parking Garage:

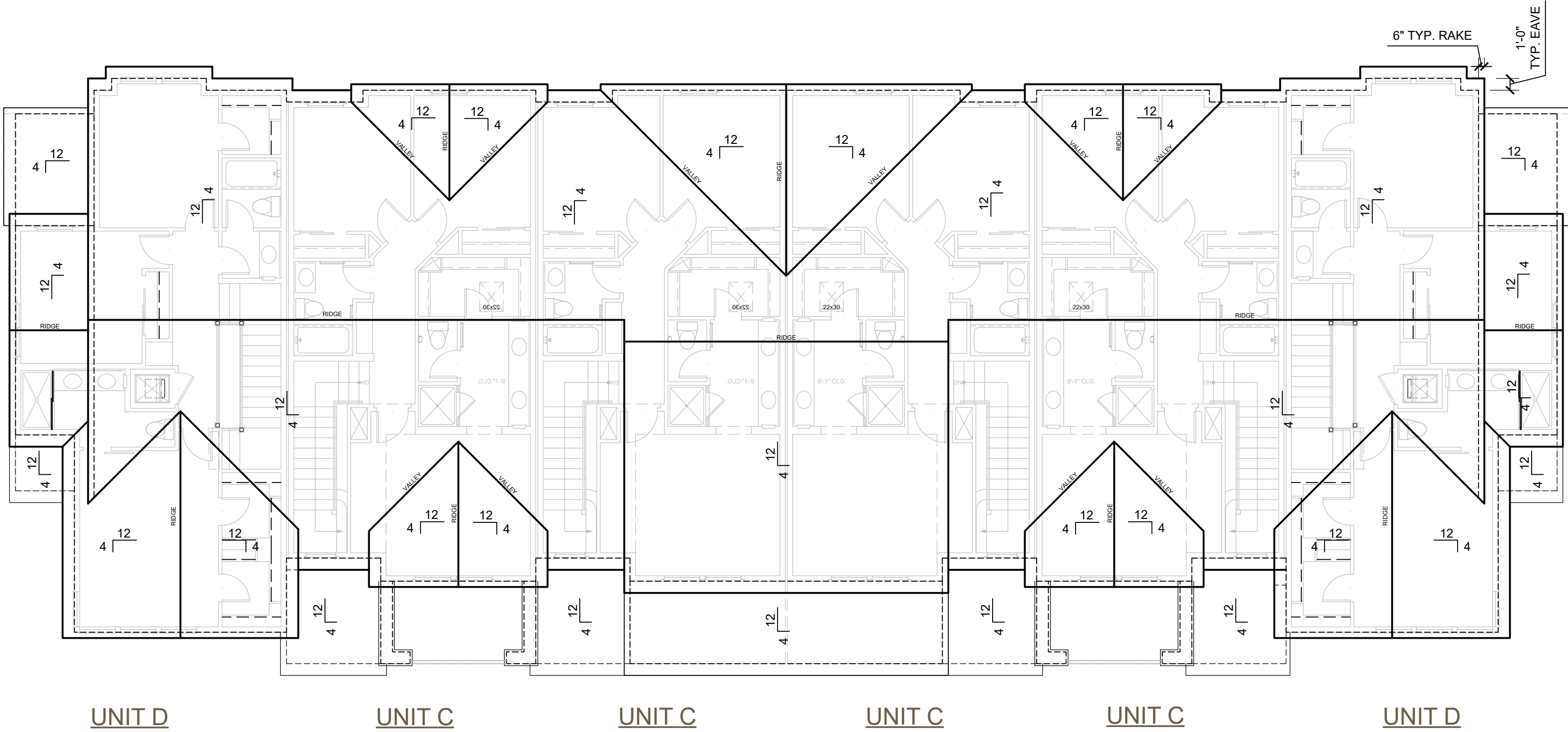
The project is designed to reduce the prominence of garage doors through one or more of the following strategies:

a. Locate the garage door behind the front porch and/or living space, relative to the front lot line;

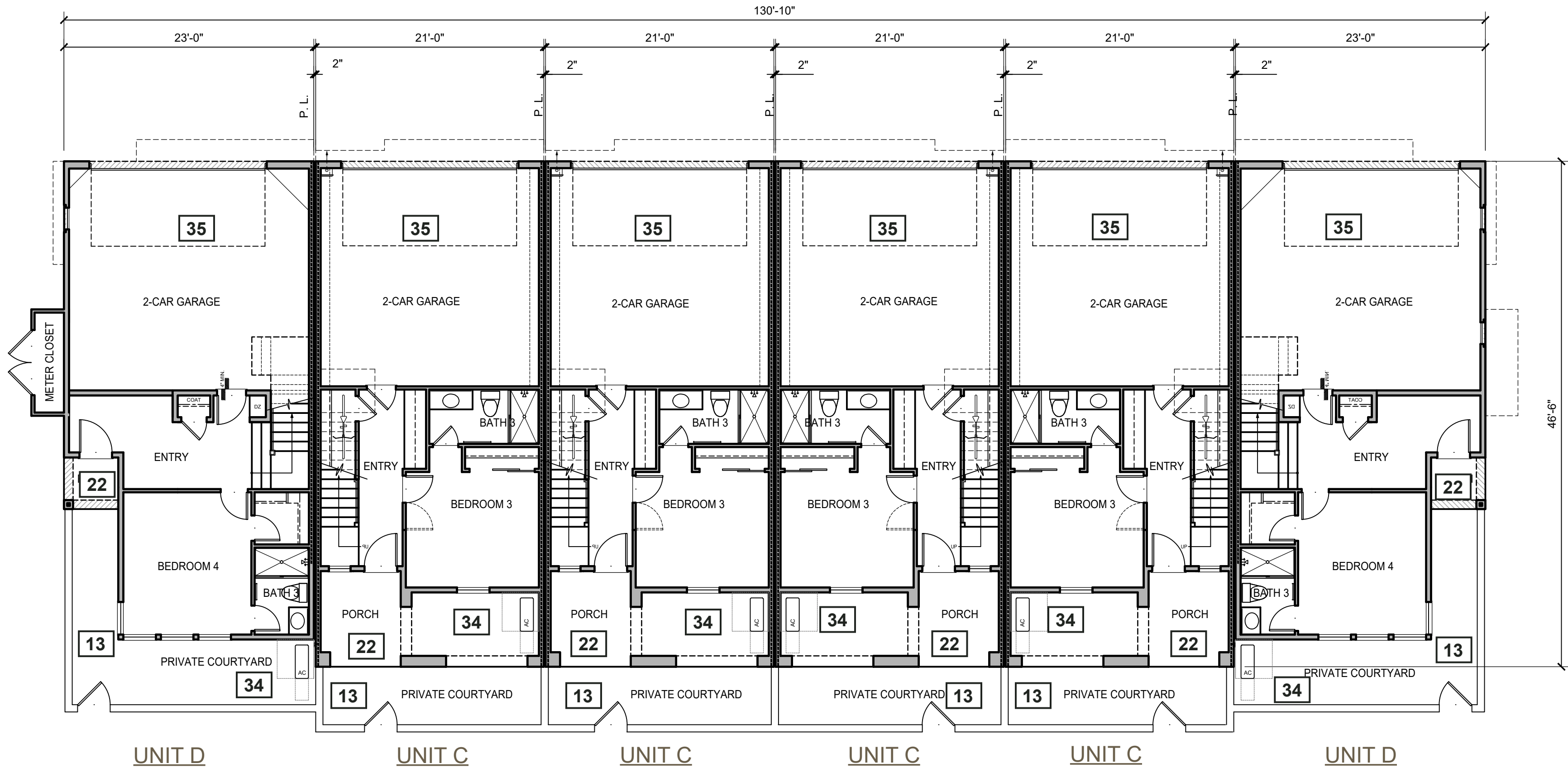
b. Design the second floor to overhang beyond the garage door

c. Locate the garage to the side or rear of building rather than at the center; or

d. For garages with three or more non-tandem parked cars, the area of the front wall(s) of garage(s) shall not be more than 25 percent of the cumulative exterior front walls of two story single family residential building; no more than 50 percent of the cumulative exterior front walls of a one story single-family residential building; and at least one front wall of the a three car garage must be separated from the remaining garage front wall by at least two feet. (GP Policy CNF-11.19)



6-plex_2: ROOF PLAN



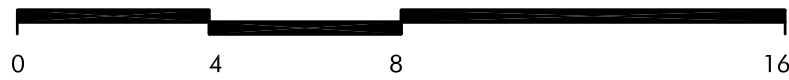
6-plex_2-X - FIRST FLOOR PLAN

MANZANITA PARK IN MORGAN HILL, CA

BY NORTH CORRIDOR INVESTORS, LLC

6-plex_2: ROOF PLANS

6-plex_2-X: FLOOR PLAN



DATE 03-22-2021
JOB NO. 297.081

DAHLIN

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

A.23





UNIT D

LEFT ELEVATION - 1/4" = 1'-0"



UNIT D

RIGHT ELEVATION - 1/4" = 1'-0"

DESIGN STANDARDS:

22. Front Porches: 50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet
23. Balconies: 25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum size of 6 feet by 4 feet.
24. Fences: All fences and walls designed for screening purposes shall be of solid material. Chain link or chain link with slats is not permitted.
25. 360 Degree Architecture: The project includes two of the following details: Windows, shutters, awnings, bay windows, trellis features, texture variations, stone, brick or other material enhancements. All facades (sides and rear) must have the level of detail, and materials (GP Policy CNF-11.16)
26. Exterior Treatments and Materials: At least two materials shall be used on any building facade, in addition to glazing and railings. Any one material must comprise at least 20% of any building facade, excluding windows and railings. A change in material must be offset by a minimum of six inches in depth. Exterior finish materials should be chosen and applied to not appear artificial as in the case of brick veneer applied on a single building face so that it is obviously ¼ inch thick when viewed from the side, or in the case of a trellis made of 2 inch x 2 inch or 2 inch x 4 inch members. Veneers are required to turn corners, avoiding exposed edges.

27. Roof Line Variation for three or more units: Roofs have been designed to incorporate a minimum of two varying roof heights or types (hip, gable, shed, flat, etc.)
28. Height and Project Massing: Project design minimizes bulk of the buildings by limiting building length, or designing buildings with the following special features to break up building bulk, including: a. Changes in roof form and height; and, b. Major full-height recesses (At least 10 feet deep for multi-family projects and three feet deep for single-family attached projects) along the length of the building that successfully break the building into smaller discrete masses. (General Plan Policy CNF 11.22)
29. Separate Structures-Attached Projects: Large projects shall be divided into separate structures. The maximum number of units per structure is as follows: a. Single-family Attached: 7 units maximum per structure (General Plan Policy CNF 11.22) 100 percent affordable projects are exempt from this requirement
30. Building Colors The project has provided a sample color palette of complimentary colors compatible with surrounding neighborhood. The number of colors appearing on any building exterior is limited to no more than four colors or tones of the same color, including trim and accent colors. The use of fluorescent or neon colors is prohibited.

31. Window Design: The window recesses, trim and other window elements have been designed to be substantial in depth to create shadows. The project incorporates at least one of the following window features throughout the project: a. Minimum depth of at least 1 1/2 inches from glass to exterior of trim; b. Minimum depth of at least six inches from glass to wall edge around windows if there is no trim (this is only appropriate for certain architectural styles such as Spanish Revival or Modern); or, c. Decorative trim elements that add detail and articulation, such as window surrounds with at least a two-inch depth. They must be designed as an integral part of the design.
32. Glazing: Mirrored glass is prohibited in order to minimize off-site glare and maximize transparency.
33. Exterior Lighting and Illumination: Wall-mounted lights or bollards shall be provided for security purposes. Lights shall be directed down and shielded to avoid glare impacts. The project has demonstrated compliance by submittal of a photometric plan and fixture details.
34. Equipment Screening: All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment

36. Garage Door Design: The garage doors proposed within the project feature windows or other architectural design features consistent with the main dwelling, approved by the Development Services Director or designee
39. Multi Family Roof Form: The roof element of the multi-family project is designed such that no more than two side-by-side units are covered by one unarticulated roof. Articulation may be accomplished by changing roof height, offsets, and direction of slope, and by introducing elements such as dormers, towers, or parapets. Other alternative design approaches that achieve the same goal of breaking down building masses into small individual units may also be acceptable, for example shifting the units in section and varying the design treatment for individual units. (GP Policy CNF-11.22)
40. Massing for three story buildings or taller: Buildings three stories or taller shall have major massing breaks at least every 100 feet along any street frontage, adjacent public park, publicly accessible outdoor space, or designated open space, through the use of varying setbacks and/or building entries. Major breaks shall be a minimum of 30 inches deep and four feet wide and extend the full height of the building.
41. Distinct material changes for three story buildings or taller: Buildings three stories or taller must provide a ground floor elevation that is distinctive from the upper stories by providing a material change between the first floor and upper floors along at least 75% of the building facade with frontage upon a street, adjacent public park or public open space.

SEE SHEET A.42 FOR COLOR AND MATERIAL BOARDS

MANZANITA PARK IN MORGAN HILL, CA

BY NORTH CORRIDOR INVESTORS, LLC

6-PLEX_2: ELEVATIONS



DATE	03-22-2021
JOB NO.	297.081

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

A.25



REAR ELEVATION - 1/4" = 1'-0"

DESIGN STANDARDS:

<p>22. Front Porches: 50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet.</p> <p>23. Balconies: 25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum size of 6 feet by 4 feet.</p> <p>24. Fences: All fences and walls designed for screening purposes shall be of solid material. Chain link or chain link with slats is not permitted.</p> <p>25. 360 Degree Architecture: The project includes two of the following details: Windows, shutters, awnings, bay windows, trellis features, texture variations, stone, brick or other material enhancements. All facades (sides and rear) must have the level of detail, and materials (GP Policy CNF-11.16)</p> <p>26. Exterior Treatments and Materials: At least two materials shall be used on any building facade, in addition to glazing and railings. Any one material must comprise at least 20% of any building facade, excluding windows and railings. A change in material must be offset by a minimum of six inches in depth. Exterior finish materials should be chosen and applied to not appear artificial as in the case of brick veneer applied on a single building face so that it is obviously ¼ inch thick when viewed from the side, or in the case of a trellis made of 2 inch x 2 inch or 2 inch x 4 inch members. Veneers are required to turn corners, avoiding exposed edges.</p>	<p>27. Roof Line Variation for three or more units: Roofs have been designed to incorporate a minimum of two varying roof heights or types (hip, gable, shed, flat, etc.)</p> <p>28. Height and Project Massing: Project design minimizes bulk of the buildings by limiting building length, or designing buildings with the following special features to break up building bulk, including: a. Changes in roof form and height; and, b. Major full-height recesses (At least 10 feet deep for multi-family projects and three feet deep for single-family attached projects) along the length of the building that successfully break the building into smaller discrete masses. (General Plan Policy CNF 11.22)</p> <p>29. Separate Structures-Attached Projects: Large projects shall be divided into separate structures. The maximum number of units per structure is as follows: a. Single-family Attached: 7 units maximum per structure (General Plan Policy CNF 11.22) 100 percent affordable projects are exempt from this requirement</p> <p>30. Building Colors The project has provided a sample color palette of complementary colors compatible with surrounding neighborhood. The number of colors appearing on any building exterior is limited to no more than four colors or tones of the same color, including trim and accent colors. The use of fluorescent or neon colors is prohibited.</p>	<p>31. Window Design: The window recesses, trim and other window elements have been designed to be substantial in depth to create shadows. The project incorporates at least one of the following window features throughout the project: a. Minimum depth of at least 1 1/2 inches from glass to exterior of trim; b. Minimum depth of at least six inches from glass to wall edge around windows if there is no trim (this is only appropriate for certain architectural styles such as Spanish Revival or Modern); or, c. Decorative trim elements that add detail and articulation, such as window surrounds with at least a two-inch depth. They must be designed as an integral part of the design.</p> <p>32. Glazing: Mirrored glass is prohibited in order to minimize off-site glare and maximize transparency.</p> <p>33. Exterior Lighting and Illumination: Wall-mounted lights or bollards shall be provided for security purposes. Lights shall be directed down and shielded to avoid glare impacts. The project has demonstrated compliance by submittal of a photometric plan and fixture details.</p> <p>34. Equipment Screening: All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment</p>	<p>36. 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SEE SHEET A.42 FOR COLOR AND MATERIAL BOARDS

MANZANITA PARK IN MORGAN HILL, CA

BY NORTH CORRIDOR INVESTORS, LLC

6-PLEX_2: ELEVATIONS



04816

DATE

03-22-2021

JOB NO.

297.081

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

A.26

DESIGN STANDARDS:

#

13. Useable Private and Common Open Space:
Each lot must include a private open space area, such as a private yard, porch, balcony, roof garden, or patio. Private open space must be contiguous to the unit it serves and accessible and visible from the living area of the unit. Private open space must be open air. Private open space cannot be covered by a roof by more than 50 percent of the area, however, balconies can have up to 100 percent ceiling coverage. The following private open space is required per unit type:

a. Single-family attached and detached units meeting the following average lot sizes shall provide useable open space as specified:

Average Lot Area (square feet)	1,440-1,920	1,920-2,999	3,000-4,356	4,357-6,999
Private Open Space	60 square feet per unit	150 square feet per unit	300 square feet per unit	350 square feet per unit
Common Open Space	140 square feet per unit	150 square feet per unit	175 square feet per unit	200 square feet per unit

b. Single-family detached (lots 7,000 square feet and over)- 500 square feet per unit (Private Open Space)

c. Multi-family residential – At least fifty percent of the units have at least 48 square feet per unit (Private Open Space). Fifteen percent of the site area shall be dedicated to common open space.

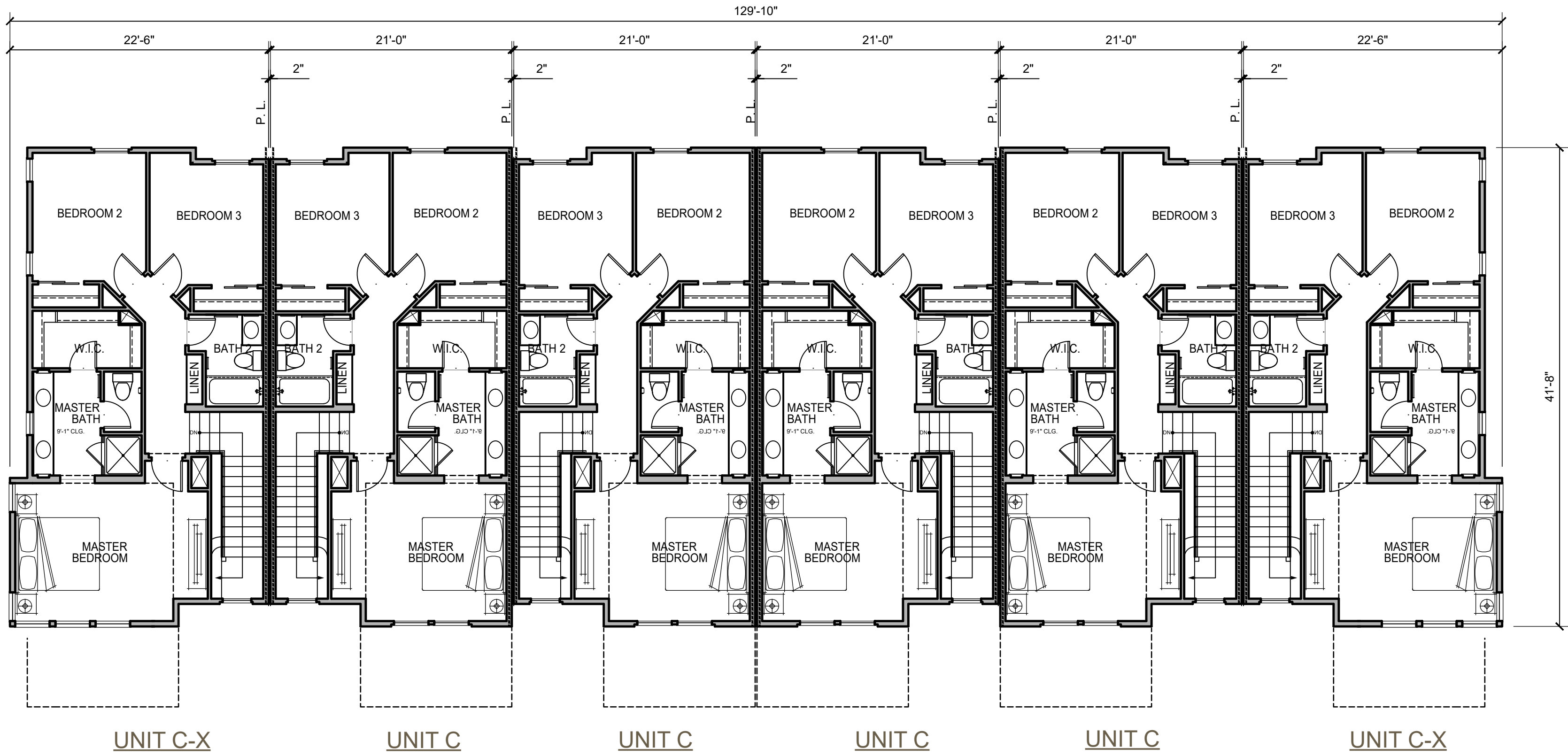
d. If On-site Recreational Amenities are not provided, private and common open space shall be increased by 25 percent.
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Private open space per unit may be reduced by up to 25 percent if off-set by the equivalent increase in common open space with amenities.
(GP Policy CNF-11.29)

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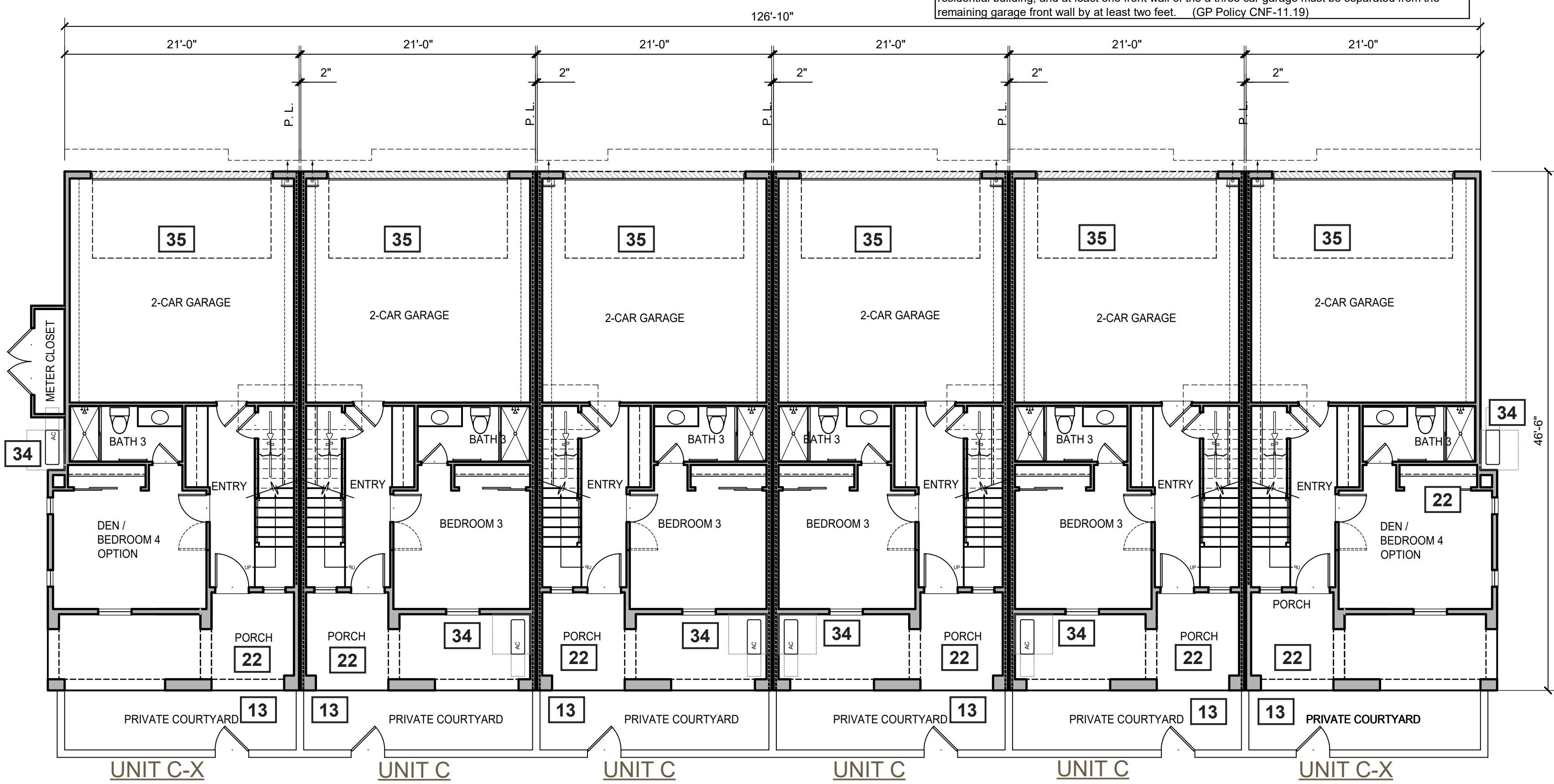
35. Residential Parking Garage:
The project is designed to reduce the prominence of garage doors through one or more of the following strategies:
a. Locate the garage door behind the front porch and/or living space, relative to the front lot line;
b. Design the second floor to overhang beyond the garage door
c. Locate the garage to the side or rear of building rather than at the center; or
d. For garages with three or more non-tandem parked cars, the area of the front wall(s) of garage(s) shall not be more than 25 percent of the cumulative exterior front walls of two story single family residential building; no more than 50 percent of the cumulative exterior front walls of a one story single-family residential building; and at least one front wall of the three car garage must be separated from the remaining garage front wall by at least two feet. (GP Policy CNF-11.19)



6-PLEX_3: THIRD FLOOR PLAN



6-PLEX_3: SECOND FLOOR PLAN



6-PLEX_3: FIRST FLOOR PLAN

MANZANITA PARK IN MORGAN HILL, CA

BY NORTH CORRIDOR INVESTORS, LLC

6-PLEX_3: FLOOR PLANS



DATE 03-22-2021
JOB NO. 297.081

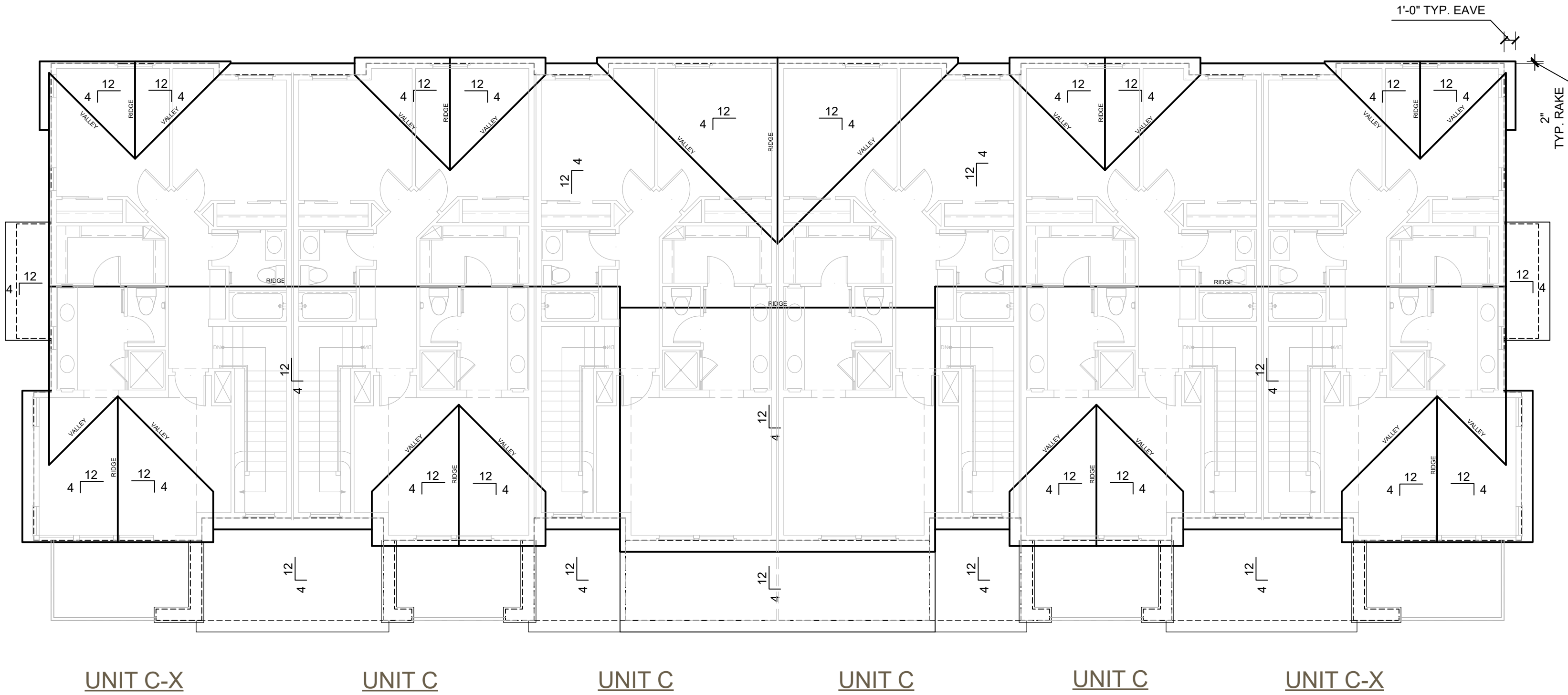
DAHLIN

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

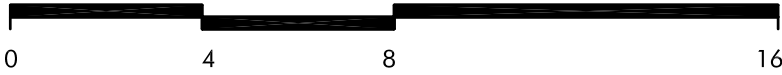
A.27

DESIGN STANDARDS:

#													
13. Useable Private and Common Open Space:	Each lot must include a private open space area, such as a private yard, porch, balcony, roof garden, or patio. Private open space must be contiguous to the unit it serves and accessible and visible from the living area of the unit. Private open space must be open air. Private open space cannot be covered by a roof by more than 50 percent of the area; however, balconies can have up to 100 percent ceiling coverage. The following private open space is required per unit type:												
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23. Balconies:	25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum size of 6 feet by 4 feet.												
34. Equipment Screening:	All exterior mechanical and electrical equipment shall be screened or incorporated into the design of buildings so as not to be visible from the public-right-of-way, common areas, or contained within an enclosed structure. Equipment to be screened includes, but is not limited to, all roof mounted equipment, air conditioners, heaters, utility meters, cable equipment, telephone entry boxes, backflow preventions, irrigation control valves, electrical transformers, pull boxes, and all ducting for air conditioning, heating, and blower systems. Screening materials shall be consistent with the exterior colors and materials of the building, and equipment enclosures have been screened with landscaping. Chain link fencing with wood inserts shall not be used to screen equipment												
35. Residential Parking Garage:	The project is designed to reduce the prominence of garage doors through one or more of the following strategies: a. Locate the garage door behind the front porch and/or living space, relative to the front lot line; b. Design the second floor to overhang beyond the garage door c. Locate the garage to the side or rear of building rather than at the center; or d. For garages with three or more non-tandem parked cars, the area of the front wall(s) of garage(s) shall not be more than 25 percent of the cumulative exterior front walls of two story single family residential building; no more than 50 percent of the cumulative exterior front walls of a one story single-family residential building; and at least one front wall of the a three car garage must be separated from the remaining garage front wall by at least two feet. (GP Policy CNF-11.19)												



6-PLEX_1: ROOF PLAN





FRONT ELEVATION - 1/4" = 1'-0"

DESIGN STANDARDS:

<p>22. Front Porches: 50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet.</p> <p>23. Balconies: 25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum size of 6 feet by 4 feet.</p> <p>24. Fences: All fences and walls designed for screening purposes shall be of solid material. Chain link or chain link with slats is not permitted.</p> <p>25. 360 Degree Architecture: The project includes two of the following details: Windows, shutters, awnings, bay windows, trellis features, texture variations, stone, brick or other material enhancements. All facades (sides and rear) must have the level of detail, and materials (GP Policy CNF-11.16)</p> <p>26. Exterior Treatments and Materials: At least two materials shall be used on any building facade, in addition to glazing and railings. Any one material must comprise at least 20% of any building facade, excluding windows and railings. A change in material must be offset by a minimum of six inches in depth. Exterior finish materials should be chosen and applied to not appear artificial as in the case of brick veneer applied on a single building face so that it is obviously ¼ inch thick when viewed from the side, or in the case of a trellis made of 2 inch x 2 inch or 2 inch x 4 inch members. Veneers are required to turn corners, avoiding exposed edges.</p>	<p>27. Roof Line Variation for three or more units: Roofs have been designed to incorporate a minimum of two varying roof heights or types (hip, gable, shed, flat, etc.)</p> <p>28. Height and Project Massing: Project design minimizes bulk of the buildings by limiting building length, or designing buildings with the following special features to break up building bulk, including: a. Changes in roof form and height; and, b. Major full-height recesses (At least 10 feet deep for multi-family projects and three feet deep for single-family attached projects) along the length of the building that successfully break the building into smaller discrete masses. (General Plan Policy CNF 11.22)</p> <p>29. Separate Structures-Attached Projects: Large projects shall be divided into separate structures. The maximum number of units per structure is as follows: a. Single-family Attached: 7 units maximum per structure (General Plan Policy CNF 11.22) 100 percent affordable projects are exempt from this requirement</p> <p>30. Building Colors The project has provided a sample color palette of complimentary colors compatible with surrounding neighborhood. The number of colors appearing on any building exterior is limited to no more than four colors or tones of the same color, including trim and accent colors. The use of fluorescent or neon colors is prohibited.</p>	<p>31. Window Design: The window recesses, trim and other window elements have been designed to be substantial in depth to create shadows. The project incorporates at least one of the following window features throughout the project: a. Minimum depth of at least 1 1/2 inches from glass to exterior of trim; b. Minimum depth of at least six inches from glass to wall edge around windows if there is no trim (this is only appropriate for certain architectural styles such as Spanish Revival or Modern); or, c. Decorative trim elements that add detail and articulation, such as window surrounds with at least a two-inch depth. They must be designed as an integral part of the design.</p> <p>32. Glazing: Mirrored glass is prohibited in order to minimize off-site glare and maximize transparency.</p> <p>33. Exterior Lighting and Illumination: Wall-mounted lights or bollards shall be provided for security purposes. Lights shall be directed down and shielded to avoid glare impacts. 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Massing for three story buildings or taller: Buildings three stories or taller shall have major massing breaks at least every 100 feet along any street frontage, adjacent public park, publicly accessible outdoor space, or designated open space, through the use of varying setbacks and/or building entries. Major breaks shall be a minimum of 30 inches deep and four feet wide and extend the full height of the building.</p> <p>41. Distinct material changes for three story buildings or taller: Buildings three stories or taller must provide a ground floor elevation that is distinctive from the upper stories by providing a material change between the first floor and upper floors along at least 75% of the building façade with frontage upon a street, adjacent public park or public open space.</p>
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SEE SHEET A.42 FOR COLOR AND MATERIAL BOARDS

MANZANITA PARK IN MORGAN HILL, CA

BY NORTH CORRIDOR INVESTORS, LLC

6-PLEX_3: ELEVATIONS

04816

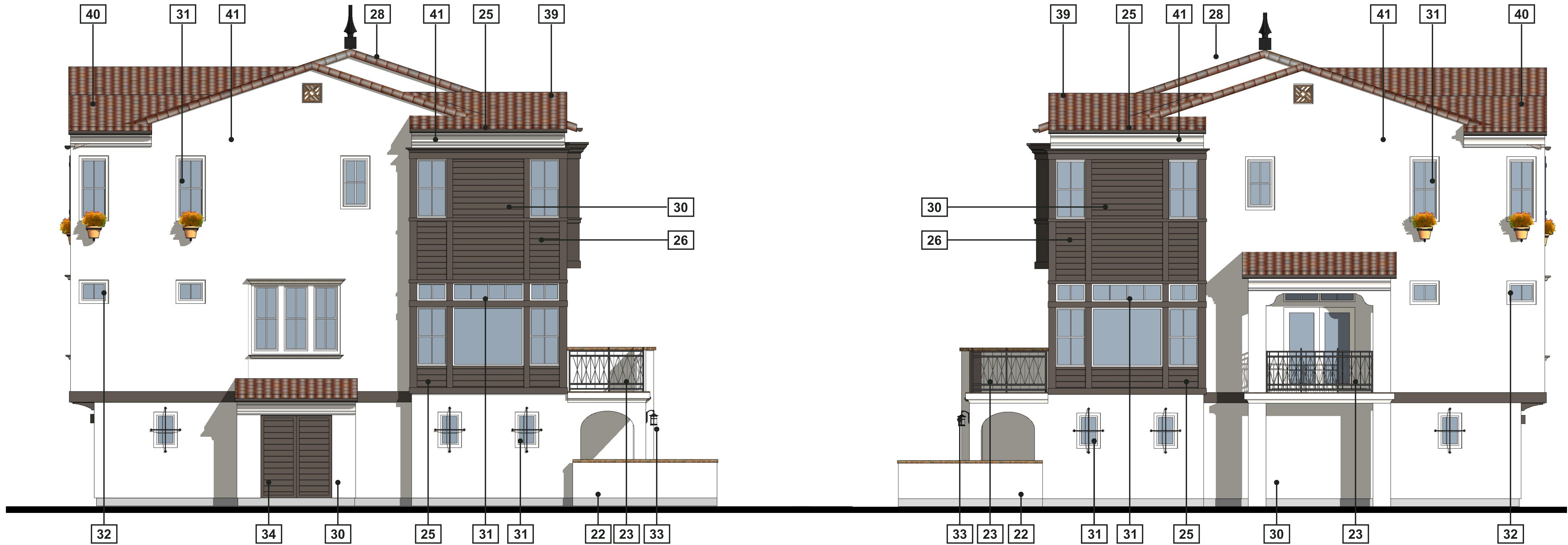
DATE03-22-2021

JOB NO.297.081

DAHLIN

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

A.29



UNIT CX

LEFT ELEVATION - 1/4" = 1'-0"

UNIT CX

RIGHT ELEVATION - 1/4" = 1'-0"

DESIGN STANDARDS:

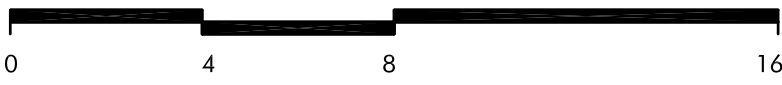
<p>22. Front Porches: 50 percent of homes facing a street or common interior courtyard include a front porch on the ground floor with a minimum size of 6 feet by 5 feet.</p> <p>23. Balconies: 25 percent of homes facing a street, alley or common interior courtyard include a balcony overlooking a common area with a minimum size of 6 feet by 4 feet.</p> <p>24. Fences: All fences and walls designed for screening purposes shall be of solid material. Chain link or chain link with slats is not permitted.</p> <p>25. 360 Degree Architecture: The project includes two of the following details: Windows, shutters, awnings, bay windows, trellis features, texture variations, stone, brick or other material enhancements. All facades (sides and rear) must have the level of detail, and materials (GP Policy CNF-11.16)</p> <p>26. Exterior Treatments and Materials: At least two materials shall be used on any building facade, in addition to glazing and railings. 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SEE SHEET A.42 FOR COLOR AND MATERIAL BOARDS

MANZANITA PARK IN MORGAN HILL, CA

BY NORTH CORRIDOR INVESTORS, LLC

6-PLEX_3: ELEVATIONS



DATE 03-22-2021
JOB NO. 297.081

DAHLIN

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

A.30



REAR ELEVATION - 1/4" = 1'-0"

DESIGN STANDARDS:

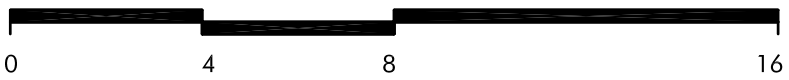
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SEE SHEET A.42 FOR COLOR AND MATERIAL BOARDS

MANZANITA PARK IN MORGAN HILL, CA

BY NORTH CORRIDOR INVESTORS, LLC

6-PLEX_3: ELEVATIONS



DATE 03-22-2021
JOB NO. 297.081

DAHLIN

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

A.31

DESIGN STANDARDS:

#

8. On-Site Recreational Amenities

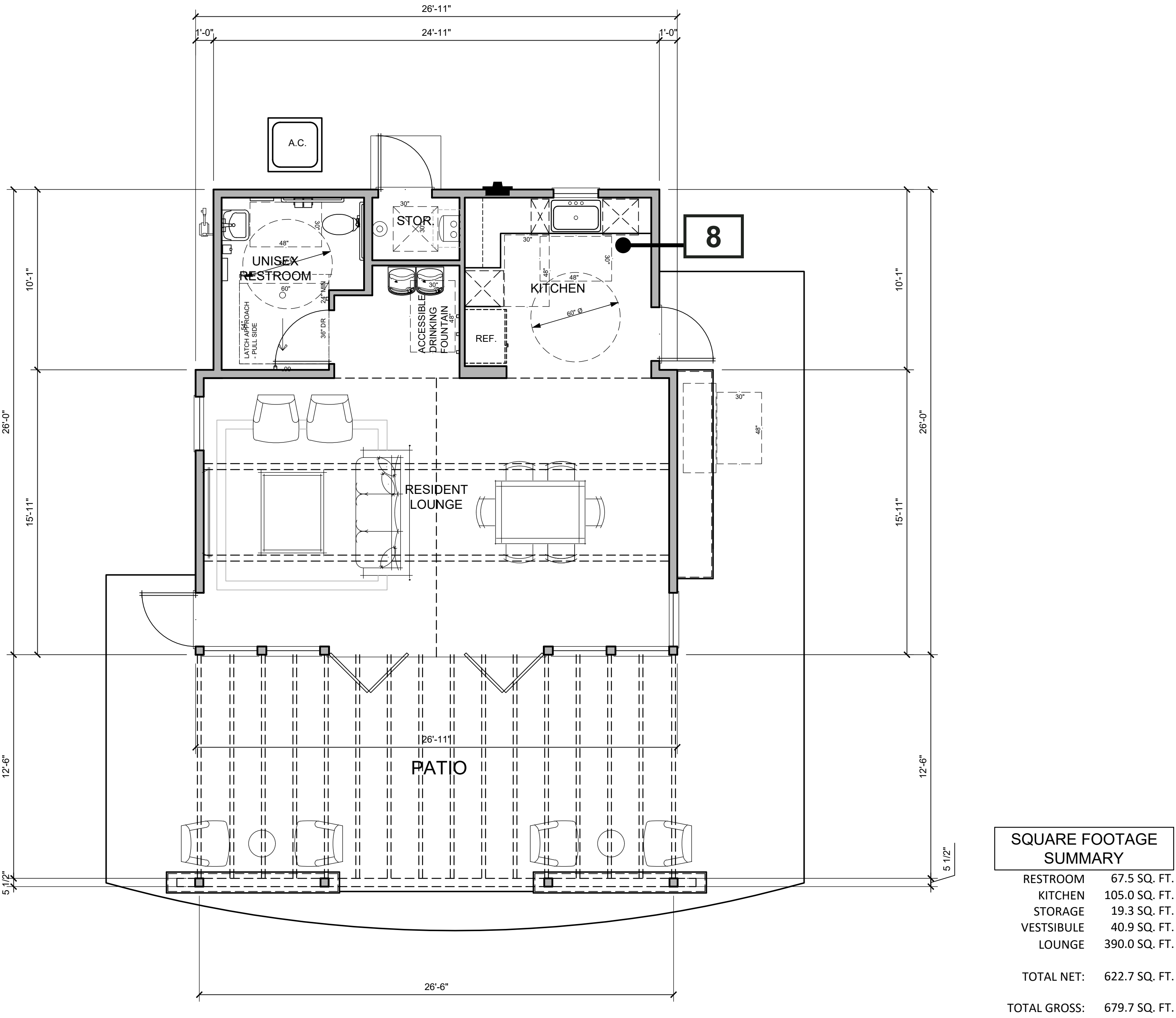
The project has provided on-site recreational amenities to serve residences based on the following table:

16 - 50 units	Tier 1:2	Tier 2:2
51-100 units	Tier 1:2	Tier 2:2 Tier 3:1
101-150 units	Tier 1:2	Tier 2:2 Tier 3:2
151 + units	Tier 1:2	Tier 2:3 Tier 3:3
201 + units	Tier 1:2	Tier 2:3 Tier 3:3

Tier 1 amenities:
Shuffleboard
Horseshoes
Bowling greenwith artificial turf
Picnic/barbeque area
Park benches
Passive water features (e.g. fountain)
Passive recreation area and/or gardens

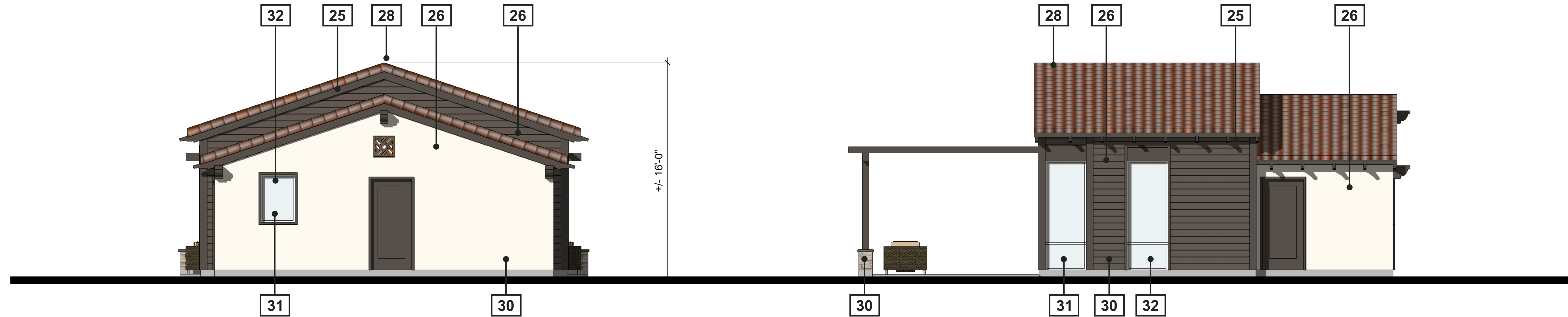
Tier 2 amenities:
Cabana or shade trellis area
Two picnic/barbeque areas
Clubhouse
Volleyball court and/or Bocce ball court
Outdoor racquetball/handball tilt-up wall
Dog Park
Sauna and/or Jacuzzi
Community garden plots (minimum one forty-eight-square-foot plot per each ten dwelling units) with water service located in an area that will get a minimum of six hours of direct sun when trees mature
½ court basketball (one hoop)
Bride paths
Bocce ball
Artificial turf putting green
Exercise structure or complex (age appropriate play equipment/minimum three activities; can be integrated in structure)

Tier 3 amenities:
• Softball field
• Sports court and/or 2 1/2-court basketball courts (two hoops)
• Restroom area
• ½ scale soccer field
• Exercise structure or complex (age appropriate play equipment/minimum five activities; can be integrated in structure)
• Jacuzzi and separate child wading pool
• Tennis court
• Recreation hall with exercise equipment and/or game equipment
• Exercise room
• Clubhouse w/ kitchen
• Swimming pool
(GP Policy- Housing element HE-4)



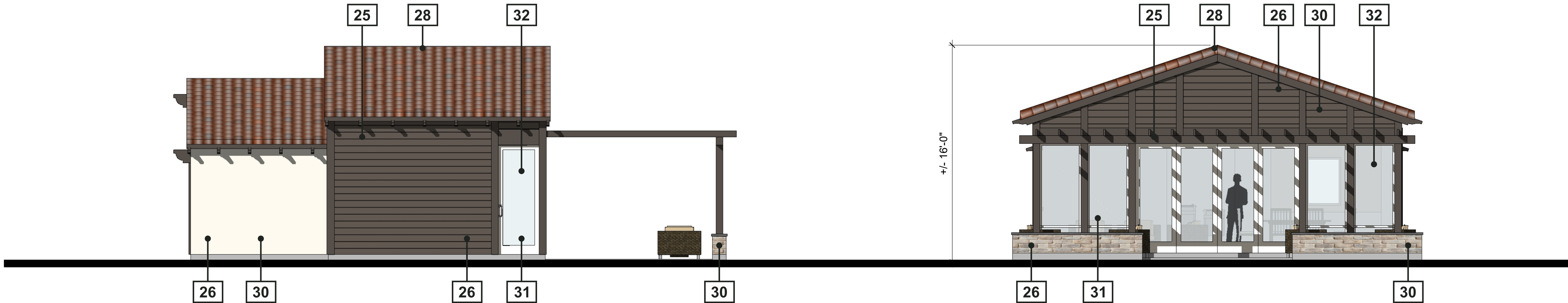
SQUARE FOOTAGE SUMMARY	
RESTROOM	67.5 SQ. FT.
KITCHEN	105.0 SQ. FT.
STORAGE	19.3 SQ. FT.
VESTSIBULE	40.9 SQ. FT.
LOUNGE	390.0 SQ. FT.
TOTAL NET:	622.7 SQ. FT.
TOTAL GROSS:	679.7 SQ. FT.

#8: REC BUILDING - FLOOR PLAN



REAR ELEVATION - 1/4" = 1'-0"

RIGHT ELEVATION - 1/4" = 1'-0"



LEFT ELEVATION - 1/4" = 1'-0"

FRONT ELEVATION - 1/4" = 1'-0"

DESIGN STANDARDS:

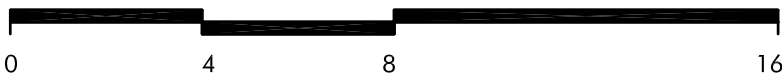
#	
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SEE SHEET A.42 FOR COLOR AND MATERIAL BOARDS

MANZANITA PARK IN MORGAN HILL, CA

BY NORTH CORRIDOR INVESTORS, LLC

REC BUILDING - ELEVATIONS

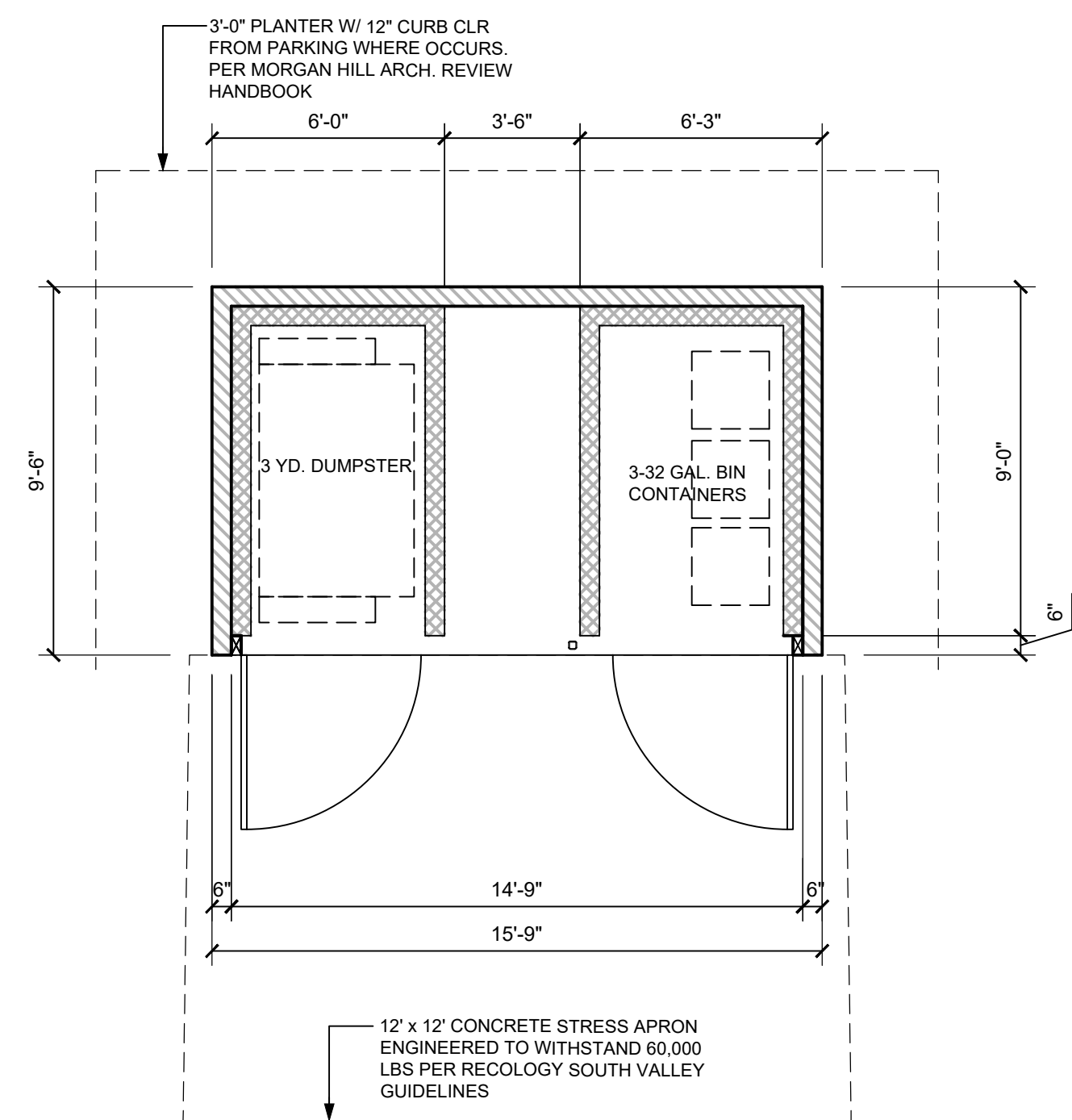
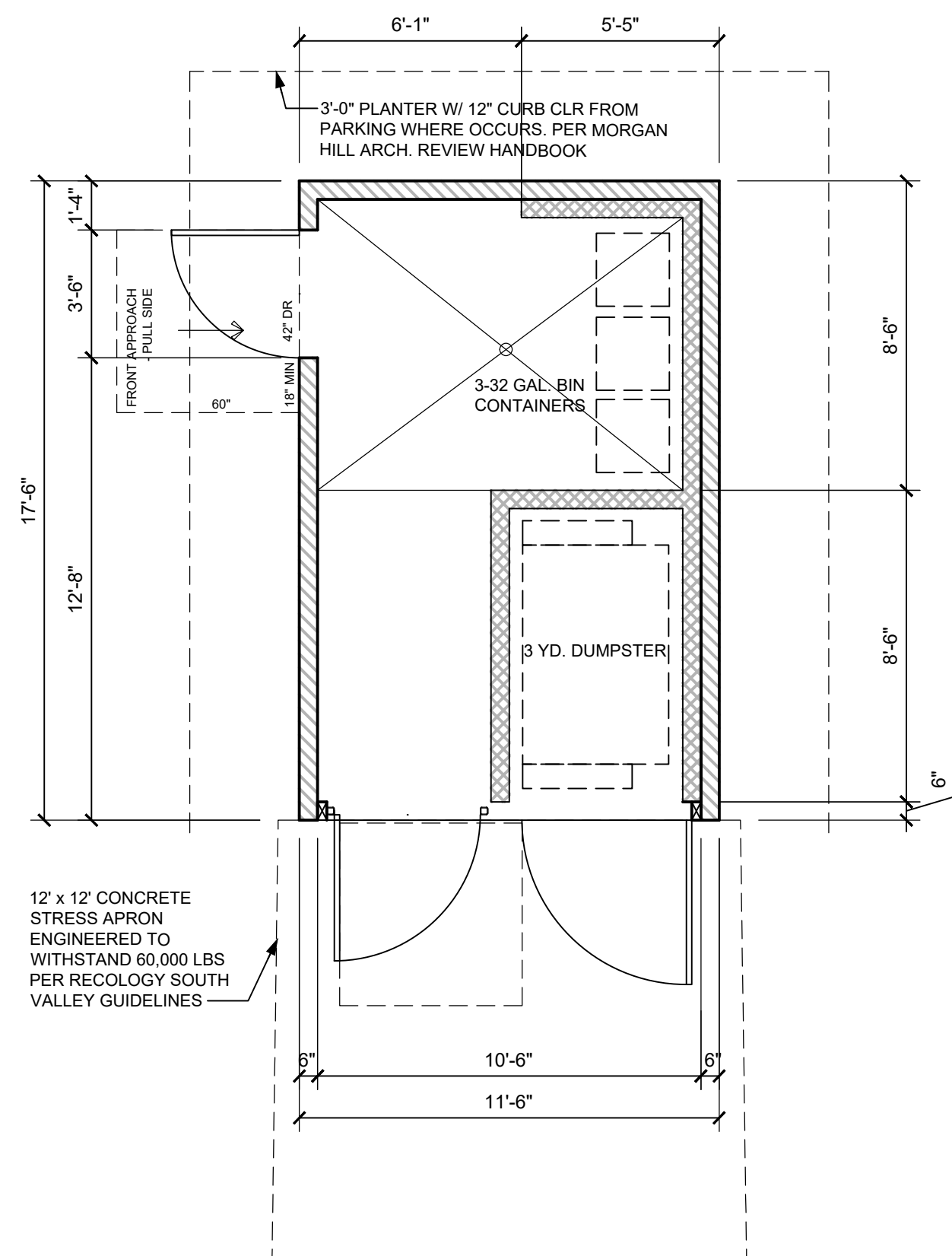


DATE 03-22-2021
JOB NO. 297.081



5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

A.33



*SEE SHEET **A.42** FOR COLOR AND MATERIAL BOARDS*

MANZANITA PARK IN MORGAN HILL, CA
BY NORTH CORRIDOR INVESTORS, LLC

TRASH ENCLOSURES

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

DATE 03-22-2021
JOB NO. 297.081

A.34

LIGHTING FIXTURE CUT SHEET



Callaway 14 1/2" High Bronze LED Outdoor Wall Light

The Callaway collection of outdoor lighting offers a modern update on traditional lantern-style fixtures. This outdoor wall light comes in a rustic bronze finish steel frame, with clear seeded glass for a charming rain-flecked look. An energy-efficient LED module is built directly into the design, providing bright lighting for your entryway, porch, or patio space.

Update your porch or patio with this energy-efficient LED outdoor wall light in rustic bronze.

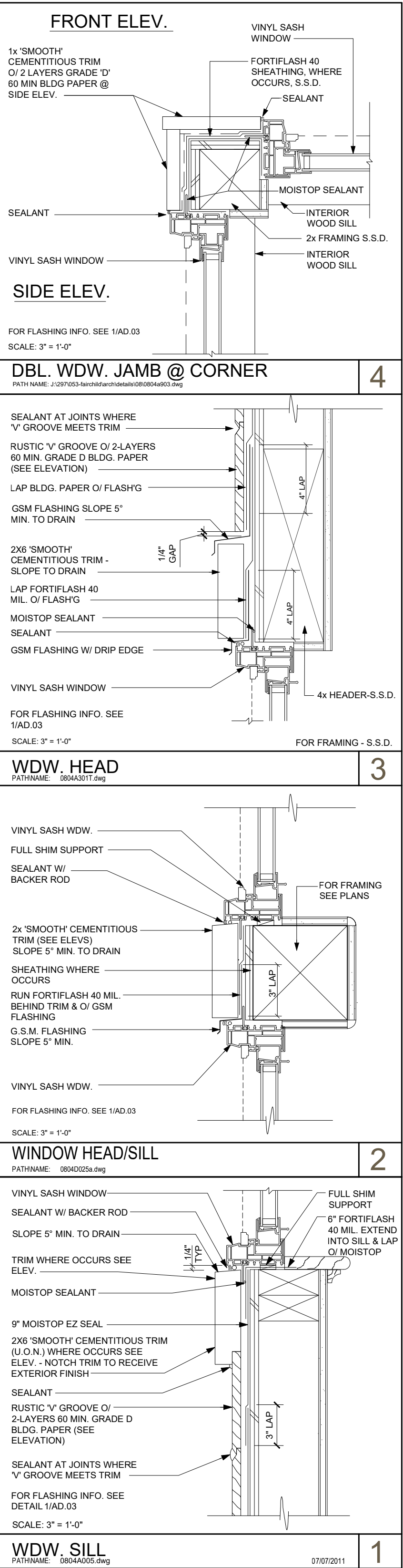
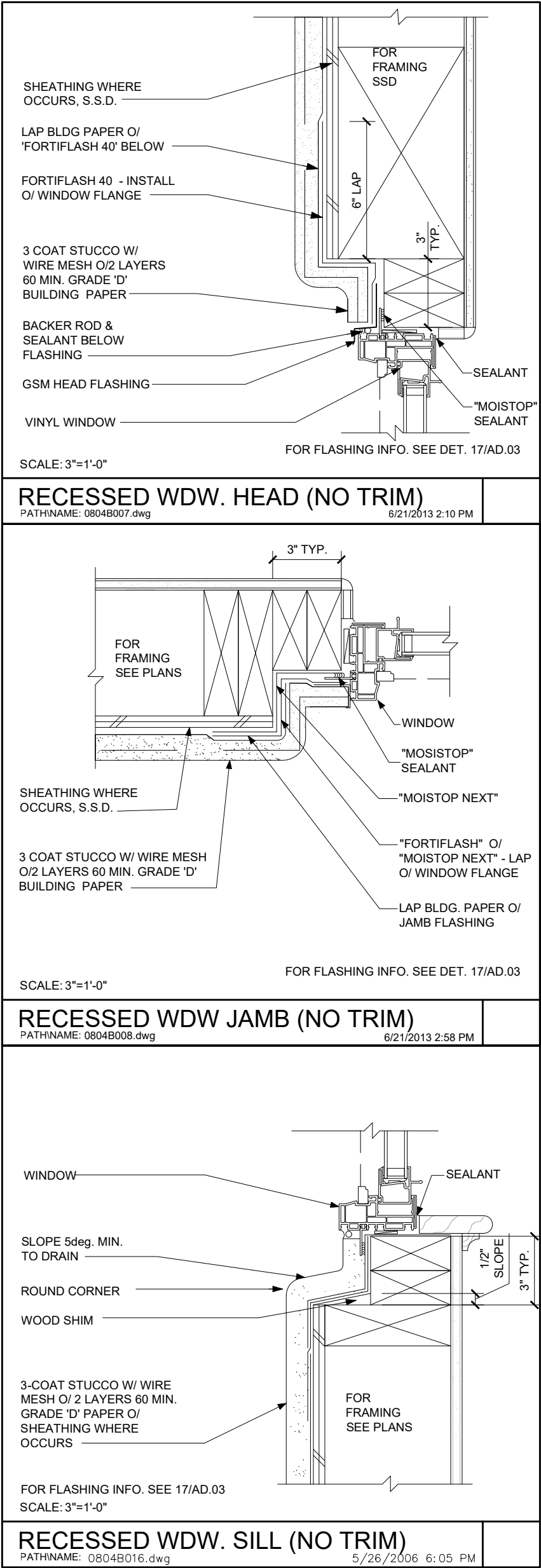
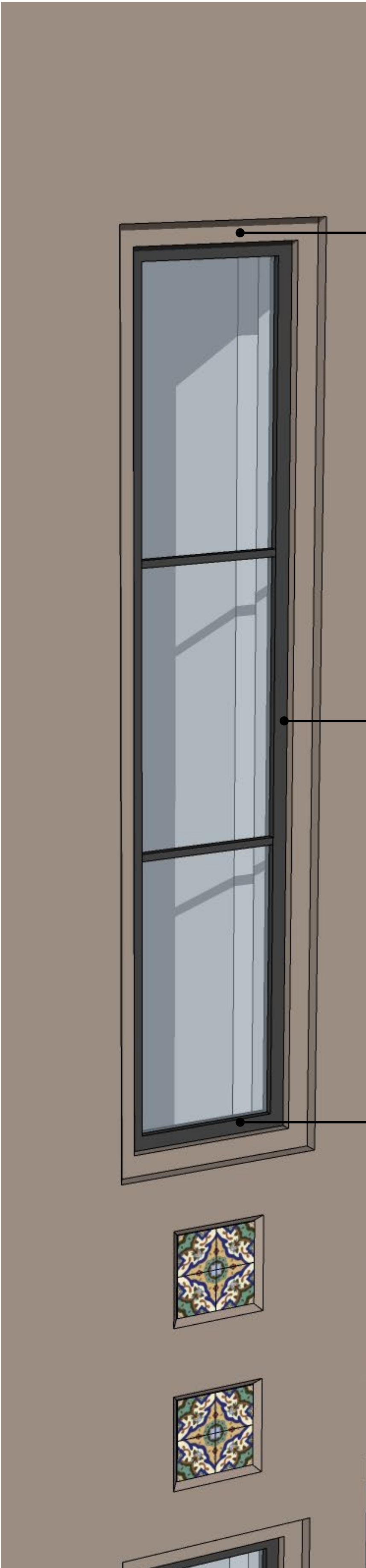


SIZE

- 14 1/2" high x 8 1/2" wide.
- Extends 10 3/4" from the wall.
- Rectangular backplate is 6" high x 4 1/2" wide x 3/4" deep.
- Weighs 4.4 lbs.

DETAILS

- Built-in 14 watt LED module: 1120 lumens, comparable to a 75 watt incandescent. 2700K color temperature. 80 CRI.
- Outdoor wall light from the Callaway collection by Franklin Iron Works. Wet location outdoor rated.
- Rustic bronze finish over steel construction. Clear seeded glass.
- A mission design outdoor wall light.
- Country - cottage style.





CONTEXTUAL STREETSCAPE ALONG MONTEREY RD.



PARTIAL ENLARGED CONTEXTUAL STREETSCAPE FROM MONTEREY RD. - PARCEL 1



PARTIAL ENLARGED CONTEXTUAL STREETSCAPE FROM MONTEREY RD. - PARCEL 2

MANZANITA PARK IN MORGAN HILL, CA

BY NORTH CORRIDOR INVESTORS, LLC

STREETSCAPE



DATE 03-22-2021
JOB NO. 297.081

5865 Owens Drive
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925-251-7200

A.36



MANZANITA PARK IN MORGAN HILL, CA

BY NORTH CORRIDOR INVESTORS, LLC

SITE PERSPECTIVE



DATE 03-22-2021
JOB NO. 297.081

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

A.37



MANZANITA PARK IN MORGAN HILL, CA

BY NORTH CORRIDOR INVESTORS, LLC

SITE PERSPECTIVE



DATE 03-22-2021
JOB NO. 297.081

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

A.38



MANZANITA PARK IN MORGAN HILL, CA

BY NORTH CORRIDOR INVESTORS, LLC

SITE PERSPECTIVE



DATE 03-22-2021
JOB NO. 297.081

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

A.39



MANZANITA PARK IN MORGAN HILL, CA

BY NORTH CORRIDOR INVESTORS, LLC

SITE PERSPECTIVE



DATE 03-22-2021
JOB NO. 297.081

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

A.40



MANZANITA PARK IN MORGAN HILL, CA

BY NORTH CORRIDOR INVESTORS, LLC

SITE PERSPECTIVE

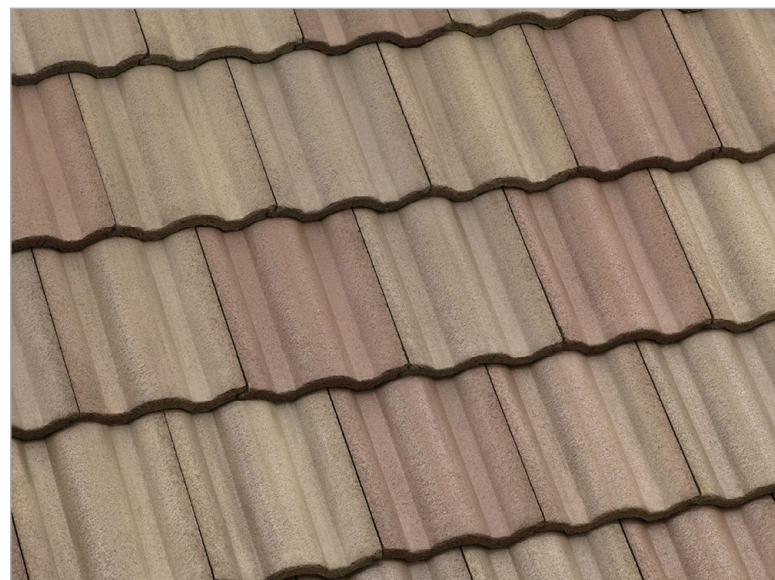


DATE 03-22-2021
JOB NO. 297.081

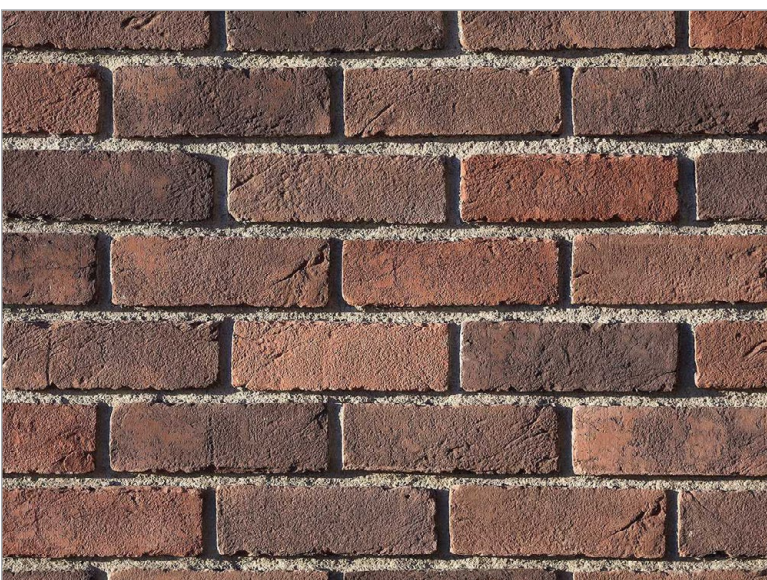
5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

A.41

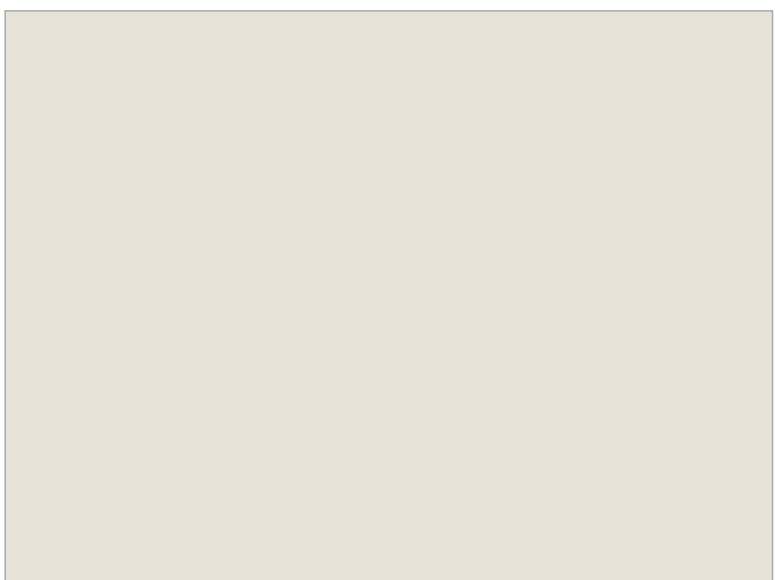
BUILDING
COLOR SCHEME 1



ROOF MATERIAL
CONCRETE MALIBU TILE
Corona Del Mar Blend
Eagle Roofing



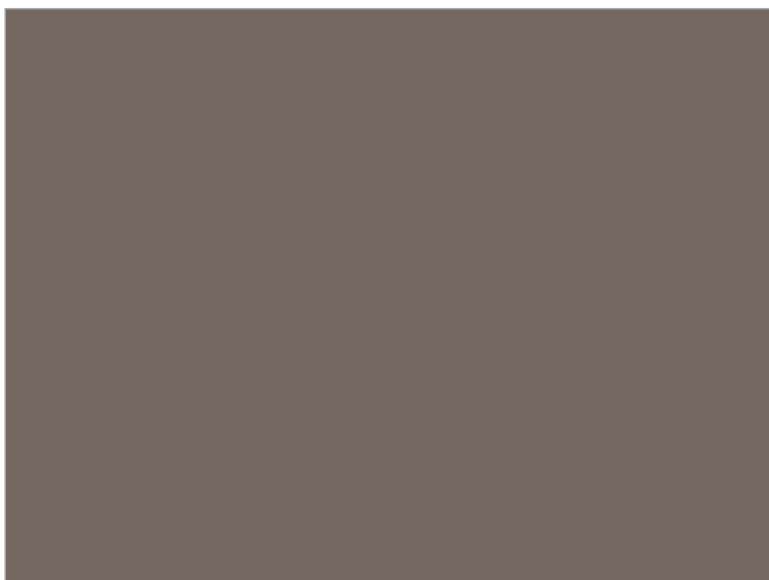
ACCENT BRICK
LOW WALL CAP
TundraBrick - Hartford
Eldorado Stone



BODY COLOR 1
BODY STUCCO / LOW WALLS
Pearly White SW 7009
Sherwin Williams



BODY COLOR 2
STUCCO
Elephant Ear SW 9168
Sherwin Williams



BODY COLOR 3
STUCCO
Garret Gray SW 6075
Sherwin Williams

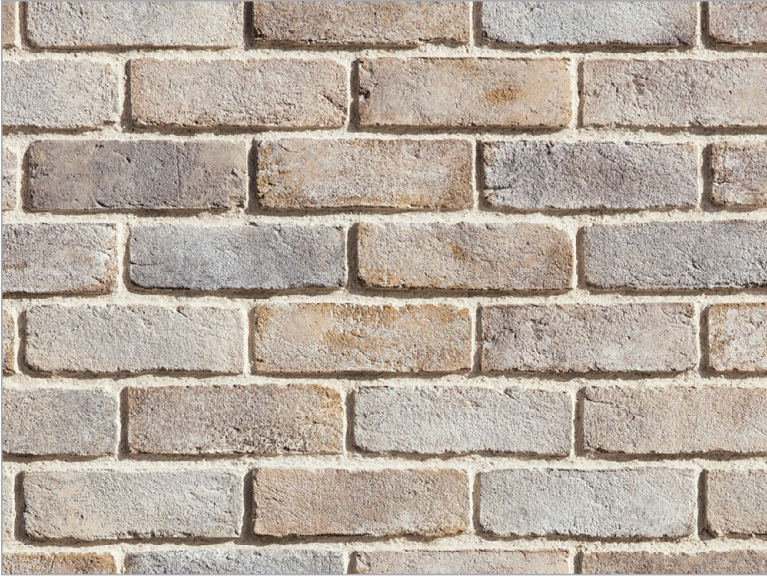


TRIM/ACCENT COLOR
WOOD TRIM / PANELING
Black Fox SW 7020
Sherwin Williams

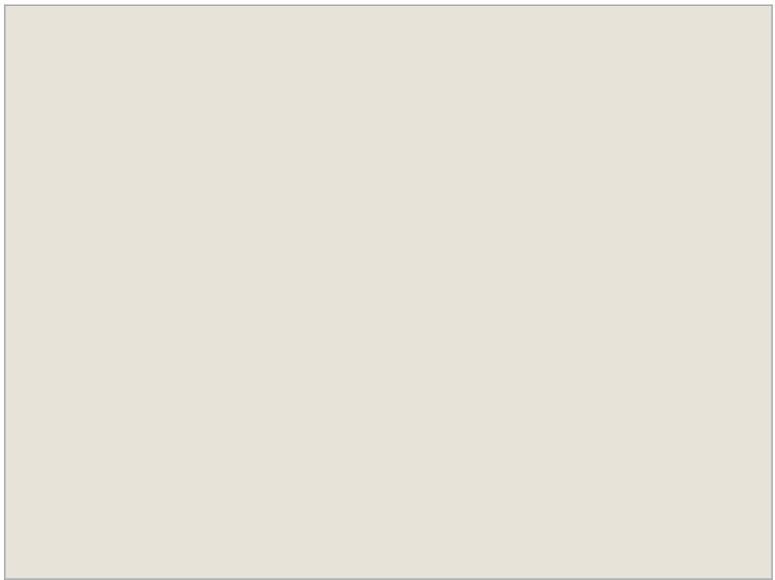
BUILDING
COLOR SCHEME 2



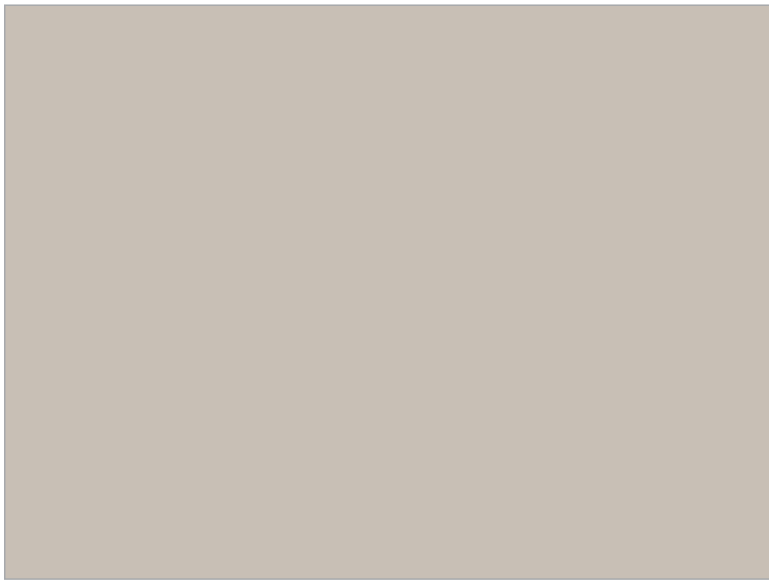
ROOF MATERIAL
CONCRETE MALIBU TILE
Brown Range
Eagle Roofing



ACCENT BRICK
BODY / LOW WALL CAP
TundraBrick - Latigo
Eldorado Stone



BODY COLOR 1
BODY STUCCO / LOW WALLS
Pearly White SW 7009
Sherwin Williams



BODY COLOR 2
STUCCO
Twilight Gray SW 0054
Sherwin Williams



BODY COLOR 3
STUCCO
Folkstone SW 6005
Sherwin Williams



TRIM/ACCENT COLOR
WOOD TRIM / PANELING
Darkroom SW 7083
Sherwin Williams

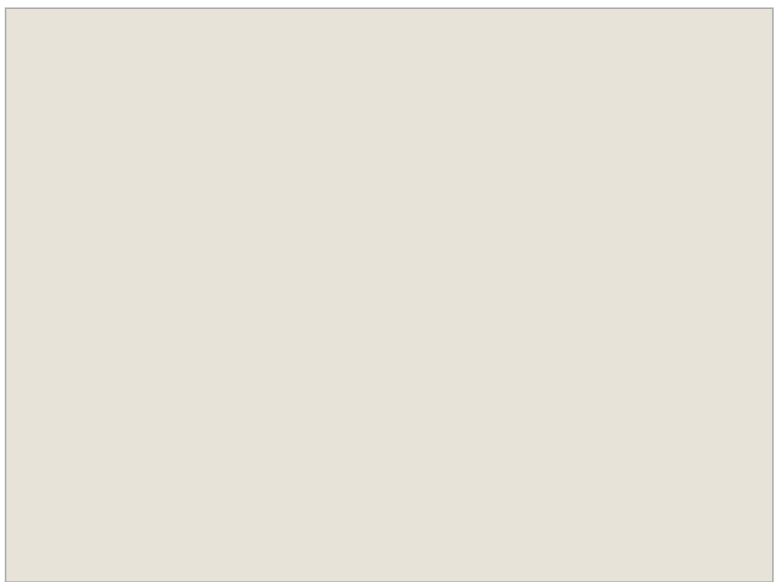
BUILDING
COLOR SCHEME 3



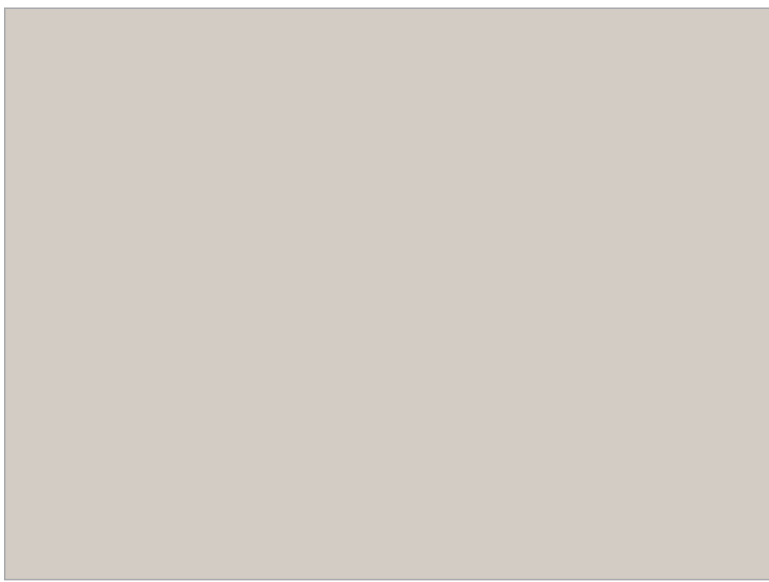
ROOF MATERIAL
CONCRETE MALIBU TILE
King's Canyon Blend
Eagle Roofing



ACCENT BRICK
BODY / LOW WALL CAP
TundraBrick - Chalk Dust
Eldorado Stone



BODY COLOR 1
BODY STUCCO / LOW WALLS
Pearly White SW 7009
Sherwin Williams



BODY COLOR 2
STUCCO
Pediment SW 7634
Sherwin Williams

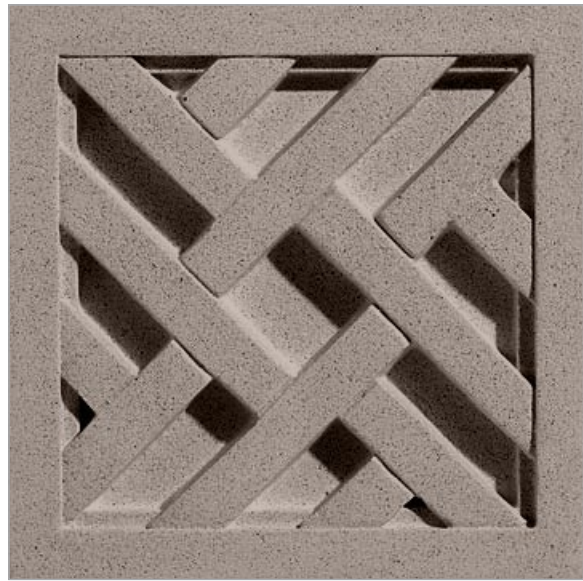


BODY COLOR 3
STUCCO
Gauntlet Gray SW 7019
Sherwin Williams



TRIM/ACCENT COLOR
WOOD TRIM / PANELING
Sealskin SW 7675
Sherwin Williams

ACCENTS FOR
ALL SCHEMES



ACCENT MEDALLION
CAST STONE
Lattice Medallion - Terrain Taupe
Pineapple Grove Designs



ACCENT
CERAMIC TILE
Classic 15 design (6" x 6")
Latin Accents (or equal)



ACCENT
CERAMIC TILE
Classic 26 design (6" x 6")
Latin Accents (or equal)



ACCENT
CERAMIC TILE
Colonial 1 design (6" x 6")
Latin Accents (or equal)



ACCENT COLOR
FRONT DOOR
Indigo Batik SW 7602
Sherwin Williams



ACCENT COLOR
FRONT DOOR
Jasper SW 6216
Sherwin Williams



ACCENT COLOR
FRONT DOOR
Perle Noir SW 9154
Sherwin Williams